

DevNW Airport Road

Final Planned Unit Development (PUD) &
Final Subdivision Plat (SUB)
for proposed development of 12 affordable, single-family,
detached dwellings.

PC 20 17 PUD 02

PC 20 16 SUB 02

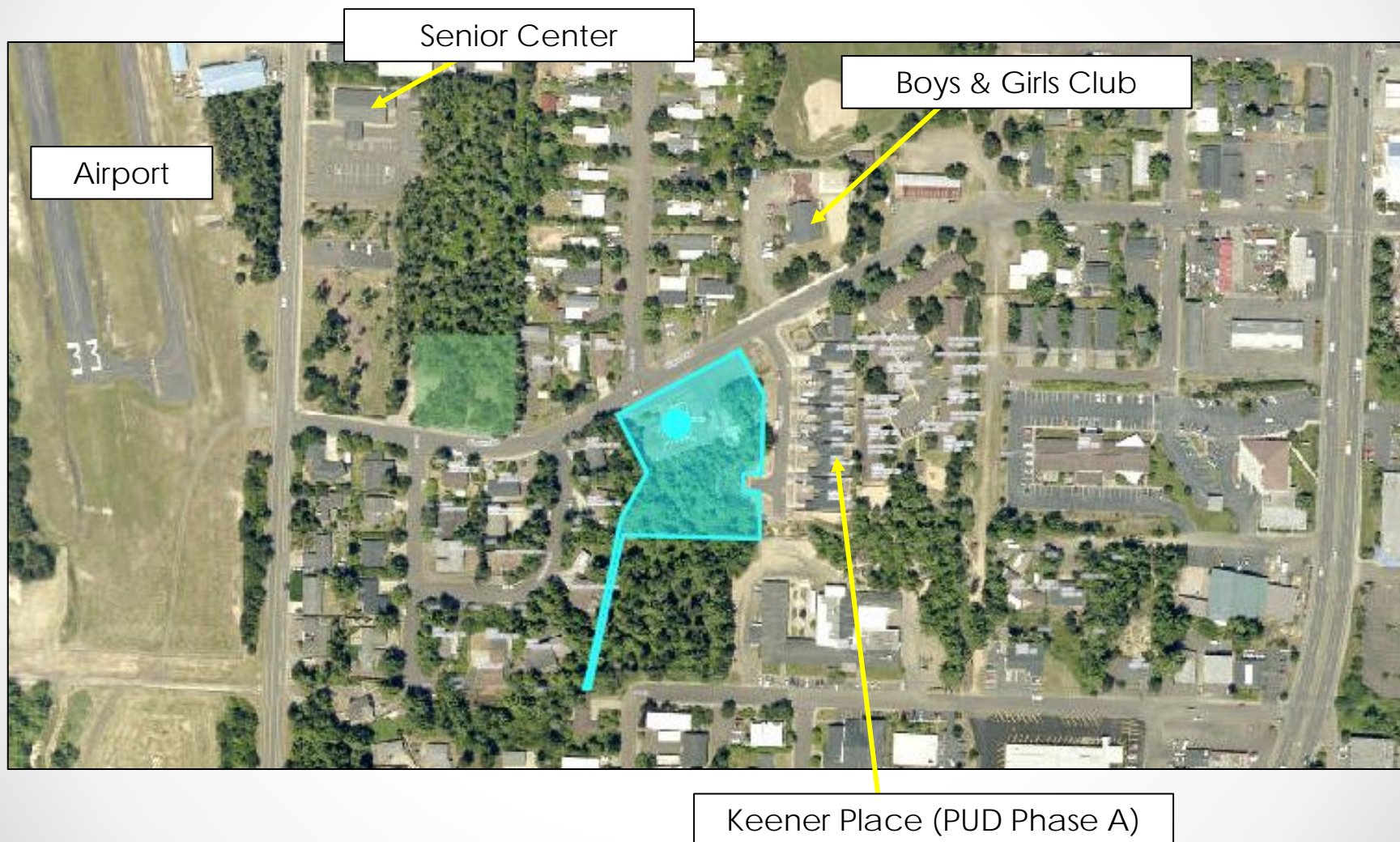


Preliminary PUD, Tent. Subdivision, & Conditional Use Permit Criteria

Florence City Code:

- **Florence City Code Title 10: Zoning Regulations**
 - Chapter 3: Off Street Parking and Loading, Section 9.
 - Chapter 23, Planned Unit Development, Sections 11, 12, 13 and 14A
 - Chapter 34: Landscaping, Sections 3 through 5
 - Chapter 27: Lighting, Section 37
- **Florence City Code Title 11: Subdivision Regulations**
 - Chapter 4: Partition and Subdivision Final Plat
- **Florence City Code Title 9: Utilities**
 - Chapter 5: Stormwater Management
- **Conditions of Approval for Resolution PC 19 22 PUD 03, Resolution PC 19 23 SUB 04, Resolution PC 19 25 CUP 08 (Exhibit “N”)**
- **Conditions of Approval for Resolution PC 20 05 CUP 01 (Exhibit “O”)**

Aerial of Site



2009 Plat Draft

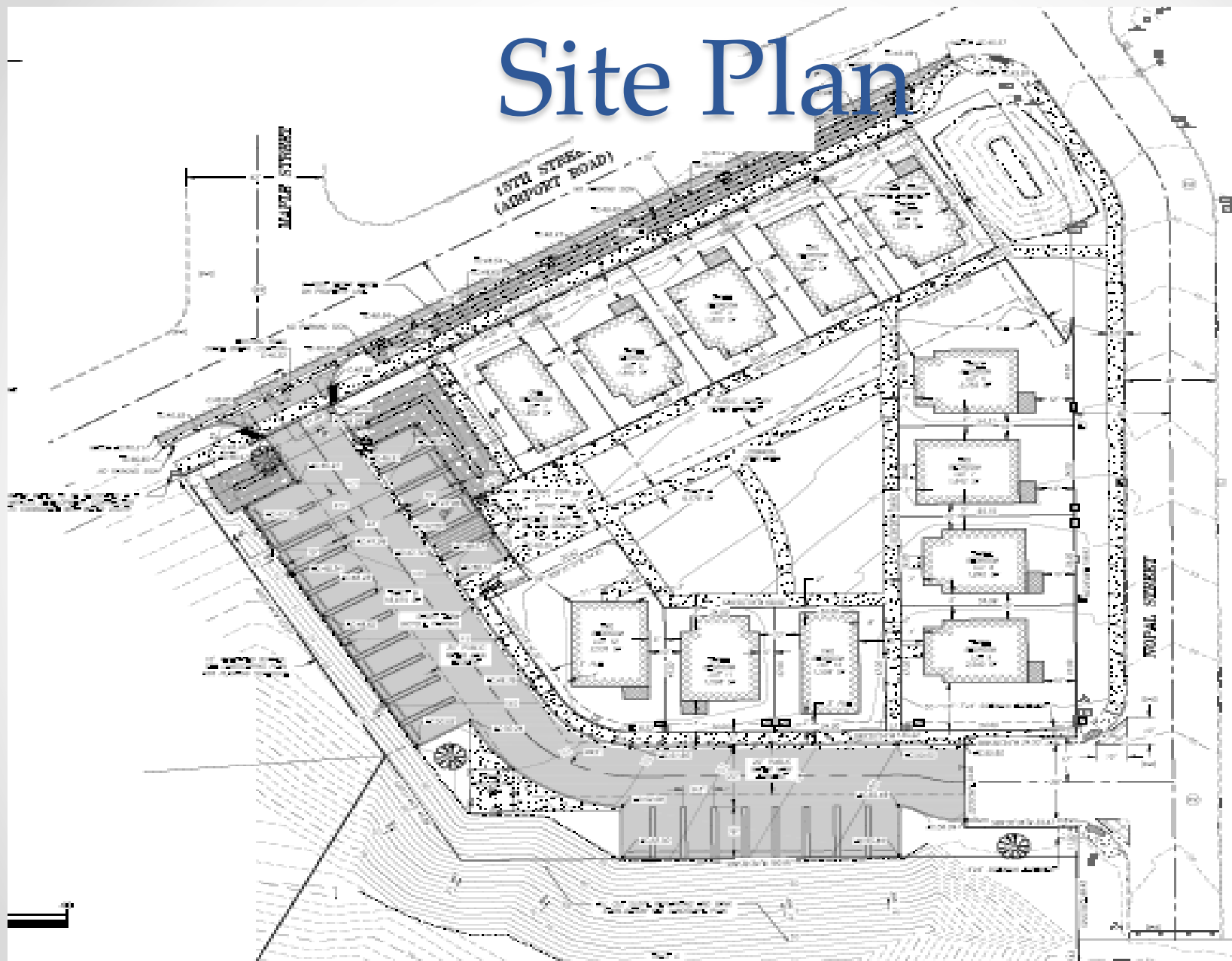
FLORENCE HABITAT FOR HUMANITY
KEENER PLACE PROJECT

PAUL K. JENSEN, ARCHITECT

DATE: 10.30.09



Site Plan



[illegible]

June 9, 2020 ● 7

Landscape Plan

LANDSCAPE DESIGN
DEVNW AIRPORT PUD
DESIGN BY LISA WALTER-SCHAEFER
LAUREL BAY GARDENS LBS# 6710

3	A	50'	PIRUS 'MOUNTAIN FIRE'
12	A	50'	PIRUS 'MOUNTAIN FIRE'
7	NA	50'	PIRUS 'MOUNTAIN FIRE'
9	28	50'	PIRUS 'MOUNTAIN FIRE'
32	P	20'	PIRUS 'MOUNTAIN FIRE'
1	DA	20'	PIRUS 'MOUNTAIN FIRE'
17	E	10'	PIRUS 'MOUNTAIN FIRE'

BROADWAY PLANT SCHEDULE

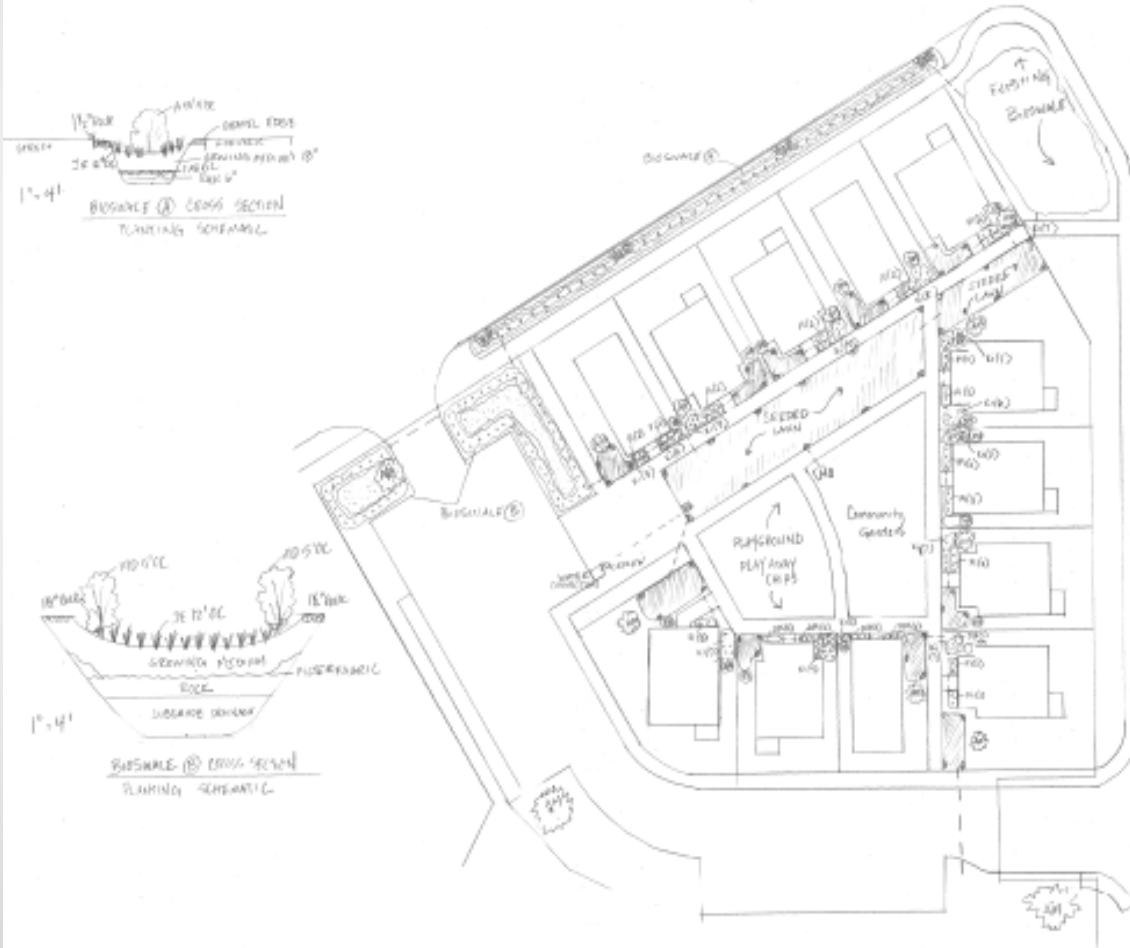
AN	16	50'X	'MOUNTAIN FIRE' 5' OC
ND	16	50'X	'MOUNTAIN FIRE' 5' OC
JE	4	50'X	'MOUNTAIN FIRE' 12' OC

SPECIFICATIONS

- LAWN AREAS SEEDED WITH PERSIAN BLEND GRASS
- ALL PLANTS INSTALLED WITH SOIL/LANDSCAPE BLEND
- NEW PLANTINGS FERTILIZED WITH PRELIMINARY NUTRIENT
- LARGE TREES PLACED WITH DUAL GROUNDING SYSTEM
- SMALL TREES PLACED WITH SINGLE STAKE
- ALL LAWNS WATERED WITH AUTOMATIC OVERHEAD WATER
- ALL TREES & SHRUBS WATERED WITH DRIP SYSTEM
- BROADWAY PLANTINGS WATERED WITH LAZER DRIP LINE

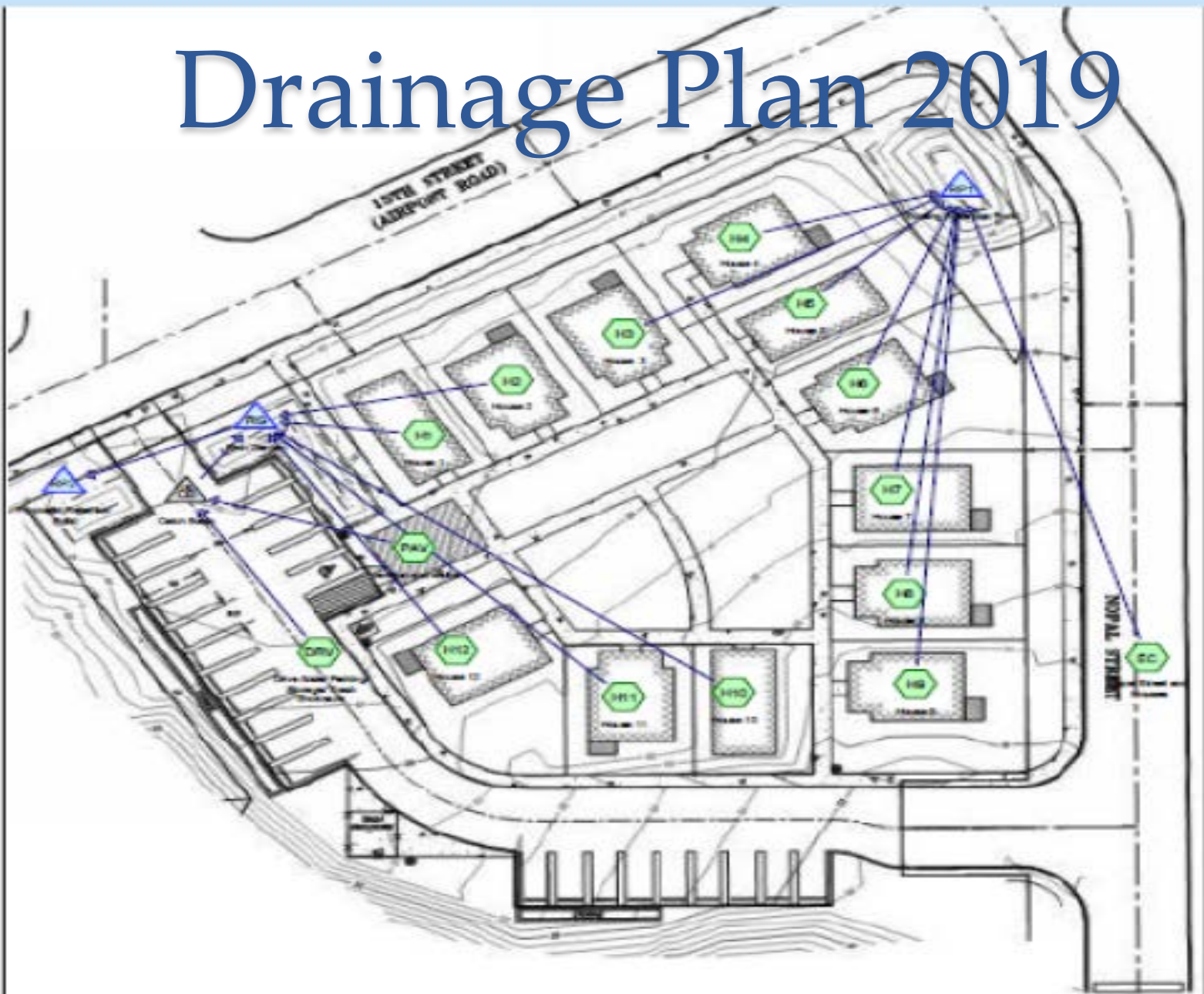
ADDITIONAL NOTES

- ALL SEPARATION PIPE SCHEDULE 40
- -- DENOTES SLOPING
- HS COMMUNITY GARDEN HOME ACCESS
- ● DENOTES IRRIGATION HEAD
- □ SEEDED LAWN AREAS



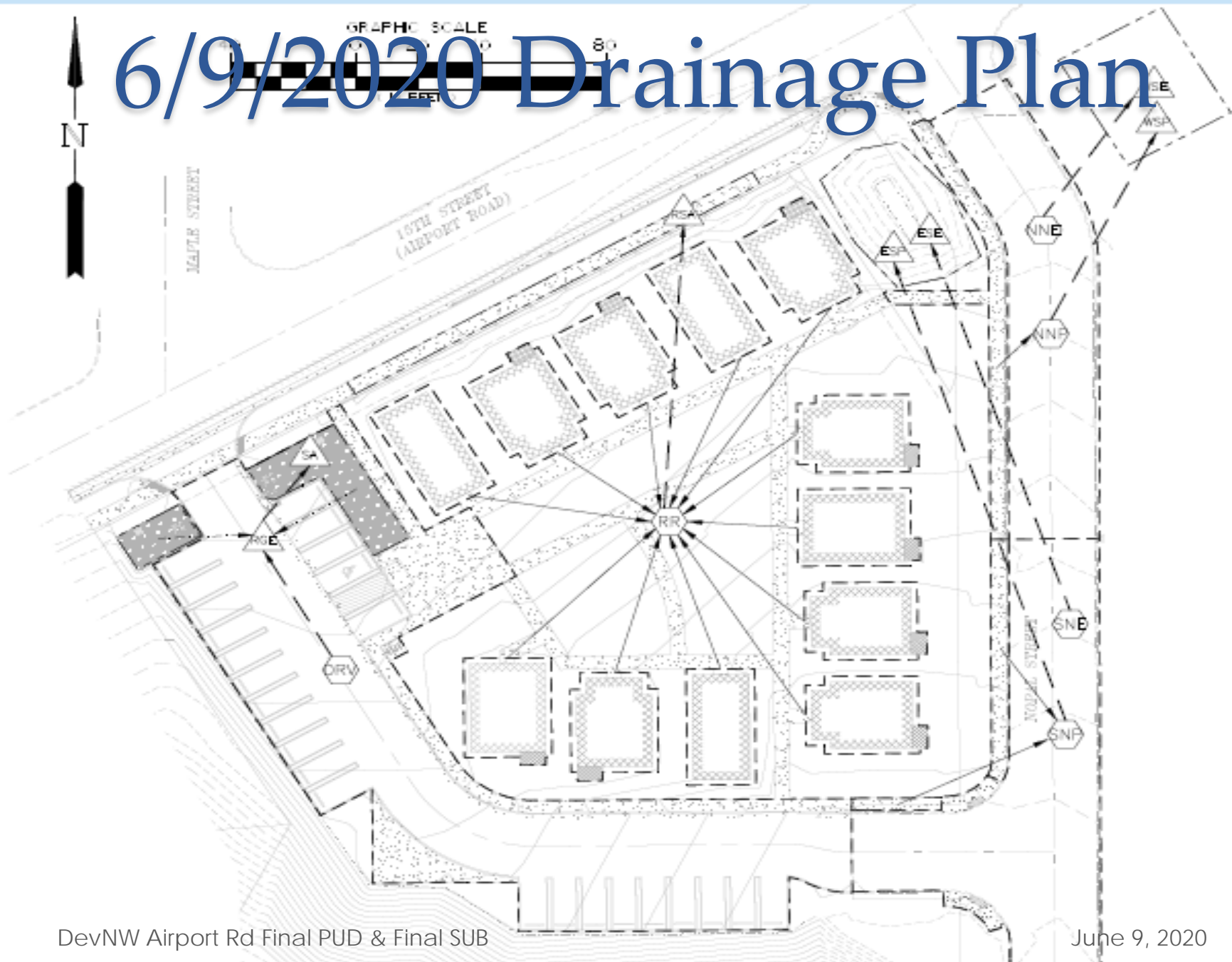
SCALE
1" = 20'

Drainage Plan 2019



Drainage Plan 2020

6/9/2020 Drainage Plan



Testimony

- **Chuck Trent, Boys & Girls Clubs of Western Lane County**
- The construction site needs to have a chain-link fence or some other significant barrier to keep children out of the construction site after the crew is done for the day. Almost every day, I see young children as young as 8 or 9 playing in and around the construction equipment and in and around the excavation. The orange netting currently surrounding the construction site is not a safety barrier to keep the children from across the street from playing in the construction site.
- As I previously requested, I'd like to make sure that there is adequate street lighting in and around the development because the number of children riding bikes and walking in and around the area during dusk hours and early morning waiting for the school bus

Testimony

- As this development puts additional traffic on the street, with the number of children that will be in this development as well as those in the nearby vicinity, it is imperative to install a crosswalk with blinking lights of some kind to protect the children that frequently cross the street going to and from school buses and crossing the street to and from the Boys & Girls Club. We often times have 40 – 50 teens at the Teen Center and many live in and around this development. Many across the street from the CLUB. We already have a problem with cars that travel significantly over the speed limit on the long stretch of 15th/Airport Road.
- Make a stretch of this road between the development and the Boys & Girls Club a 20 mile an hour zone and treat as if were a school zone

Testimony From J.H.

- Jonathan Hornung, property owner.

“I would like to raise a couple of issues regarding the plans that have made available about the DevNW development.”

“The first relates to the schedule of planting on the south slope that they cleared. There does not appear to be a schedule of when that would be replanted or the types of vegetation that will be replanted. I believe that this needs to occur quickly to prevent erosion from occurring begin the summer winds begin. One of the main issues that was raised by myself earlier was the impact of clearing on adjacent lands. The developers ensured that vegetation on adjacent lands would be protected and planting as soon as possible is the only way to ensure that this is in fact the case. This is especially true on near the tops of the slopes where large trees and rhododendrons had previously stabilized the bank”

Testimony From J.H.

“My second point is that the clearing that was done has removed a large amount of the vegetation that blocked sightline into the development from the west. The plans currently show lights that will shine light in all directions, I want to make sure that the lights that are installed do not shine onto my property and into my windows. The lights should be shielded to prevent spill over of light into the lots to the west and south.”

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NOT FOR
CONSTRUCTION

**DEVNW AIRPORT RD. FINAL PUD
PHASE II SITE INVESTIGATION REPORT**
TAX MAP: 18-12-27-1, TAX LOT: 15400
FLORENCE, OREGON

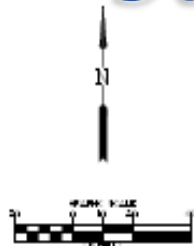
date: JUNE 3, 2004
 drawn by: RWT
 designed by: (blank)
 project no.: 18-4

PHASE
 EXISTING SITE
 INVESTIGATION
 REPORT MAP



SOIL TYPES:

ACCORDING TO THE LOCAL HEALTH DEPARTMENT, THE CASE WAS
THE FIRST OF ITS KIND IN THE AREA SINCE THE 1970S. THE CASE WAS
CONFIRMED BY THE STATE HEALTH DEPARTMENT.



LEGEND

EATING



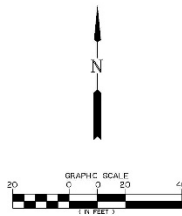
Previous Phase II

Exhibit E in CUP

VERTICAL DATUM
DE NAD83 2011/SEC0012A-ORON
ORON COAST

SOIL TYPES

ACCORDING TO THE USGS NATIONAL ENGINEERING CONSULTANTS' BEST SOIL SURVEY,
THE SITE SOIL IS MAPPED AS WILSONIAN FINE SAND (ENTRANCE MAP UNIT SYMBOL: 1312 AND
1312).



LEGEND

EXISTING	
	CONTOUR LINE
	FENCE LINE
	STRUCTURE
	ASPHALT EDGE
	CONCRETE
	DUMP
	SHRUB
	TOP OF SLOPE
	WATER LINE
	WATER VALVE
	WATER METER
	METER BOX
	FIRE HYDRANT
	IRRIGATION VALVE
	IRRIGATION STOP
	STORMWATER LINE
	STORMWATER CATCHMENT
	SANITARY SEWER MAIN
	SANITARY SEWER CLEANOUT
	SANITARY SEWER MANHOLE
	UNDERGROUND DRAINAGE LINE
	DRIVEWAY MARK
	OVERHEAD WIRE
	ELECTRICAL POLE
	LIGHT POLE
	UTILITY VALVE BOX
	STORM MAIN
	ELECTRIC ROAD
	JUNCTION BOX
	TRANSFORMER
	MAIL BOX
	SLOPE ARROW

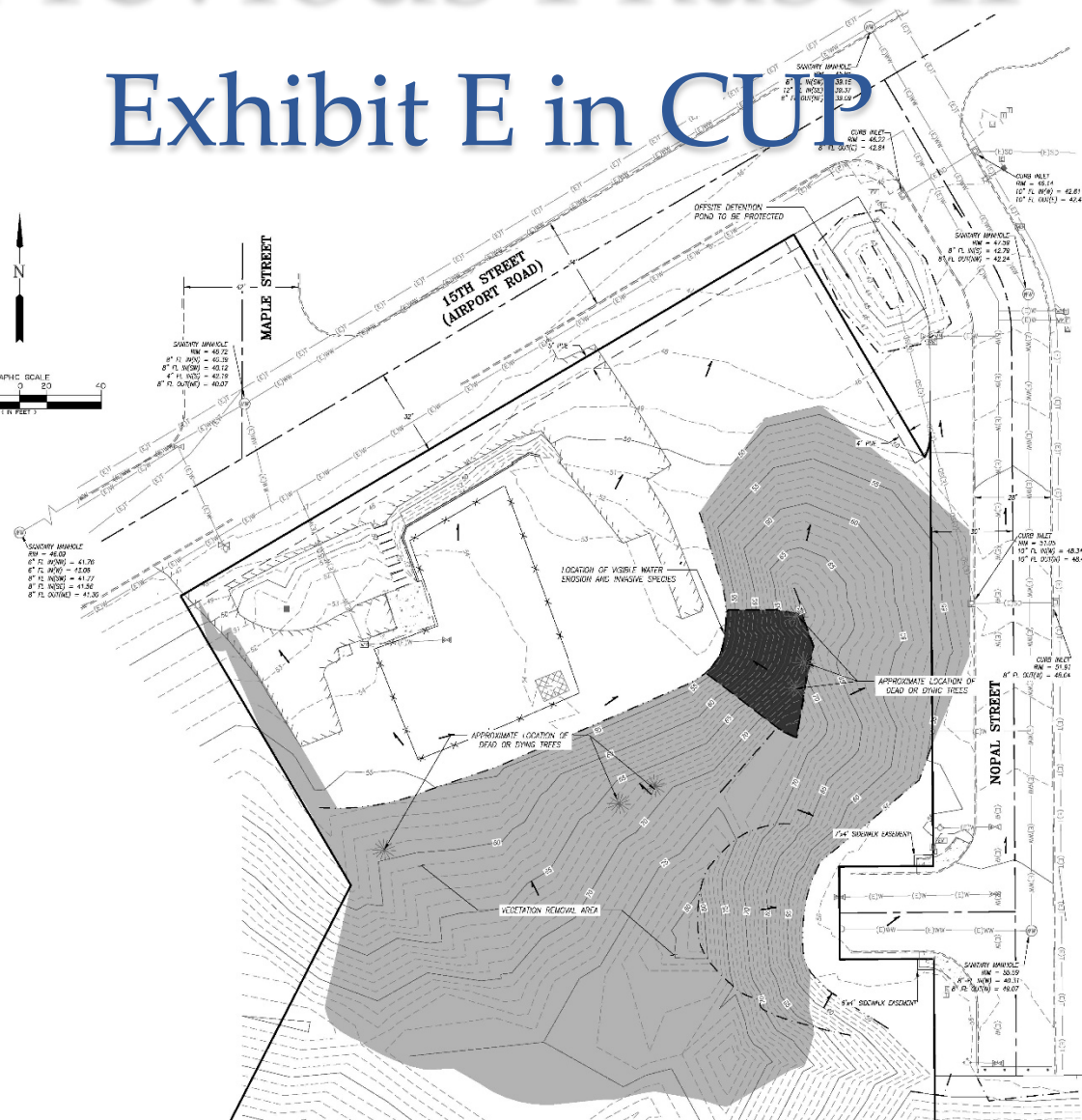


Exhibit E

Branch
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Springfield OR | Albany OR

**NOT FOR
CONSTRUCTION**

project title

**DEVNW AIRPORT RD. PUD
PHASE II SITE INVESTIGATION REPORT**
TAX MAP: 18-12-27-1, TAX LOT: 15400
FLORENCE, OREGON
97439

revision:

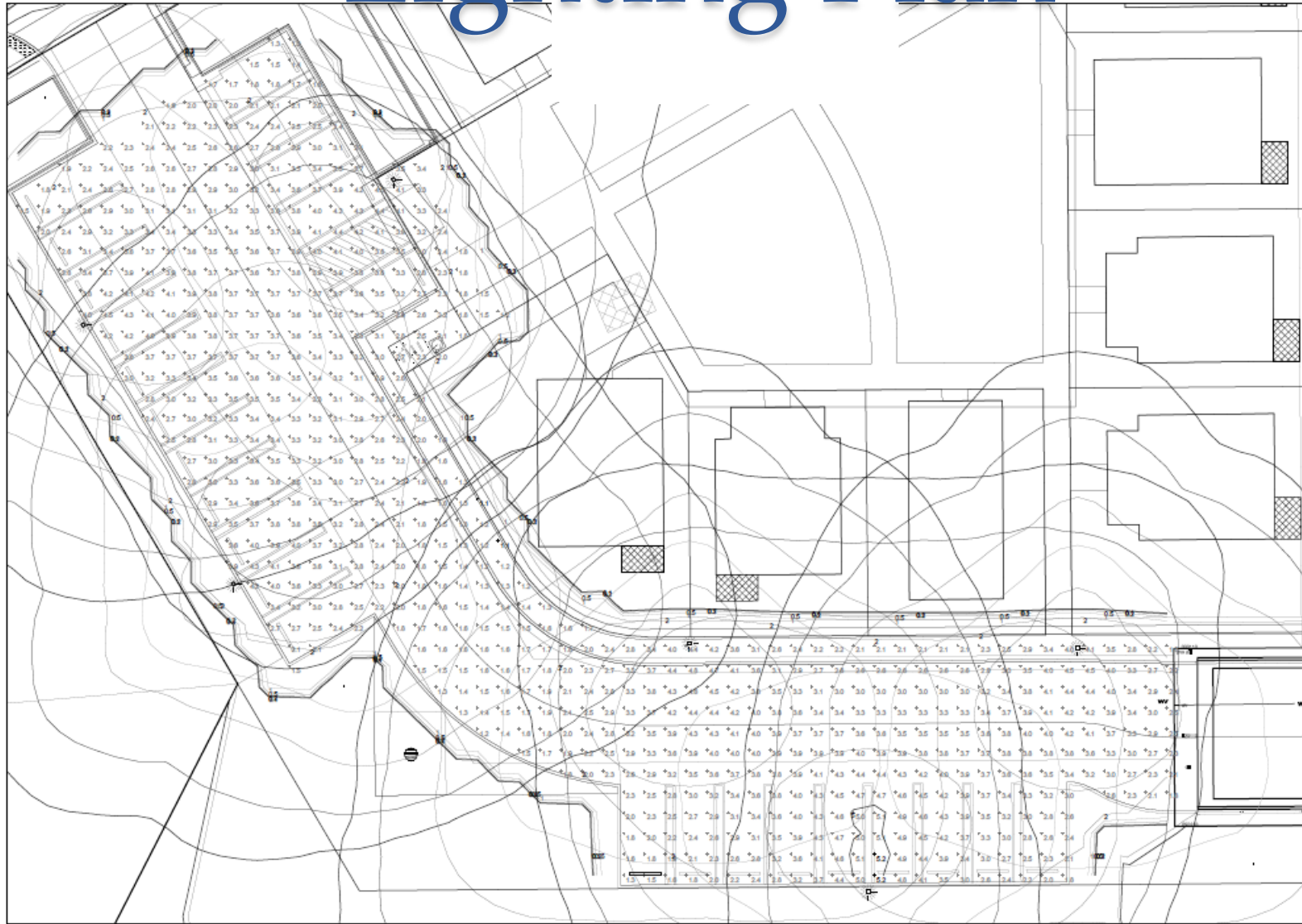
date: FEB. 5, 2020
drawn by: AWMS
checked by: RC
project no: 18-493

**PHASE II
EXISTING SITE
INVESTIGATION
REPORT MAP**

sheet:

1

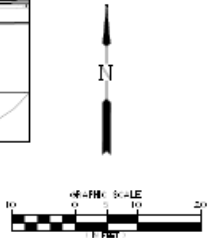
Lighting Plan

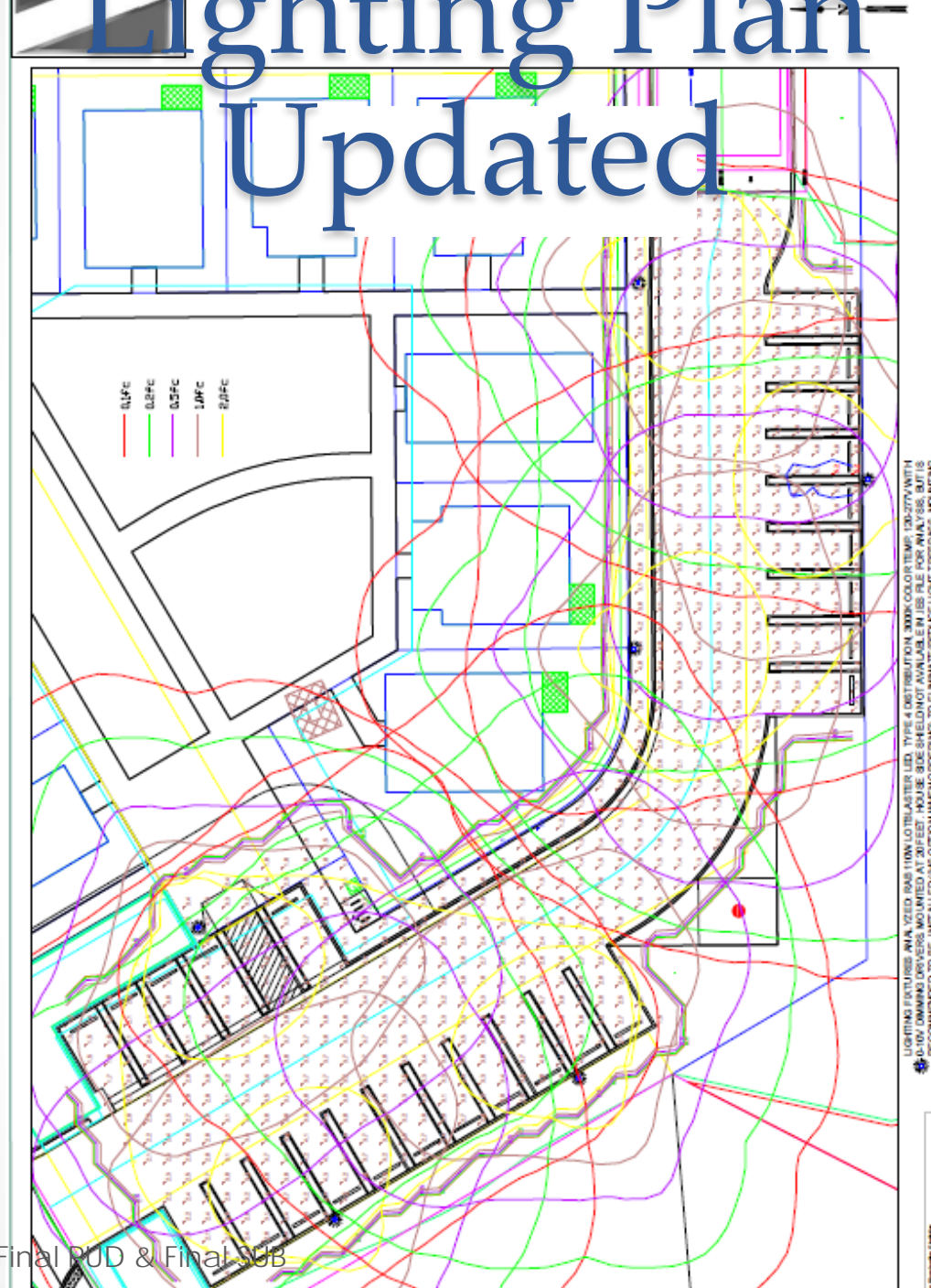


LIGHTING FIXTURES ANALYZED: RAB 110W LOTBLASTER LED, TYPE 4 DISTRIBUTION, 3000K COLOR TEMP, 120-277V WITH 0-10V DIMMING DRIVERS, MOUNTED AT 20 FEET. HOUSE SIDE SHIELD NOT AVAILABLE IN IES FILE FOR ANALYSIS, BUT IS RECOMMENDED TO BE INSTALLED (H/S OPTION WHEN ORDERING) TO ELIMINATE/REDUCE LIGHT TRESPASS. MOUNTING (POLES/FOUNDATIONS), SWITCHING AND CIRCUITRY TO BE RESPONSIBILITY OF OWNER/CONTRACTOR. POLES ARE RECOMMENDED TO BE PLACED 3 FEET OR MORE FROM THE BACK OF THE CURB

Parking Area Illumination Statistics						
Description	Number	Area	Min	Max	Average	Footcandle
Parking Area	1	20.0	0.26	1.14	0.71	0.71

Landscape Schedule									
Item	Location	Quantity	Description	Notes	Remarks	Notes	Remarks	Notes	Remarks
1	1	1	1	1	1	1	1	1	1





Staff Comments

- On the approved plans, they proposed a stormwater facility along the Airport Road frontage to handle both street runoff and their private roof drain runoff. However, the existing water main is very shallow and conflicts with the planned stormwater facility. We determined that it was in the best interests of the developer and the City to not require the relocation of the water main at this time. In the City's 20-year capital improvement plan the existing 6-inch water main will be replaced with a 12-inch water main. Again, that will take place sometime in the next 20 years. The change will be noted on the as-built plans and will not require additional revisions to the public improvement plans.
- What we agreed to was the elimination of the stormwater treatment facility (the portion that would have treated the stormwater runoff from the street) and continue to allow the stormwater to run along the gutter line and enter the storm system as it does today. The sidewalk will remain property tight (the back of sidewalk at the property line) with a planter strip between the sidewalk and back of curb. We will have them enter into a private use of public right-of-way agreement to locate their roof drain infiltration systems within that area. In the future that may need to change if Airport is fully widened to allow on-street parking.

Staff Recommendation

Staff finds that the proposed application meets the requirements of City Code with conditions, and **recommends approval of the Final PUD & Final Subdivision,** subject to conditions.

Conditions of Approval

1. Any modifications to the approved plans or changes of use, except those changes relating to Building Codes, will require approval by the Community Development Director or Planning Commission/Design Review Board.
2. Regardless of the content of material presented, including application text and exhibits, staff reports, testimony and/or discussions, the applicant agrees to comply with all regulations and requirements of the Florence City Code which are current on this date, EXCEPT where variance or deviation from such regulations and requirements has been specifically approved by formal Planning Commission action as documented by the records of this decision and/or the associated Conditions of Approval. The applicant shall submit to the Community Development Department a signed "Agreement of Acceptance" of all conditions of approval prior to issuance of a building permit.

Conditions of Approval

3. Upon encountering any cultural or historic resources during construction, the applicant shall immediately contact the State Historic Preservation Office and the Confederated Tribes of Coos, Lower Umpqua, and Siuslaw Indians. Construction shall cease immediately and shall not continue until permitted by either a SHPO or CTCLUSI representative.

Conditions of Approval

4. The applicant shall amend the Landscaping Plan to (a) include landscaping/irrigation notes for the 10' buffer area between the western property boundary and the parking lot and (b) provide vegetation in Tract C of the proposed development in order to retain the slope. Such vegetation shall be plantings that quickly establish root systems to ensure stability of the slope.

Conditions of Approval

5. Due to a recent discovery regarding how rooftop drainage is conveyed to Airport Rd./15th St, the stormwater leaving the private on-site facilities shall reflect that it will collect in a facility in the public right-of-way. As such, the applicant shall submit a draft Memorandum of Understanding for responsibility of the surface and subsurface maintenance and future relocation of this private stormwater facility. The CC&R's shall also reflect the responsibility of the future HOA in maintaining the public stormwater facility. Such memorandum shall be submitted to the Planning Department and recorded with Lane County Deeds and Records.

Conditions of Approval

6. The labeling of the recently approved Murrelet Lane name, and to be located in Tract B of the final plat draft, shall be added to the final plat.
7. Condition 32 in Exhibit “N” addresses capping a sewer lateral: “Locate and cap the two existing sanitary sewer laterals that serviced the former Senior Center and the undeveloped area to the east.” Changes to the final plan include reusing the existing sewer lateral located in the undeveloped area to the east. The plans note to cap the sanitary sewer lateral that serviced the former Senior Center. One lateral not referenced in the condition will connect to the sewer main located in the emergency access turnaround at the south end of Nopal St. The updated plan does not show that these are to be used, so they shall be capped.
8. The applicant shall have the photometric plans amended to illustrate that lighting remains internal to the development.

Conditions of Approval

9. Field investigation has changed the requirements of Condition 31, which is outlined in Resolution PC 19 22 PUD 03, Resolution PC 23 SUB 04 and Resolution PC19 05 CUP, (Exhibit "N"). What is currently on the plans is not reflective of the final changes and the following shall be noted on the as-built drawings: The proposed fire hydrant is in the correct location, but shall be connected to a new 'T' that will be cut into the existing water main. From that point continuing to the east to the connection for the water main that loops through the development, the contractor shall re-section the water main in order to remove a cross and install a new 'T' and the valve cluster (the three water main line valves). The plans shall be updated and approved by City staff accordingly.

Conditions of Approval

10. The applicant shall have the final plat draft amended to reflect the location of private stormwater drainage easements as stated in the CC&R's. Additionally, in order to satisfy Condition 38 of Resolution PC 19 22 PUD 03, Resolution PC 23 SUB 04 and Resolution PC19 05 CUP 01 (Exhibit "N"), the final plat (Exhibit "D") shall describe the areas specifically reserved as open space and common space, and that residential building/s except for storage are allowed on Tracts A and C.

Conditions of Approval

11. Field investigation has changed the requirements of Condition 31, which is outlined in Resolution PC 19 22 PUD 03, Resolution PC 23 SUB 04 and Resolution PC19 05 CUP, (Exhibit "N"). What is currently on the plans is not reflective of the final changes and the following shall be noted on the as-built drawings: The proposed fire hydrant is in the correct location, but shall be connected to a new 'T' that will be cut into the existing water main. From that point continuing to the east to the connection for the water main that loops through the development, the contractor shall re-section the water main in order to remove a cross and install a new 'T' and the valve cluster (the three water main line valves). The plans shall be updated and approved by City staff accordingly.

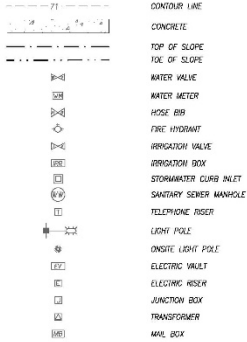
Alternatives

1. Approve the applications;
2. Deny the application;
3. Modify the findings, reasons, or conditions and approve the proposal, or
4. Continue the Public Hearing to a date certain if requested or if more information is needed.

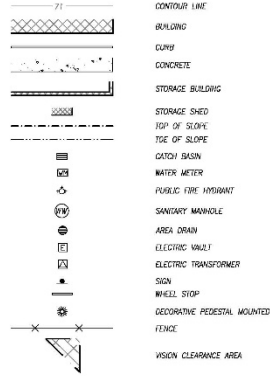
Questions?

LEGEND

EXISTING



PROPOSED



CURVE TABLE				
CURVE #	LENGTH	RADIUS	DELTA	CHORD
C1	9.10	20.00	287°40'11"	N13°00'28"E, 5.02
C2	31.88	30.50	59°24'41"	S60°26'45"E, 30.44

TABULATION OF COVERAGE

TABULATION OF COVERAGE INCLUDES THE TOTAL SITE AREA

DEVELOPMENT SITE

DAK MAP 10-12-27-10 TAX LOT 15400

TOTAL SITE AREA 73,076 SF (1.72 ACRES)

DEVELOPMENT AREA 47,639 SF (1.09 ACRES)

EXISTING CONDITIONS

IMPERVIOUS AREA 83 SF (0.00 ACRES)
 ROOF 5,508 SF (0.13 ACRES)
 CONCRETE 363 SF (0.01 ACRES)
 PERVIOUS AREA 42,855 SF (0.99 ACRES)

PROPOSED CONDITIONS

IMPERVIOUS AREA 11,808 SF (0.27 ACRES)
 ROOF 10,851 SF (0.25 ACRES)
 PAVING/DRIVE 6,224 SF (0.14 ACRES)
 PERVIOUS AREA 11,862 SF (0.27 ACRES)

COMMON 6,154 SF (0.14 ACRES)
 INCREASE IN IMPERVIOUS AREA 23,129 SF (0.53 ACRES)

LANDSCAPED AREA 4,631 SF (0.11 ACRES)
 LANDSCAPED STORMWATER FACILITIES 1,630 SF (0.04 ACRES)
 UNDEVELOPED AREA 27,437 SF (0.63 ACRES)

PERCENTAGE OF LOT LANDSCAPED

45%

