

# Appendix C

Design Criteria for Selected Stormwater Facilities

(Excerpted from Florence Stormwater Design Manual, November 2010)

Exhibit K58-B2

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## 5.2 Pervious Pavements



See [Appendix I.1 SW-110](#) for typical details.

**Description:** Pervious pavements allow rainwater to pass directly through the paving surface into gravel layers below, where it infiltrates into the native soils. There are many types of porous pavements available on the market today, including but not limited to porous asphalt mixes, porous concrete mixes, and concrete paver systems designed with gaps or holes to allow water to pass through. The following list includes the types of paving systems that are considered by the City to be pervious and acceptable. Other paving systems may be reviewed on a case-by-case basis for porous designation, and must show the ability to pass water quickly through the pavement layer:

- Porous concrete mix, open-graded mix placed over an open-graded base rock layer
- Uni Eco-Stone® pavers placed over an open-graded base rock layer
- Uni Ecoloc® pavers placed over an open-graded base rock layer
- SF RIMA™ pavers placed over an open-graded base rock layer
- TurfStone paver system, planted with grass or filled with clean gravel

The long-term effectiveness of a pervious pavement system to retain and/or infiltrate water depends on the ability and practice of keeping its surface and pavement layer clear of debris and sediment that can cause clogging.

**Applicability:** See [Appendix I](#) for detail drawings. Pervious pavements that meet all applicable State and City building codes may be used on private property to receive stormwater management credit. Pervious pavement areas do not need to be entered into Form SIM for further management. Pervious pavement surfaces must be designed and stamped by a registered professional engineer in the State of Oregon. Proprietary pervious pavement systems must be installed per manufacturer specifications. Porous pavement proposals in the public right-of-way must be pre-approved by the City of Florence. Porous pavements shall not be used in areas covered by the 100-year floodplain, or at slopes that exceed 3%.

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**Groundwater:** In high groundwater areas, groundwater must be addressed per Section 4.6. An underdrain may be necessary to maintain permeability of the pavement.

**Safety Overflow:** Pervious pavement systems shall be designed with a safety overflow mechanism to prevent ponding in the event that the surface is clogged with sediment or debris. The overflow mechanism may consist of an inlet drain, catch basin, curb opening, or other method.

### **Submittal Requirements**

Depending on the scope and scale of the proposed project, the following design approaches apply to pervious pavement:

- Simplified Approach for pedestrian walkways and residential driveways.
- Presumptive Approach for parking lots, shared courts, and fire lanes.
- When considering permeable pavement for the public right-of-way, the applicant must submit the project under the Performance Approach. Permeable pavement in the public right-of-way is approved on a case-by-case basis at the discretion of the City of Florence Public Works Director.
- When considering pervious pavement for private streets the street section must be designed by a registered professional engineer. A site development permit is required for private street construction.

**Operations and Maintenance requirements:** See Chapter 6.

## 5.3 Vegetated Swales



See **Appendix I SW-120** for typical private property swale detail and **Appendix I SW-300-302** for typical Green Street swale details.

**Description:** Swales are long and narrow landscaped depressions used to collect and convey stormwater runoff, allowing pollutants to settle and filter out as the water flows from one bay to the next through the facility. Swales should be integrated into the overall site design and can be used to help fulfill a site's required landscaping area requirement.

**Design Considerations:** When designing swales, slopes and depth should be kept as mild as possible to avoid safety risks, improve aesthetics, and prevent erosion within the facility. For street swales in the public right-of-way all applicable City requirements for other street elements (curbs, sidewalks, trees, etc.) must be met. Swales located next to public sidewalks shall have a minimum 12"-wide flat area between the swale and the sidewalk.

**Construction Considerations:** Swale areas should be clearly marked before site work begins to avoid soil disturbance and compaction during construction.

### Design Requirements:

**Groundwater** In high groundwater areas, groundwater must be addressed per **Section 4.6**.

**Growing Medium:** Topsoil shall be used within the top 18 inches of the facility per **Appendix B** to support plant growth. Maximum design infiltration rate of the facility is controlled by the infiltration rate of the growing medium and shall not be greater than 4 in/hr. With a demonstrated hardship, higher design infiltration rates may be used with the infiltration blend soil (see **Appendix B**) if stormwater from vehicular surfaces is pretreated. Design infiltration rate shall be demonstrated with testing certified by a professional Engineer or Geologist and shall not exceed 10 inches per hour. Areas subject to inundation shall be covered in non-floatable mulch or washed pea gravel. Side slopes shall be covered with suitable mulch such as fine or medium hemlock bark mulch.

**Dimensions and Slopes:** See **Appendix I** for detail drawings. The minimum swale width is 5 feet on private property and 8 feet on streets. A 2-foot-wide flat bottom width is required where feasible. Swales designed with the Simplified Approach are 9 inches deep measured from the top

of the growing medium to the overflow inlet elevation. Swales designed with the Presumptive Approach vary in depth from 6 to 12 inches. In all cases, maximum side slopes are 3 horizontal to 1 vertical and 4 horizontal to 1 vertical is required immediately adjacent to pedestrian areas. Maximum longitudinal slope is 6 percent. Freeboard for swales must be noted on the plans. Freeboard can be defined as the vertical distance between the design water surface elevation and overtopping elevation or the vertical distance between the top of the check dam and the outside berm or curb elevation (whichever is lower).

**Flow spreader:** The swale shall incorporate a flow-spreading device at the inlet to the swale. The flow spreader shall provide a uniform flow distribution across the swale bottom. Private swales may use riprap to disperse the flow from the inlet pipe. In swales with a bottom width greater than 6 feet, a flow spreader shall be installed at least every 50 feet.

**Check dams:** Check dams are required in swales to allow water to pool and infiltrate into the ground. They shall be constructed of durable, non-toxic materials such as rock, brick, concrete, or soil by integrating these materials into the grading of the swale. Check dams are as long as the width of the swale, perpendicular to flow line. They generally form a 12 inch wide bench on top and measure 4 to 10 inches high, depending on the depth of the facility. See **Appendix I.3 SW-340** for typical check dam details.

**Access routes:** Access routes to the swale for maintenance purposes must be shown on the plans. Public swales require a minimum 10-foot wide access route for maintenance, not to exceed 10 percent in slope.

**Setbacks:** Required setback from building foundations is 10 feet unless lined with impermeable fabric. Easements for non-buildable areas on adjacent properties may be required if facilities are located next to property lines.

**Simplified Approach Sizing:** Swales sized with the Simplified Approach shall be designed to receive less than 0.5 acre of impervious area runoff. For these projects, a Simplified Approach sizing factor of 0.09 for vegetated swales may be used to receive credit for pollution reduction. Swales with greater than 0.5 acre of impervious area to manage must use the Presumptive Approach to size the swale.

**Presumptive Approach Sizing Criteria:**

- 1) **Pollution Reduction Criteria (no flow control):** The swale width and profile shall be designed to convey runoff from the Water Quality Design Storm (See Table 4.2) and shall meet the following criteria:
  - Maximum flow depth during the Water Quality Design Storm is 4 inches.
  - Maximum water velocity during the Water Quality Design Storm is 0.9 feet per second.
  - Minimum hydraulic residence time (time for  $Q_{design}$  to pass through the swale) of 9 minutes. (if infiltration not possible)
  - Minimum longitudinal slope of 0.5 percent, maximum slope of 6 percent. For slopes greater than 2 percent, check dams shall be used (one dam every 12 feet).
  - Designed using a Manning "n" value of 0.35 for vegetated swales.

2) **Flow Control Criteria:** In order for swale facilities to meet flow control requirements under the presumptive approach the swale shall be designed to store and infiltrate the entire 25 yr Design Storm. The areas behind each check dam shall be modeled as individual infiltration basins varying in depth from the height of the check dam to zero. The length of the pool is dependent on the height of the check dam and the slope of the swale.

3) Vegetation shall be established as soon as possible after the swale is completed, and before water is allowed to enter the facility.

4) Unless vegetation is established, biodegradable erosion control matting appropriate for low-velocity flows (approximately 1 foot per second) shall be installed in the flow area of the swale before allowing water to flow through the swale.

### **Landscaping:**

#### **Vegetated Swales**

Vegetation provides filtration and root uptake functions, protects from rain and wind erosion, and enhances aesthetic conditions. The “facility area” is equivalent to the area of the swale, including bottom and side slopes. The minimum plant material quantities per **100** square feet of facility area shall be as follows:

#### **Private Swales:**

**Zone A (wet):** 115 herbaceous plants or 100 herbaceous plants and 4 small shrubs

**Zone B (moderate to dry):** 1 tree, 3 large shrubs/small trees, 4 small shrubs, and 140 groundcover plants

#### **Public Swales:**

**Zone A (wet):** 115 herbaceous plants or 100 herbaceous plants and 4 small shrubs

**Zone B (moderate to dry):** 12 small shrubs, and 70 groundcover plants

The delineation between Zone A and Zone B shall be either the height of the check dam or the overflow outlet elevation which ever is lower.

**Trees:** For private swales, the following evergreen or deciduous trees shall be retained or planted within or adjacent to the swale and continuing approximately 30 feet on center the length of the swale:

Evergreen trees: Minimum height: 6 feet

Deciduous trees: Minimum caliper: 1 ½ inches at 6 inches above base.

### **Stormwater Report Requirements For Presumptive Approach:**

#### **Checklist of minimal information to be shown on the permit drawings:**

1) Facility dimensions and setbacks from property lines and structures

- 2) Profile view of facility, including typical cross-sections with dimensions
- 3) Growing medium specification
- 4) Filter fabric specification (if applicable)
- 5) All curb cut details and stormwater piping associated with the facility, including pipe materials, sizes, slopes, and invert elevations at every bend or connection
- 6) Landscaping plan

**Inspection requirements and schedule:** The following table shall be used to determine which stormwater facility components require City inspection, and when the inspection shall be requested:

**Facility Component Inspection Requirement**

Swale grading	
Curbs / curb cuts	Call for Inspection
Piping (if applicable)	Call for Inspection
Filter fabric (if applicable)	
Growing medium	Call for Inspection
Plantings/seeding/sod	Call for Inspection

**Operations and Maintenance requirements:** See Chapter 6.

## 5.4 Stormwater Planters



See **Appendix I.1 SW-130** for typical private property planter detail and **Appendix I.3 SW-310** through **SW-313** for typical Green Street planter details.

**Description:** Stormwater planters are structural landscaped reservoirs used to collect, filter, and/or infiltrate stormwater runoff, allowing pollutants to settle and filter out as the water percolates through the planter soil before infiltrating into the ground below or piped to its downstream destination. In addition to providing pollution reduction, flow rates and volumes can also be managed with stormwater planters. Stormwater planters can be used to help fulfill a site's required landscaping area requirement and should be integrated into the overall site design. Numerous design variations of shape, wall treatment, and planting scheme can be used to fit the character of a site. Stormwater planters may provide either "infiltration treatment" or "filtration treatment".

### **5.4.1 Infiltration Stormwater Planters:**

**Groundwater** In high groundwater areas, groundwater must be addressed per Section 4.6.

**Construction Considerations:** Location of *Infiltration Stormwater Planters* should be clearly marked before site work begins to avoid soil disturbance during construction. No vehicular traffic, except that specifically used to construct the facility, should be allowed within 10 feet facility areas.

**Soil:** Topsoil shall be used within the top 18 inches of the facility per **Appendix B** to support plant growth. Maximum design infiltration rate of the facility is controlled by the infiltration rate of the growing medium and shall not be greater than 4 in/hr. With a demonstrated hardship, higher design infiltration rates may be used with the infiltration blend soil (see **Appendix B**) if stormwater from vehicular surfaces is pretreated. Design infiltration rate shall be demonstrated with testing certified by a professional Engineer or Geologist and shall not exceed 10 inches per hour. The bottom shall be covered in non-floatable mulch or washed pea gravel.

**Dimensions and Slopes:** See **Appendix I** for detail drawings. Facility storage depth must be at least 9 inches, unless a larger than- required planter square-footage is used. Minimum *Infiltration Stormwater Planter* width is 30 inches. Planters shall be constructed without slope.

**Setbacks:** Required setback for *Infiltration Stormwater Planters* is 5 feet from property lines and 10 feet from structures. Easements for non-buildable areas on adjacent properties may be required if facilities are located next to property lines.

#### **5.4.2 Filtration Stormwater Planters:**

**Design Considerations:** These facilities are appropriate for facilities located within 10-feet of building foundations or in high groundwater areas with an approved impermeable membrane. Filtration Planters shall only be used where infiltration planters are not feasible.

**Construction Considerations:**

Special attention needs to be paid to the planter waterproofing if constructed adjacent to building structures. The walls of a *Filtration Stormwater Planter* can often times be incorporated with the building foundation plans. The bottom of *Filtration Stormwater Planters* must be lined with an impermeable membrane of 60 mil plastic film.

**Soil:** Topsoil shall be used within the top 18 inches of the facility per **Appendix B** to support plant growth. Maximum design infiltration rate of the facility is controlled by the infiltration rate of the growing medium and shall not be greater than 4 in/hr. With a demonstrated hardship, higher design infiltration rates may be used with the infiltration blend soil (see **Appendix B**) if stormwater from vehicular surfaces is pretreated. Design infiltration rate shall be demonstrated with testing certified by a professional Engineer or Geologist and shall not exceed 10 inches per hour. The bottom shall be covered in non-floatable mulch or washed pea gravel.

**Dimensions and Slopes:** Facility storage depth must be at least 9 inches, unless a larger than-required planter square-footage is used. Minimum *Filtration Stormwater Planter* width is 18 inches. Planters shall be constructed without slope.

**Setbacks:** A setback for *Filtration Stormwater Planters* is not required.

#### **5.4.3 General Requirements**

**Planter Walls:** Planter walls shall be made of stone, concrete, brick, wood, or other durable material. Chemically treated wood that can leach out toxic chemicals and contaminate stormwater shall not be used.

**Simplified Sizing:** Individual Stormwater Planters sized with the Simplified Approach shall be designed to receive less than 0.5 acre of impervious area runoff. For stormwater planters a Simplified Approach sizing factor of 0.06 may be used to receive credit.

**Presumptive Method Sizing:** The Presumptive Approach may be used to downsize the Simplified Approach sizing factor. The applicant shall size stormwater planter to have sufficient storage

volume for the entire 25 year storm. Planters shall be designed to pond water for less than 18 hours after each storm event.

**Landscaping:** Plantings shall be designed at the following quantities per 100 square feet of facility area. Facility area is equivalent to the area of the planter.

**Zone A (wet):** 115 herbaceous plants or 100 herbaceous plants and 4 small shrubs

**Note:** Tree planting is not required in planters, but tree planting is encouraged near planters.

**Checklist of minimal information to be shown on the permit drawings:**

- 1) Facility dimensions and setbacks from property lines and structures
- 2) Profile view of facility, including typical cross-sections with dimensions
- 3) Planter wall material and waterproofing membrane specification
- 4) Growing medium specification
- 5) Drain rock specification (if applicable)
- 6) Filter fabric specification (if applicable)
- 7) All stormwater piping associated with the facility, including pipe materials, sizes, slopes, and invert elevations at every bend or connection (if applicable)
- 8) Stormwater destination
- 9) Landscaping plan

**Inspection requirements and schedule:** The following table shall be used to determine which stormwater facility components require City inspection, and when the inspection shall be requested. Please note that, while not all facility components may require an inspection call, inspectors will inspect for all required components in the field.

**Facility Component Inspection Requirement**

Planter grading/ excavation	
Structural components/ liner	Call for Inspection
Piping (if applicable)	Call for Inspection
Filter fabric (if applicable)	
Growing medium	Call for Inspection
Plantings	Call for Inspection

**Operations and Maintenance requirements:** See Chapter 6

## 5.5 Rain Gardens



See **Appendix I.1 SW-140** for typical rain garden details.

**Description:** Rain gardens are landscaped reservoirs used to collect, filter, and/or infiltrate stormwater runoff, allowing pollutants to settle and filter out as the water percolates through the planter soil before infiltrating into the ground below or being piped to its downstream destination. In addition to providing pollution reduction, flow rates and volumes can also be managed with rain gardens. Rain gardens can be used to help fulfill a site's required landscaping area requirement and should be integrated into the overall site design. Numerous design variations of shape, and planting scheme can be used to fit the character of a site. Rain gardens may provide either "infiltration treatment" or "filtration treatment".

**Simplified Method Sizing:** A Simplified Approach sizing factor of 0.06 may be used to receive credit for pollution reduction and flow control. The square-footage is determined at the peak water surface prior to overflow.

**Presumptive Method Sizing:** The Presumptive Approach may be used to downsize the Simplified Approach sizing factor. The applicant shall size stormwater planter to have sufficient storage volume for the entire 25 year storm. Planters shall be designed to pond water for less than 18 hours after each storm event.

**Soil:** Topsoil shall be used within the top 18 inches of the facility per **Appendix B** to support plant growth. Maximum design infiltration rate of the facility is controlled by the infiltration rate of the growing medium and shall not be greater than 4 in/hr. With a demonstrated hardship, higher design infiltration rates may be used with the infiltration blend soil (see **Appendix B**) if stormwater from vehicular surfaces is pretreated. Design infiltration rate shall be demonstrated with testing certified by a professional Engineer or Geologist and shall not exceed 10 inches per hour. The bottom shall be covered in non-flotable mulch or washed pea gravel.

**Geometry/Slopes:** See **Appendix I** for detail drawings.

- There is no shape requirement for rain gardens. They can be designed as square, rectangular, circular, oblong, or irregular.
- The minimum width for any rain garden shall be 5 feet.
- The maximum side slopes within rain gardens shall be 3 horizontal to 1 vertical.
- The minimum ponding depth shall be 6 inches. Maximum ponding depth shall be 12 inches during water quality storm.
- The minimum depth of soil amendment for rain gardens shall be 18 inches. See Appendix B for the required soil amendment specifications to be included with the permit plans.

### **5.5.1 Infiltration Rain Gardens:**

**Infiltration Rain Gardens- Applicability:** Infiltration rain gardens are used to manage stormwater flowing from all types of impervious surfaces on private property and from the public right-of-way. If located within 10 feet from building foundations or upslope of building structures, a filtration rain garden must be used instead with an impermeable liner.

**Groundwater** In high groundwater areas, groundwater must be addressed per Section 4.6.

**Piping for Infiltration Rain Gardens:** Piping per Plumbing Code requirements shall be used to direct stormwater from impervious if used within the public street right-of-way or within or surfaces to infiltration rain gardens, or adjacent to parking lot areas, stormwater may flow directly into them via curb openings. An overflow drain, when required, shall be constructed to allow at least 6 inches but not more than 12 inches of water to pond in the rain garden prior to overflow. On private property, this overflow drain and piping must meet Plumbing Code requirements and shall direct excess stormwater to an approved disposal point as identified on the Public Works Permit drawings.

Within the public street right-of-way, this overflow drain and piping must meet City of Florence Public Works Standards and shall direct excess stormwater to an approved disposal point.

### **5.5.2 Filtration Rain Gardens:**

**Filtration Rain Gardens- Applicability:** Filtration rain gardens are used to manage stormwater flowing from all types of impervious surfaces on private property, when rain garden must be located within 10 feet of building foundations, immediately upslope of building structures.

**Piping for Filtration Rain Gardens:** Piping per Plumbing Code requirements shall be used to direct stormwater from impervious surfaces to filtration rain gardens, or if used within or adjacent to parking lot areas, stormwater may flow directly into them via curb openings. An overflow drain shall be constructed to allow at least 6 inches but not more than 12 inches of water to pond in the rain garden prior to overflow. A perforated system of pipes shall be constructed 18" under the filtration rain to drain water that has filtered through the topsoil and prevent long-term ponding. On private property, this overflow drain and piping must meet Plumbing Code requirements and shall direct excess and filtered stormwater to an approved disposal point as identified on the subdivision's Public Works Permit drawings.

### **5.5.3 General Requirements**

#### **Setbacks**

For infiltration rain gardens and filtration rain gardens without an impermeable liner:

- Minimum setback from building structures shall be 10 feet.
- Infiltration rain gardens or filtration rain gardens without a liner may not be located immediately upslope of building structures.
- There is not a required setback for filtration rain garden as long as an impermeable 60 mils a PVC liner is used.
- Infiltration rain gardens shall be set back a minimum of 5 feet from property lines.

**Landscaping:** Vegetation provides filtration and root uptake functions, protects from rain and wind erosion, and enhances aesthetic conditions. Plantings shall be designed at the following quantities per 100 square feet of facility area. Facility area is equivalent to the area of the rain garden calculated from Form SIM.

**Zone A (wet):** 115 herbaceous plants or 100 herbaceous plants and 4 small shrubs

**Zone B (moderate to dry):** 1 tree, 3 large shrubs/small trees, and 4 small shrubs.

#### **Facility Component Inspection Requirement**

Rain Garden grading/ excavation	
Structural components/ liner	Call for Inspection
Piping (if applicable)	Call for Inspection
Filter fabric (if applicable)	
Growing medium	Call for Inspection
Plantings	Call for Inspection

**Operations and Maintenance requirements: See Chapter 6**

## 5.6 *Vegetated Filter Strips*

See **Appendix I SW-160** for typical filter strip details.

**Description:** Vegetated filter strips, or vegetated filters, are gently sloping areas used to filter, slow, and infiltrate sheet flow runoff. Stormwater enters the filter as sheet flow from an impervious surface or is converted to sheet flow using a flow spreader. Flow control is achieved using the relatively large surface area, and for slopes greater than 5%, a generous proportion of check dams or terraces. Pollutants are removed through filtration and sedimentation. Filters can be planted with a variety of trees, shrubs, and ground covers, including grasses. Sod may be used for single-family residential sites and for filter strips along sidewalks. There are an infinite number of ways to fit this concept into site designs and designers are encouraged to use the site landscape areas for this purpose. An approved conveyance/destination method may be required at the end of the filter.

**Design Considerations:** When designing vegetated filters, slopes should be kept as flat as possible to prevent erosion. Spreading the flow evenly across the filter is also important in ensuring that the facility functions correctly and avoids flow channeling.

**Construction Considerations:** Vegetated filter areas should be clearly marked before site work begins to avoid soil disturbance during construction. No vehicular traffic, except that specifically used to construct the facility, should be allowed within 10 feet of filter areas. Flow spreaders must be constructed perfectly level to distribute flows evenly across the filter, and for public facilities must be surveyed after construction.

**Design Requirements:** See **Appendix I** for detail drawings.

**Groundwater** In high groundwater areas, groundwater must be addressed per Section 4.6.

**Soil** Topsoil shall be used within the top 18 inches of the facility per **Appendix B** to support plant growth. Maximum design infiltration rate of the facility is controlled by the infiltration rate of the growing medium and shall not be greater than 4 in/hr. **Soil:** Topsoil shall be used within the top 18 inches of the facility per **Appendix B** to support plant growth. Maximum design infiltration rate of the facility is controlled by the infiltration rate of the growing medium and shall not be greater than 4 in/hr. With a demonstrated hardship, higher design infiltration rates may be used with the infiltration blend soil (see **Appendix B**) if stormwater from vehicular surfaces is pretreated. Design infiltration rate shall be demonstrated with testing certified by a professional Engineer or Geologist and shall not exceed 10 inches per hour.

**Dimensions and Slopes:** The maximum slope allowable for fully planted vegetated filter strips is 10%. The maximum slope allowable for vegetated filter strips which are planted with sod only is 5%. Terraces may be used to decrease ground slopes. Minimum slopes are 0.5%.

**Setbacks:** Required setback is 10 feet from structures unless lined with impermeable fabric. Easements for non-buildable areas may be required if facilities are located near property lines.

**Sizing:** Unless used for very long, narrow projects such as pathways and trails, vegetated filters cannot be used to manage flow from more than 0.5 acre of impervious area. Filters shall be a minimum of 10 feet wide x 10 feet long. A Simplified Approach sizing factor of 0.2 may be used to receive credit for pollution reduction and flow control.

**Destination Use:** Vegetated filter strips which are designed per the Simplified Approach may be used to meet stormwater destination requirements for up to 0.5 acre of impervious surfaces. Minimum filter strip width may be reduced to 5 feet for narrow, linear impervious surfaces, such as pedestrian and bicycle paths.

**Check Dams:** When necessary, check dams allow water to pool and infiltrate into the ground and also reduce erosion as well as promote infiltration on steeper slopes. They shall be constructed of durable, non-toxic materials such as rock, brick, concrete, or soil by integrating these materials into the grading of the swale. Check dams are as long as the width of the swale, perpendicular to flow line. They generally form a 12 inch wide bench on top and measure 3 to 5 inches high, depending on the depth of the facility. See **Appendix I.3 SW-340** for typical check dam details.

**Landscaping:** The entire filter strip must have 100 percent coverage by native grasses, native wildflower blends, native ground covers, or any combination thereof.

**Checklist of minimal information to be shown on the permit drawings:**

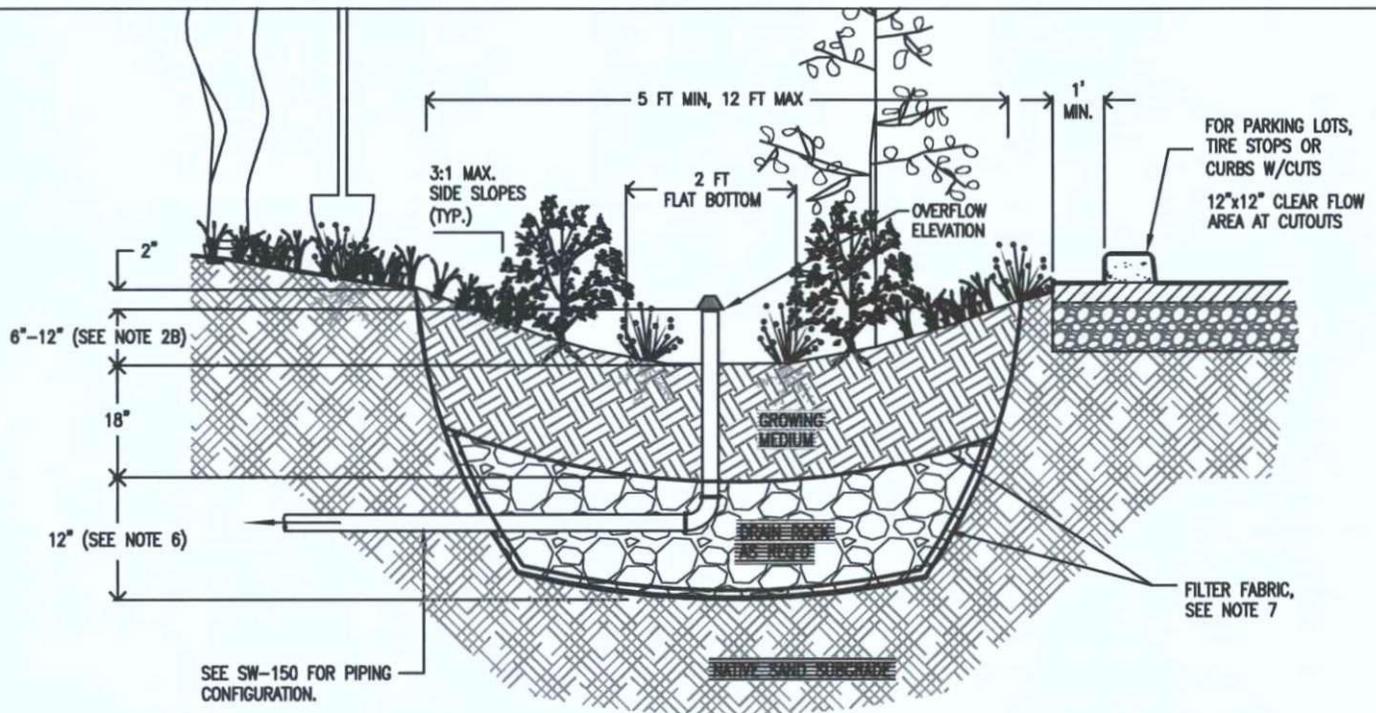
- 1) Facility dimensions and setbacks from property lines and structures
- 2) Profile view of facility, including typical cross-sections with dimensions
- 3) Growing medium specification (if applicable)
- 4) All stormwater piping associated with the facility, including pipe materials, sizes, slopes, and invert elevations at every bend or connection
- 5) Landscaping plan
- 6) Flow spreader details and specifications
- 7) Check dam or terrace details and specifications

**Inspection requirements and schedule:** The following table shall be used to determine which stormwater facility components require City inspection, and when the inspection shall be requested. Please note that, while not all facility components may require an inspection call, inspectors will inspect for all required components in the field.

**Facility Component Inspection Requirement**

Filter grading if applicable	
Terraces (if applicable)	
Piping and flow spreader (if applicable)	Call for Inspection
Growing medium (if applicable)	Call for Inspection
Plantings	Call for Inspection

**Operations and Maintenance requirements:** See **Chapter 3.0**.



1. Provide protection from all vehicle traffic, equipment staging, and foot traffic in proposed infiltration areas prior to, during, and after construction.
2. Dimensions:
  - a. Width of swale: 5' - 12'.
  - b. Depth of swale (from top of growing medium to overflow elevation); Simplified: 9", Presumptive: 6"-12".
  - c. Longitudinal slope of swale: 6.0% or less.
  - d. Flat bottom width: 2'.
  - e. Side slopes of swale: 3:1 maximum.
3. Setbacks (from centerline of facility):
  - a. Infiltration swales must be 10' from foundations and 5' from property lines.
  - b. Flow-through swales must be lined with connection to approved discharge point according to SWDM Section 2.1.
4. Overflow:
  - a. Overflow required for Simplified Approach
  - b. Inlet elevation must allow for 2" of freeboard, minimum.
  - c. Protect from debris and sediment with strainer or grate.
5. Piping: shall be ABS Sch.40, cast iron, or PVS Sch.40. 3" pipe required for up to 1,500 sq ft of impervious area, otherwise 4" min. Piping must have 1% grade and follow the Uniform Plumbing Code.
6. Drain rock:
  - a. Infiltration swale: None required
  - b. Size for flow-through swale: ¾" washed
  - c. Depth for Simplified and Presumptive: 12"
7. Separation between drain rock and growing medium: Use filter fabric.
8. Growing medium:
  - a. 18" minimum
  - b. See Appendix B for specification.
9. Vegetation: Follow landscape plans otherwise refer to plant list in SWDM Appendix G. Minimum container size is 1 gallon. # of plantings per 100sf of facility area:
  - a. Zone A (wet): 115 herbaceous plants OR 100 herbaceous plants and 4 small shrubs.
  - b. Zone B (moderate to dry): 1 tree AND 3 large shrubs / small trees AND 4 small shrubs AND 140 groundcover plants.

The delineation between Zone A and B shall be either at the outlet elevation or the check dam elevation, whichever is lowest.
10. Waterproof liner: Shall be 30 mil PVC or equivalent for flow-through facilities.
11. Install washed pea gravel or river rock to transition from inlets and splash pad to growing medium.
12. Check dams: Shall be placed according to facility design. Refer to SW-340 for profile and spacing.
13. Inspections: Call City of Florence Public Works (541) 997-4106 to schedule appropriate inspections.

- DRAWING NOT TO SCALE -

## STORMWATER MANAGEMENT MANUAL TYPICAL DETAILS



**CITY OF FLORENCE**  
PUBLIC WORKS DEPARTMENT

989 Spruce Street  
Florence, OR 97439  
Phone: 541-997-4106

DATE: 11-30-10

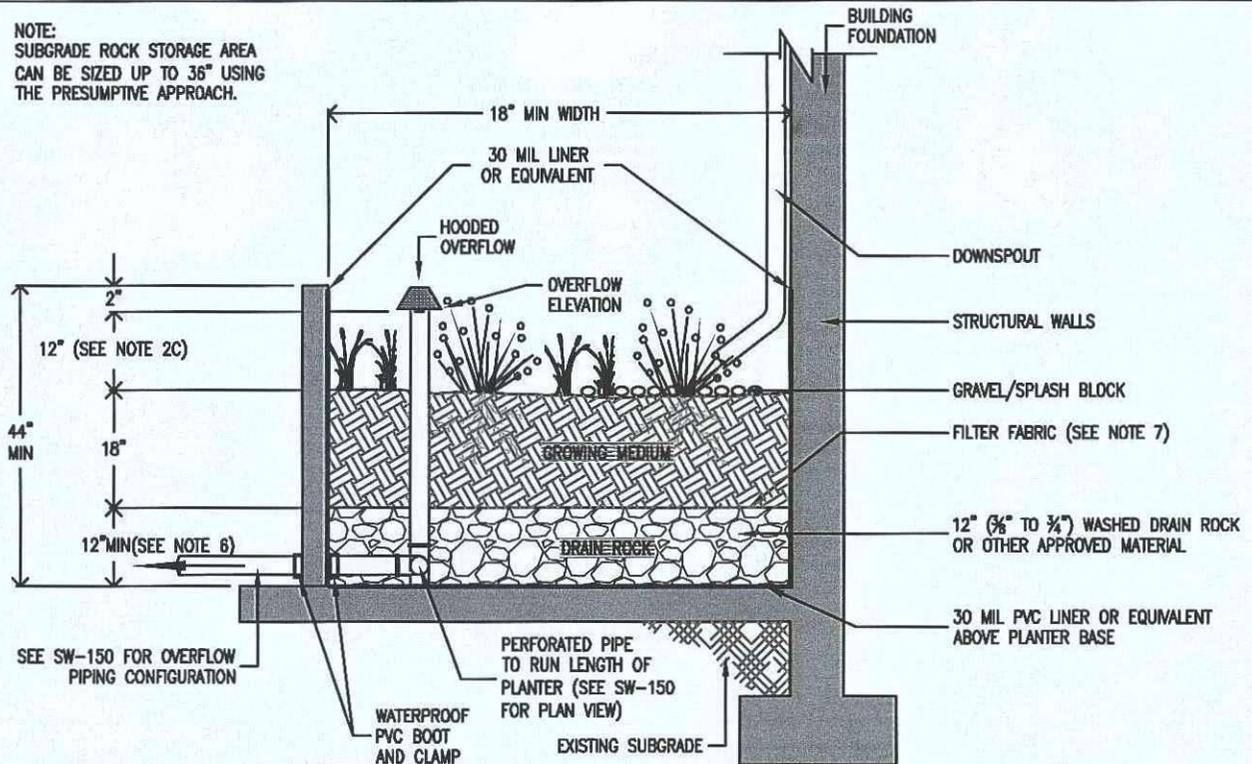
- Simplified / Presumptive Design Approach -

# Swale

NUMBER

# SW-120

NOTE:  
SUBGRADE ROCK STORAGE AREA  
CAN BE SIZED UP TO 36" USING  
THE PRESUMPTIVE APPROACH.

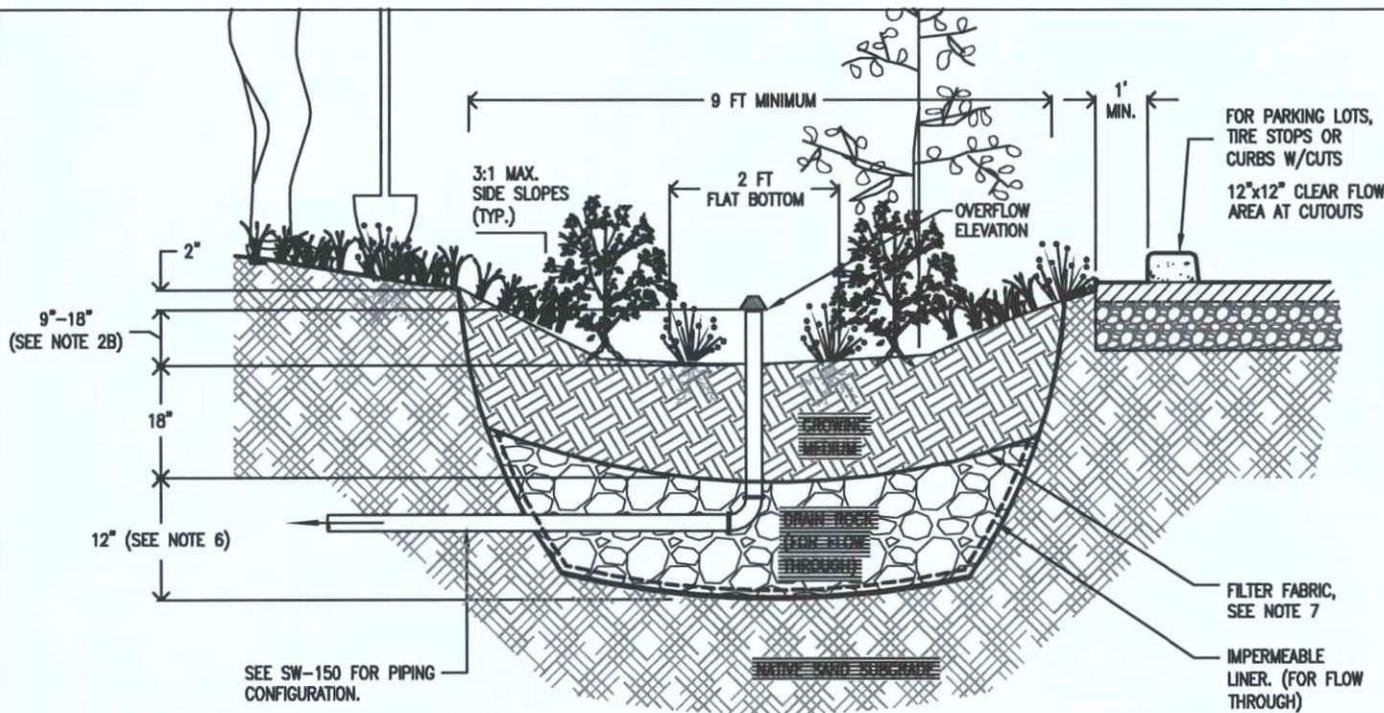


1. Provide protection from all vehicle traffic, equipment staging, and foot traffic in proposed infiltration areas prior to, during, and after construction.
2. Dimensions:
  - a. Width of flow-through planter: 18" minimum.
  - b. Width of infiltration planter: 30" minimum.
  - c. Depth of planter (from top of growing medium to overflow elevation). Simplified: 12"; Presumptive: 6"- 18".
  - d. Slope of planter: 0.5% or less.
3. Setbacks (from centerline of facility):
  - a. Infiltration planters must be 10' from foundations and 5' from property lines.
  - b. Flow-through planters must be less than 30" in height above surrounding area if within 5 feet of property line.
4. Overflow:
  - a. Overflow required for Simplified Approach.
  - b. Inlet elevation must allow for 2" of freeboard, minimum.
  - c. Protect from debris and sediment with strainer or grate.
5. Piping: shall be ABS Sch.40, cast iron, or PVS Sch.40. 3" pipe required for up to 1,500 sq ft of impervious area, otherwise 4" min. Piping must have 1% grade and follow the Uniform Plumbing Code.
6. Drain rock:
  - a. Size for infiltration planter: None required
  - b. Size for flow-through planter: 3/4" washed
  - c. Depth for Simplified: 12"
  - d. Depth for Presumptive: 0-48", see calcs.
7. Separation between drain rock and growing medium: Use filter fabric.
8. Growing medium:
  - a. 18" minimum
  - See Appendix B for specification.
9. Vegetation: Follow landscape plans otherwise refer to plant list in SWDM Appendix G. Minimum container size is 1 gallon. # of plantings per 100sf of facility area:
  - a. Zone A (wet) 115 herbaceous plants, OR
  - b. Zone A (wet) 100 herbaceous plants and 4 small shrubs.
10. Planter walls:
  - a. Material shall be stone, brick, concrete, wood, or other durable material (no chemically treated wood).
  - b. Concrete, brick, or stone walls shall be included on foundation plans.
11. Waterproof liner: Shall be 30 mil PVC or equivalent, for flow-through facilities.
12. Install washed pea gravel or river rock to transition from inlet or splash pad to growing medium.
13. Inspections: Call City of Florence Public Works (541) 997-4106 to schedule appropriate inspections.

- DRAWING NOT TO SCALE -

STORMWATER MANAGEMENT MANUAL TYPICAL DETAILS

	<b>CITY OF FLORENCE</b> PUBLIC WORKS DEPARTMENT 989 Spruce Street Florence, OR 97439 Phone: 541-997-4106	- Simplified / Presumptive Design Approach -	NUMBER
	DATE: 11-30-10	<b>Stormwater Planter</b>	<b>SW-130</b>



1. Provide protection from all vehicle traffic, equipment staging, and foot traffic in proposed infiltration areas prior to, during, and after construction.
2. Dimensions:
  - a. Width of basin: 9' minimum.
  - b. Depth of basin (from top of growing medium to overflow elevation); Simplified: 12", Presumptive: 9"-18".
  - c. Flat bottom width: 2' min.
  - d. Side slopes of basin: 3:1 maximum.
3. Setbacks (from midpoint of facility):
  - a. Infiltration basins must be 10' from foundations and 5' from property lines.
  - b. Flow-through swales must be lined with connection to approved discharge point according to SWDM Section 2.1.
4. Overflow:
  - a. Overflow required for Simplified Approach.
  - b. Inlet elevation must allow for 2" of freeboard, minimum.
  - c. Protect from debris and sediment with strainer or grate.
5. Piping: shall be ABS Sch.40, cast iron, or PVC Sch.40. 3" pipe required for up to 1,500 sq ft of impervious area, otherwise 4" min. Piping must have 1% grade and follow the Uniform Plumbing Code.
6. Drain rock:
  - a. None required for infiltration basin
  - b. Size for flow-through basin: ¾" washed
7. Separation between drain rock and growing medium: Use filter fabric (see SWDM Exhibit 2-5).
8. Growing medium:
  - a. 18" minimum
  - b. See Appendix B for specification.
9. Vegetation: Follow landscape plans otherwise refer to plant list in SWDM Appendix G. Minimum container size is 1 gallon. # of plantings per 100sf of facility area):
  - a. Zone A (wet): 115 herbaceous plants OR 100 herbaceous plants and 4 shrubs
  - b. Zone B (moderate to dry): 1 tree AND 3 large shrubs AND 4 medium to small shrubs.

The delineation between Zone A and B shall be either at the outlet elevation or the check dam elevation, whichever is lowest.
10. Install washed pea gravel or river rock to transition from inlets and splash pad to growing medium.
11. Inspections: Call City of Florence Public Works (541) 997-4106 to schedule appropriate inspections.

- DRAWING NOT TO SCALE -

STORMWATER MANAGEMENT MANUAL TYPICAL DETAILS



**CITY OF FLORENCE**  
PUBLIC WORKS DEPARTMENT

989 Spruce Street  
Florence, OR 97439  
Phone: 541-997-4106

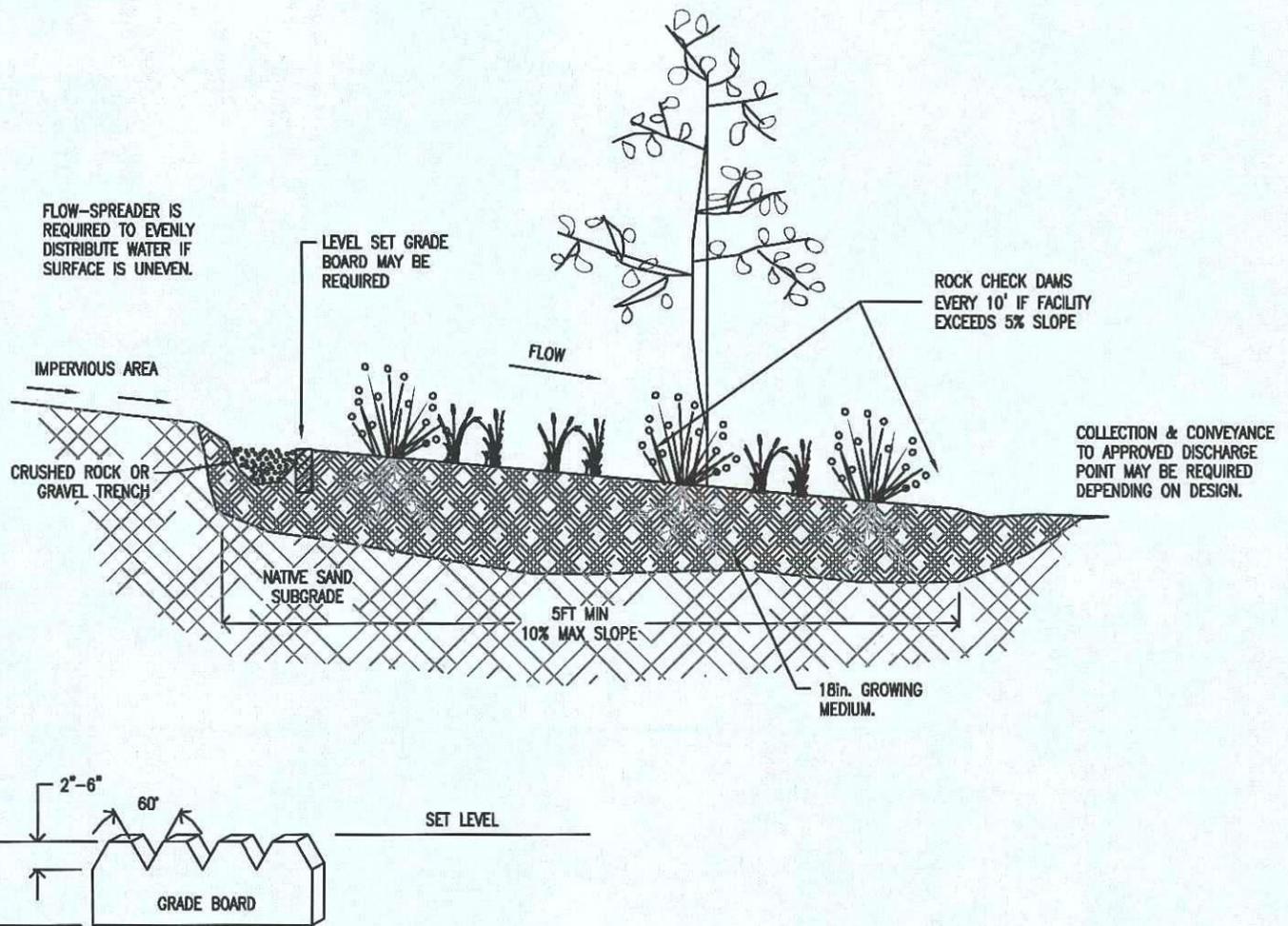
DATE: 11-30-10

- Simplified / Presumptive Design Approach -

Rain Garden

NUMBER

SW-140



1. Provide protection from all vehicle traffic, equipment staging, as well as foot traffic for proposed infiltration areas prior to and during construction.
2. Dimensions:
  - a. Flow line length: 5' minimum.
  - b. Slopes: 0.5 - 10%
3. Setbacks (from beginning of facility):
  - a. 5' from property line
  - b. 10ft from buildings
  - c. 50ft from wetlands, rivers, streams, and creeks where required.
4. Overflow: Collection from filter strip shall be specified on plans to approved discharge point according to Stormwater Design Manual.
5. Growing medium: Growing medium shall be used within the top 18" (See Appendix B for specifications).
6. Vegetation: The entire filter strip must have 100% coverage by grasses, shrubs and trees. Irrigation may be required. See Appendix G of the SWDM for approved plants.
7. Level Spreaders: A grade board or sand/gravel trench may be required to disperse the runoff evenly across the filter strip to prevent a point of discharge. The top of the level spreader must be horizontal and at an appropriate height to provide sheetflow directly to the soil without scour. Level spreaders shall not hold a permanent volume of runoff. Grade boards can be made of any material that will withstand weather and solar degradation. Trenches used as level spreaders can be filled with washed crushed rock or pea gravel.
8. Check dams: shall be placed according to facility design otherwise:
  - a. 12" in length
  - b. Equal to the width of the filter
  - c. 3 to 5" in height
  - d. Every 10' where slope exceeds 5%.
9. Inspections: Call City of Florence Public Works (541) 997-4106 to schedule appropriate inspections.

- DRAWING NOT TO SCALE -

## STORMWATER MANAGEMENT MANUAL TYPICAL DETAILS



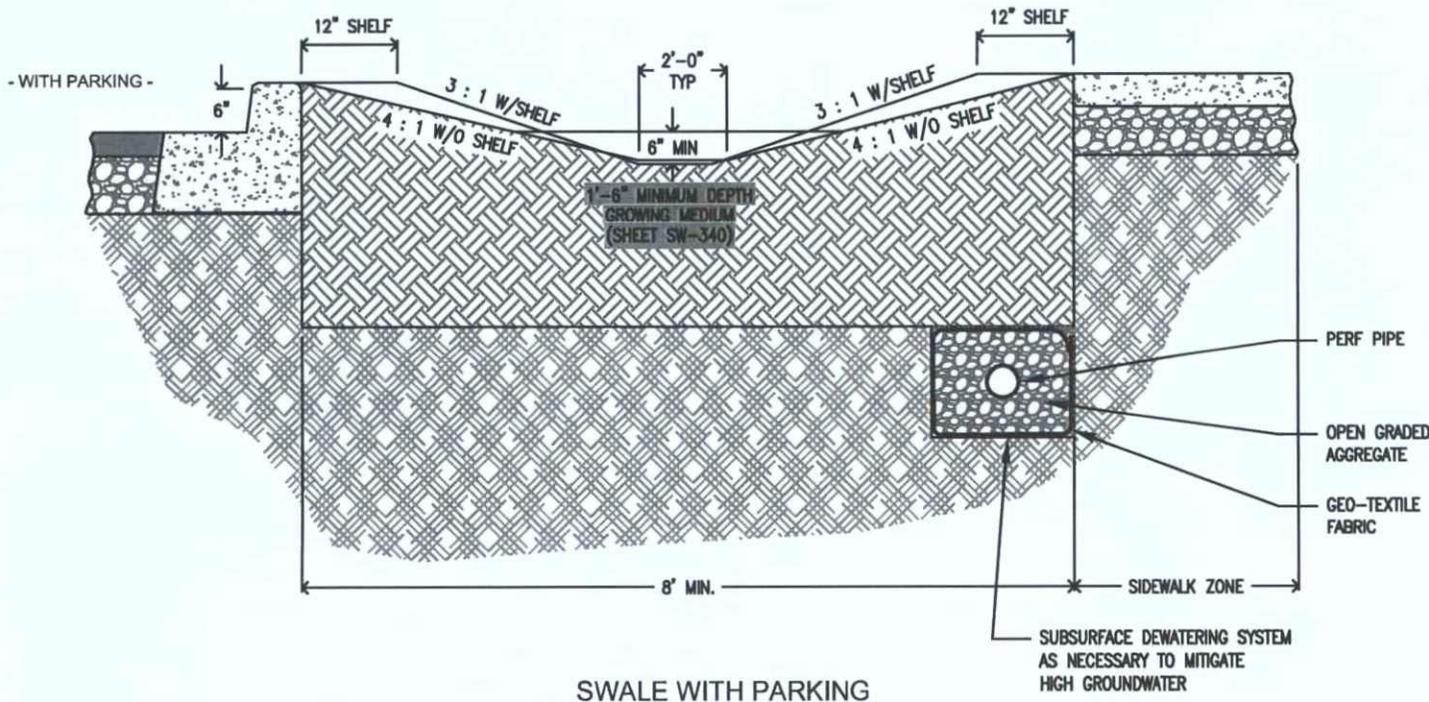
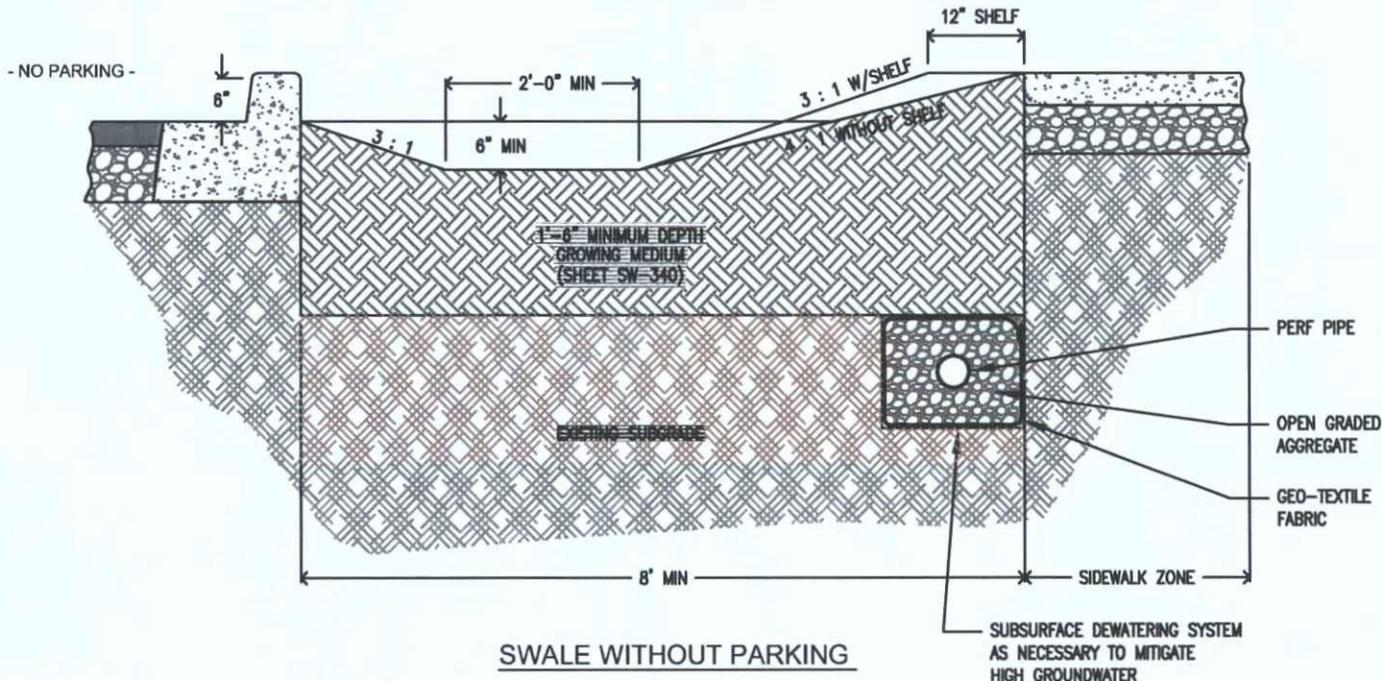
**CITY OF FLORENCE**  
 PUBLIC WORKS DEPARTMENT  
 989 Spruce Street  
 Florence, OR 97439  
 Phone: 541-997-4106

DATE: 11-30-10

- Simplified / Presumptive /  
 Performance Design Approach -  
**Filter Strip**

NUMBER

**SW-160**



- DRAWING NOT TO SCALE -

**STORMWATER MANAGEMENT MANUAL TYPICAL DETAILS**



**CITY OF FLORENCE**  
PUBLIC WORKS DEPARTMENT

989 Spruce Street  
Florence, OR 97439  
Phone: 541-997-4106

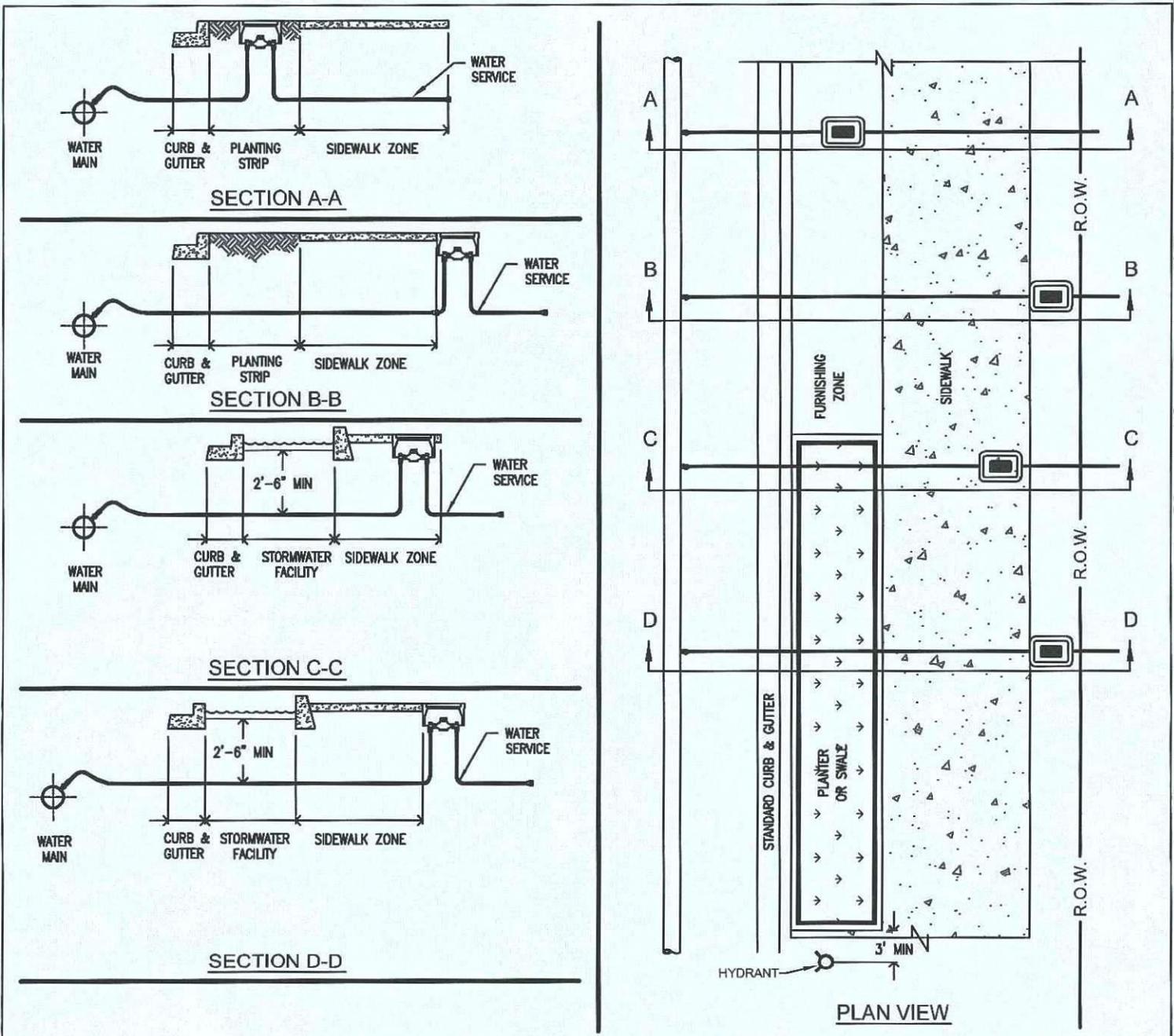
DATE: 11-30-10

- Green Streets -

**Swale Sections**  
With and without Parking

NUMBER

**SW-301**



- NOTES:**
1. Refer to fire hydrant installation plan. Hydrants must have min 3' clearance from the edge of stormwater facility.
  2. Standard meter location is A or D. Option B or D can be used only if the meter box is fully within the Right-of-Way. Option C can only be used where the meter box cannot be placed behind the sidewalk, within the Right-of-Way.

- DRAWING NOT TO SCALE -

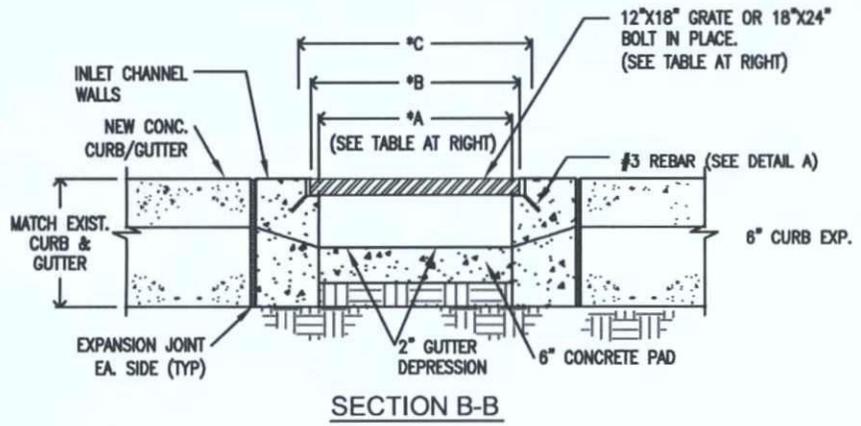
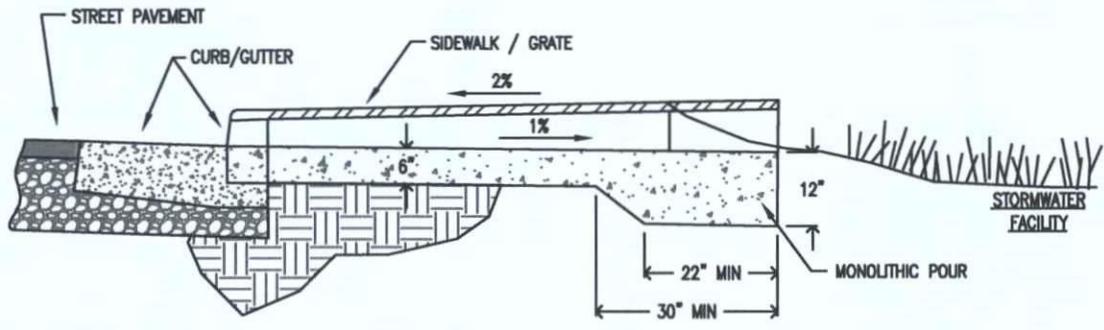
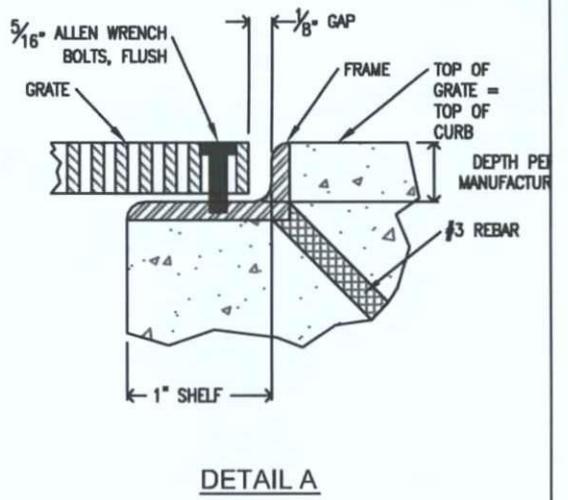
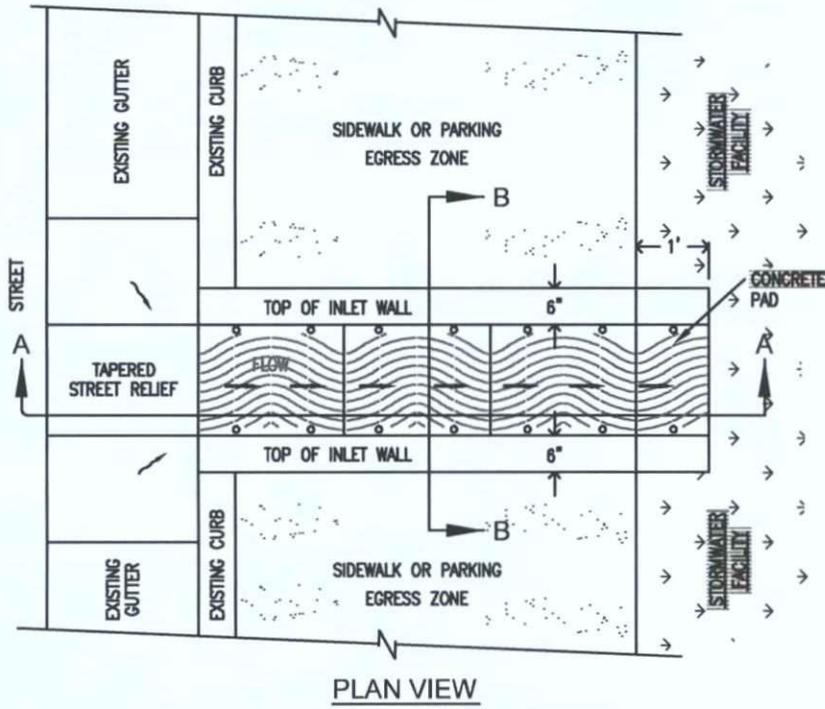
**STORMWATER MANAGEMENT MANUAL TYPICAL DETAILS**



**CITY OF FLORENCE**  
 PUBLIC WORKS DEPARTMENT  
 989 Spruce Street  
 Florence, OR 97439  
 Phone: 541-997-4106  
 DATE: 11-30-10

- Green Streets -  
**Swale**  
 Meter & Hydrant Locations

NUMBER  
**SW-302**



**\*TRENCH GRATING**

A	B	C
TRENCH WIDTH	GRATE WIDTH	FRAME WIDTH
10"	11 7/8"	12 1/8"
16"	17 7/8"	18 1/8"

NOTE: MAXIMUM GRATE HOLE WIDTH (OPEN) 1/4 INCH. GRATE SIZE 12"x18" OR 18"x24". CAST IRON URBAN ACCESSORIES TRENCH GRATE AND FRAME. TITLE WAVE MODEL OR EQUAL.

- DRAWING NOT TO SCALE -

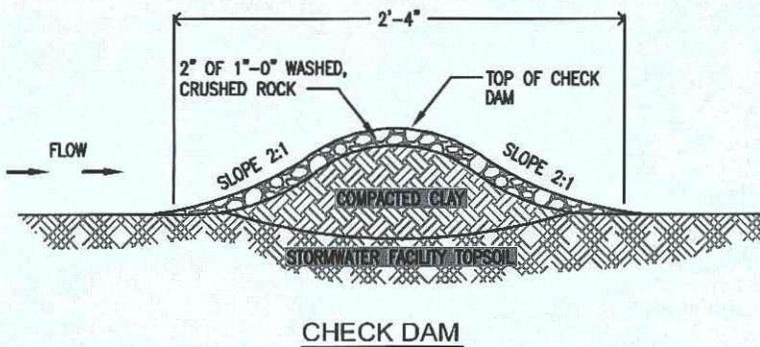
**STORMWATER MANAGEMENT MANUAL TYPICAL DETAILS**



**CITY OF FLORENCE**  
 PUBLIC WORKS DEPARTMENT  
 989 Spruce Street  
 Florence, OR 97439  
 Phone: 541-997-4106  
 DATE: 11-30-10

- Green Streets -  
**Concrete Inlet**  
 Type Channel & Grate

NUMBER  
**SW-333**



CHECK DAM SPACING			
Facility Length	Longitudinal Street Slope	# of Check Dams *	Additional Inlets **
30	<=1%	0	None
	>1%	1	None
31 - 50	<=1%	1	None
	>1%	2	1
51 - 70	<=1%	2	1
	>1%	3	2
71-90	<=1%	3	2
	>1%	4	3
91 +	<=1%	4	3
	>1%	5	4

**CHECK DAM NOTES:**

1. Check Dams to be evenly spaced between inlet and outlet. Additional requirements may be necessary on steep slopes.
2. Additional inlets to be placed directly downstream of check dams.
3. Top of Check Dam to be 1" below gutter elevation at inlet (at curb line) but not greater than 2" below top of curb.

TABLE 1

- DRAWING NOT TO SCALE -

**STORMWATER MANAGEMENT MANUAL TYPICAL DETAILS**

	<p><b>CITY OF FLORENCE</b> PUBLIC WORKS DEPARTMENT 989 Spruce Street Florence, OR 97439 Phone: 541-997-4106</p>	<p>- Green Streets -</p> <p><b>Growing Medium Profile and Check Dam</b></p>	<p>NUMBER</p> <p><b>SW-340</b></p>
	<p>DATE: 11-30-10</p>		

# Appendix D

Operation and Maintenance Plan

(Excerpted from Florence Stormwater Design Manual, November 2010)

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**STORMWATER MANAGEMENT FACILITY  
INSPECTION & MAINTENANCE LOG (SAMPLE)**

Property Address:

Inspection Date:

Inspection Time:

Inspected By:

Approximate Date/Time of Last Rainfall:

Type of Stormwater Management Facility:

Location of Facility on Site (In relation to buildings or other permanent structures):

Water levels and observations (Oil sheen, smell, turbidity, etc.):

Sediment accumulation & record of sediment removal:

Condition of vegetation (Height, survival rates, invasive species present, etc.) & record of replacement and management (mowing, weeding, etc.):

Condition of physical properties such as inlets, outlets, piping, fences, irrigation facilities, and side slopes. Record damaged items and replacement activities:

Presence of insects or vectors. Record control activities:

Identify safety hazards present. Record resolution activities:

**Swales (Vegetated, Grassy, and Street)  
Operations & Maintenance Plan**

**Swales** are planted or grassed open channels that trap pollutants by filtering and slowing flows, allowing particles to settle out. The swale should drain within 48 hours of a storm event. All facility components, vegetation, and source controls shall be inspected for proper operations and structural stability, at a minimum, quarterly for the first 2 years from the date of installation, 2 times per year thereafter, and within 48 hours after each major storm event. The facility owner must keep a log, recording all inspection dates, observations, and maintenance activities. The following items shall be inspected and maintained as stated:

**Swale Inlet** (such as curb cuts or pipes) shall maintain a calm flow of water entering the swale.

- Source of erosion shall be identified and controlled when native soil is exposed or erosion channels are forming.
- Sediment accumulation shall be hand-removed with minimum damage to vegetation using proper erosion control measures. Sediment shall be removed if it is more than 4" thick or so thick as to damage or kill vegetation.
- Inlet shall be cleared when conveyance capacity is plugged. Sources of sediment and debris shall be identified and corrected.
- Rock splash pads shall be replenished to prevent erosion.

**Side Slopes** shall be maintained to prevent erosion that introduces sediment into the swale.

- Slopes shall be stabilized and planted using appropriate erosion control measures when native soil is exposed or erosion channels are forming.

**Swale Media** shall allow stormwater to percolate uniformly through the landscape swale. If the swale does not drain within 48 hours, it shall be tilled and replanted according to design specifications.

- Annual or semi-annual tilling shall be implemented if compaction or clogging continues.
- Debris in quantities that inhibit operation shall be removed routinely (e.g., no less than quarterly), or upon discovery.

**Swale Outlet** shall maintain sheet flow of water exiting swale unless a collection drain is used. Source of erosion damage shall be identified and controlled when native soil is exposed or erosion channels are forming.

- Outlets such as drains and overland flow paths shall be cleared when 50% of the conveyance capacity is plugged.
- Sources of sediment and debris shall be identified and corrected.

**Vegetation** shall be healthy and dense enough to provide filtering while protecting underlying soils from erosion.

Mulch shall be replenished as needed to ensure survival of vegetation.

- Vegetation, large shrubs or trees that interfere with landscape swale operation shall be pruned.
- Fallen leaves and debris from deciduous plant foliage shall be removed.
- Grassy swales shall be mowed to keep grass 4" to 9" in height. Clippings shall be removed to remove pollutants absorbed in grasses.
- Nuisance and prohibited vegetation from the Eugene Plant List (such as blackberries and English Ivy) shall be removed when discovered. Invasive vegetation contributing up to 25% of vegetation of all species shall be removed and replaced.
- Dead vegetation and woody material shall be removed to maintain less than 10% of area coverage or when swale function is impaired. Vegetation shall be replaced within 3 months, or immediately if required to maintain cover density and control erosion where soils are exposed.

**Debris and Litter** shall be removed to ensure stormwater conveyance and to prevent clogging of inlet drains and interference with plant growth.

**Spill Prevention** measures shall be exercised when handling substances that contaminate stormwater. Releases of pollutants shall be corrected as soon as identified.

**Training and/or written guidance information** for operating and maintaining swales shall be provided to all property owners and tenants. A copy of the O&M Plan shall be provided to all property owners and tenants.

**Access** to the swale shall be safe and efficient. Egress and ingress routes shall be maintained to design standards. Roadways shall be maintained to accommodate size and weight of vehicles, if applicable.

**Swales (Vegetated, Grassy, and Street)  
Operations & Maintenance Plan**

- Obstacles preventing maintenance personnel and/or equipment access to the swale shall be removed.
- Gravel or ground cover shall be added if erosion occurs, e.g., due to vehicular or pedestrian traffic.

**Insects & Rodents** shall not be harbored in the swale. Pest control measures shall be taken when insects/rodents are found to be present.

- If a complaint is received or an inspection reveals that a stormwater facility is significantly infested with mosquitoes or other vectors, the property owner/owners or their designee may be required to eliminate the infestation at the City inspector's discretion. Control of the infestation shall be attempted by using first non-chemical methods and secondly, only those chemical methods specifically approved by the City's inspector. Acceptable methods include but are not limited to the following:
  - i) Installation of predacious bird or bat nesting boxes.
  - ii) Alterations of pond water levels approximately every four days in order to disrupt mosquito larval development cycles.
  - iii) Stocking ponds and other permanent water facilities with fish or other predatory species.
  - iv) If non-chemical methods have proved unsuccessful, contact the City inspector prior to use of chemical methods such as the mosquito larvicides *Bacillus thurengensis* var. *israeliensis* or other approved larvicides. These materials may only be used with City inspector approval if evidence can be provided that these materials will not migrate off-site or enter the public stormwater system. Chemical larvicides shall be applied by a licensed individual or contractor.
- Holes in the ground located in and around the swale shall be filled.

*If used at this site, the following will be applicable:*

**Check Dams** shall control and distribute flow.

- Causes for altered water flow shall be identified, and obstructions cleared upon discovery.
- Causes for channelization shall be identified and repaired.



# EGR & Associates, Inc.

Engineers, Geologists and Surveyors

2535B Prairie Road  
Eugene, Oregon 97402

(514) 688-8322  
Fax (541) 688-8087

## LETTER OF TRANSMITTAL

DATE: 11/30/11	JOB NO: 2080-07-0256
ATTENTION: Jerry Kendall	
RE: Idylewood 4 <sup>th</sup> Addition PA #10-5822	
REC'D DEC 01 2011	

TO: Lane County  
Attn: Jerry Kendall  
125 E. 8<sup>th</sup> Avenue  
Eugene, OR 97401

WE ARE SENDING YOU:

- |   |   |  |  |                                |
|---|---|--|--|--------------------------------|
| <input checked="" type="checkbox"/> Drawings  | <input type="checkbox"/> Report         | <input type="checkbox"/> Letter          | <input type="checkbox"/> Copy of Letter          | <input type="checkbox"/> Plans |
| <input type="checkbox"/> Specifications       | <input type="checkbox"/> Change Order   | <input type="checkbox"/> _____           |  |                                |
| VIA: <input type="checkbox"/> Fax Transmittal | <input type="checkbox"/> Postal Service | <input type="checkbox"/> Express Courier | <input checked="" type="checkbox"/> Hand Deliver | <input type="checkbox"/> _____ |

NO.	COPIES	DATE	DESCRIPTION
1	1	12-1-2011	Preliminary Subdivision Plan w/Slope

THESE ARE TRANSMITTED AS CHECKED BELOW:

- |  |  |  |   |   |
|--|--|--|---|---|
| <input type="checkbox"/> As Requested      | <input checked="" type="checkbox"/> For Your Use | <input type="checkbox"/> For Approval            | <input type="checkbox"/> For Review and Comment | <input type="checkbox"/> Returned For Corrections |
| <input type="checkbox"/> Approved as Noted | <input type="checkbox"/> Approved as Submitted   | <input type="checkbox"/> Return Corrected Prints | <input type="checkbox"/> Resubmit for Approval  | <input type="checkbox"/> _____                    |

**REMARKS:**

Jerry,

Per your request, please find attached a copy of the updated preliminary subdivision plan that shows existing ground slopes that exceed 25 percent.

COPY TO: Gene Benedick

SIGNED: Clint Beecroft

Clint Beecroft, PE

FILE # PA \_\_\_\_\_

EXHIBIT # 596 - 1pt

If enclosures are not as noted, kindly notify us at once.

*10/20/2011*

**KENDALL Jerry**

---

**From:** KENDALL Jerry  
**Sent:** Monday, November 21, 2011 11:56 AM  
**To:** 'Clint Beecroft'  
**Subject:** record exhibits/Benedict subdiv.

Clint: As you probably noticed when you got previous exhibit copies, I have an exhibit stamp on each item received into the record, with a corresponding exhibit #. I do this to obviously keep things in order and for ease of reference.

I noticed today that the referral for this proposal dated (and mailed on) 4-11-11 had not been stamped and placed where it belonged. As a result, I had to renumber all the exhibits that came after it. The referral is now exhibit #17, and all subsequent exhibits were bumped up one number.

I mention this to you in case you plan on referring to any of the exhibits by their exhibit # in future submittal(s).

Sorry if this causes any inconvenience.

Jerry Kendall/Associate Planner/Lane County Oregon  
PSB/LMD  
125 E. 8th Ave.  
Eugene, Or. 97401  
ph: 541-682-4057  
FAX: 541-682-3947  
Jerry.Kendall@co.lane.or.us

FILE # PA \_\_\_\_\_  
EXHIBIT # 58

**KENDALL Jerry**

---

**From:** KENDALL Jerry  
**Sent:** Wednesday, November 09, 2011 10:23 AM  
**To:** 'Clint Beecroft'  
**Subject:** Benedick Subdiv.

Clint:

Thanks for keeping up on the waivers.

An FYI: depending on how much your revised plan may have changed from the original, we may have to do a renote to agencies and neighbors. This would be done in the interest of making all parties aware of both updated status and also what the project layout actually is.

In addition, a renote would eliminate an appeal based on a procedural error of improper notice. If notice is required, your client would have to pay a \$512 fee for the cost of such notice.

Jerry Kendall/Associate Planner/Lane County Oregon  
PSB/LMD  
125 E. 8th Ave.  
Eugene, Or. 97401  
ph: 541-682-4057  
FAX: 541-682-3947  
Jerry.Kendall@co.lane.or.us

FILE # PA	
EXHIBIT #	57

REC'D NOV - 2 2011



# EGR & Associates, Inc.

Engineers, Geologists and Surveyors

2535B Prairie Road  
Eugene, Oregon 97402

(514) 688-8322  
Fax (541) 688-8087

## LETTER OF TRANSMITTAL

DATE: 10/31/11	JOB NO: 2080-07-0256
ATTENTION: Jerry Kendall	
RE: Idylewood 4 <sup>th</sup> Addition PA #10-5821 and PA#10-5824	

TO: Lane County  
Attn: Jerry Kendall  
125 E. 8<sup>th</sup> Avenue  
Eugene, OR 97401

WE ARE SENDING YOU:

- |   |  |  |  |                                |
|---|--|--|--|--------------------------------|
| <input type="checkbox"/> Drawings             | <input type="checkbox"/> Report                    | <input type="checkbox"/> Letter          | <input checked="" type="checkbox"/> Copy of Letter | <input type="checkbox"/> Plans |
| <input type="checkbox"/> Specifications       | <input type="checkbox"/> Change Order              | <input type="checkbox"/> _____           |  |                                |
| VIA: <input type="checkbox"/> Fax Transmittal | <input checked="" type="checkbox"/> Postal Service | <input type="checkbox"/> Express Courier | <input type="checkbox"/> Hand Deliver              | <input type="checkbox"/> _____ |

NO.	COPIES	DATE	DESCRIPTION
1	1	10-31-11	Signed Timeline Waiver request

THESE ARE TRANSMITTED AS CHECKED BELOW:

- |  |  |  |   |   |
|--|--|--|---|---|
| <input type="checkbox"/> As Requested      | <input checked="" type="checkbox"/> For Your Use | <input type="checkbox"/> For Approval            | <input type="checkbox"/> For Review and Comment | <input type="checkbox"/> Returned For Corrections |
| <input type="checkbox"/> Approved as Noted | <input type="checkbox"/> Approved as Submitted   | <input type="checkbox"/> Return Corrected Prints | <input type="checkbox"/> Resubmit for Approval  | <input type="checkbox"/> _____                    |

REMARKS:

COPY TO: Gene Benedick

SIGNED: Clint Beecroft

Clint Beecroft, PE  
 FILE # PA  
 EXHIBIT # 56-2p.

**TIMELINE WAIVER**

I, Clint Beecroft, as authorized representative of the owner for PA 10-5821 and PA 10-5824, do hereby waive the statutory time line requirements of ORS 215.427 for the period of November 1, 2011 to December 1, 2011 in order to allow sufficient time to prepare supplemental information for these applications in response to public notice comments.

Clint Beecroft  
Signature

10/31/11  
Date

**KENDALL Jerry**

---

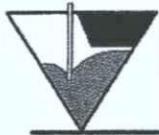
**From:** Clint Beecroft [clintbeecroft@egrassoc.com]  
**Sent:** Monday, October 31, 2011 1:18 PM  
**To:** KENDALL Jerry  
**Subject:** Idylewood Subdivision  
**Attachments:** Timeline Waiver 10312011.pdf

Jerry,

A pdf copy of a timeline waiver is attached. The original will follow in the mail.

Clint Beecroft, P.E.

FILE # PA	_____
EXHIBIT #	55-31



# EGR & Associates, Inc.

Engineers, Geologists and Surveyors

2535B Prairie Road  
Eugene, Oregon 97402

(514) 688-8322  
Fax (541) 688-8087

## LETTER OF TRANSMITTAL

DATE: 10/31/11 | JOB NO: 2080-07-0256

ATTENTION: Jerry Kendall

RE: Idylewood 4<sup>th</sup> Addition  
PA #10-5821 and PA#10-5824

TO: Lane County  
Attn: Jerry Kendall  
125 E. 8<sup>th</sup> Avenue  
Eugene, OR 97401

WE ARE SENDING YOU:

- Drawings
- Report
- Letter
- Copy of Letter
- Plans
- Specifications
- Change Order
- \_\_\_\_\_

- VIA:  Fax Transmittal     Postal Service     Express Courier     Hand Deliver     \_\_\_\_\_

NO.	COPIES	DATE	DESCRIPTION
1	1	10-31-11	Signed Timeline Waiver request

THESE ARE TRANSMITTED AS CHECKED BELOW:

- As Requested
- For Your Use
- For Approval
- For Review and Comment
- Returned For Corrections
- Approved as Noted
- Approved as Submitted
- Return Corrected Prints
- Resubmit for Approval
- \_\_\_\_\_

**REMARKS:**

COPY TO: Gene Benedick

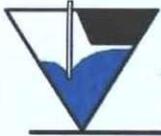
SIGNED: Clint Beecroft  
Clint Beecroft, PE

**TIMELINE WAIVER**

I, Clint Beecroft, as authorized representative of the owner for PA 10-5821 and PA 10-5824, do hereby waive the statutory time line requirements of ORS 215.427 for the period of November 1, 2011 to December 1, 2011 in order to allow sufficient time to prepare supplemental information for these applications in response to public notice comments.

Clint Beecroft  
Signature

10/31/11  
Date



# EGR & Associates, Inc.

Engineers, Geologists and Surveyors

2535B Prairie Road  
Eugene, Oregon 97402

(514) 688-8322  
Fax (541) 688-8087

## LETTER OF TRANSMITTAL

DATE: 7/29/11	JOB NO: 2080-07-0256
ATTENTION: Jerry Kendall	
RE: Idylewood 4 <sup>th</sup> Addition PA #10-5821 and PA#10-5824	
REC'D AUG -1 2011	

TO: Lane County  
Attn: Jerry Kendall  
125 E. 8<sup>th</sup> Avenue  
Eugene, OR 97401

WE ARE SENDING YOU:

- |   |  |  |  |                                |
|---|--|--|--|--------------------------------|
| <input type="checkbox"/> Drawings             | <input type="checkbox"/> Report                    | <input type="checkbox"/> Letter          | <input checked="" type="checkbox"/> Copy of Letter | <input type="checkbox"/> Plans |
| <input type="checkbox"/> Specifications       | <input type="checkbox"/> Change Order              | <input type="checkbox"/> _____           |  |                                |
| VIA: <input type="checkbox"/> Fax Transmittal | <input checked="" type="checkbox"/> Postal Service | <input type="checkbox"/> Express Courier | <input type="checkbox"/> Hand Deliver              | <input type="checkbox"/> _____ |

NO.	COPIES	DATE	DESCRIPTION
1	1	7-29-11	Signed Timeline Waiver request

THESE ARE TRANSMITTED AS CHECKED BELOW:

- |  |  |  |   |   |
|--|--|--|---|---|
| <input type="checkbox"/> As Requested      | <input checked="" type="checkbox"/> For Your Use | <input type="checkbox"/> For Approval            | <input type="checkbox"/> For Review and Comment | <input type="checkbox"/> Returned For Corrections |
| <input type="checkbox"/> Approved as Noted | <input type="checkbox"/> Approved as Submitted   | <input type="checkbox"/> Return Corrected Prints | <input type="checkbox"/> Resubmit for Approval  | <input type="checkbox"/> _____                    |

REMARKS:

COPY TO: Gene Benedick

SIGNED: Glenn Beecroft

Glenn Beecroft, PE
FILE # PA
EXHIBIT # 54-2P

**TIMELINE WAIVER**

I, Clint Beecroft, as authorized representative of the owner for PA 10-5821 and PA 10-5824, do hereby waive the statutory time line requirements of ORS 215.427 for the period of August 1, 2011 to November 1, 2011 in order to allow sufficient time to prepare supplemental information for these applications in response to public notice comments.

Clint Beecroft  
Signature

7-29-11  
Date

**KENDALL Jerry**

---

**From:** Clint Beecroft [clintbeecroft@egrassoc.com]  
**Sent:** Friday, July 29, 2011 9:07 AM  
**To:** KENDALL Jerry  
**Subject:** Idylewood  
**Attachments:** Timeline Waiver 07292011.pdf

Jerry,

Attached is a timeline waiver for PA 10-5821 and 10-5824. I will mail the original to you. We are in the process of updating the subdivision layout to address public comments. When ready, I will forward a copy of the updated plan to you and Michelle Pezley with a request for a meeting with City and County staff as suggested by Michelle.

Clint Beecroft

FILE # PA \_\_\_\_\_  
EXHIBIT # 53-3p.



# EGR & Associates, Inc.

Engineers, Geologists and Surveyors

2535B Prairie Road  
Eugene, Oregon 97402

(514) 688-8322  
Fax (541) 688-8087

## LETTER OF TRANSMITTAL

DATE: 7/29/11	JOB NO: 2080-07-0256
ATTENTION: Jerry Kendall	
RE: Idylewood 4 <sup>th</sup> Addition PA #10-5821 and PA#10-5824	

TO: Lane County  
Attn: Jerry Kendall  
125 E. 8<sup>th</sup> Avenue  
Eugene, OR 97401

WE ARE SENDING YOU:

- Drawings       Report       Letter       Copy of Letter       Plans  
 Specifications       Change Order       \_\_\_\_\_  
VIA:  Fax Transmittal       Postal Service       Express Courier       Hand Deliver       \_\_\_\_\_

NO.	COPIES	DATE	DESCRIPTION
1	1	7-29-11	Signed Timeline Waiver request

THESE ARE TRANSMITTED AS CHECKED BELOW:

- As Requested       For Your Use       For Approval       For Review and Comment       Returned For Corrections  
 Approved as Noted       Approved as Submitted       Return Corrected Prints       Resubmit for Approval       \_\_\_\_\_

REMARKS

COPY TO: Gene Benedick

SIGNED: Clint Beecroft  
Clint Beecroft, PE

**TIMELINE WAIVER**

I, Clint Beecroft, as authorized representative of the owner for PA 10-5821 and PA 10-5824, do hereby waive the statutory time line requirements of ORS 215.427 for the period of August 1, 2011 to November 1, 2011 in order to allow sufficient time to prepare supplemental information for these applications in response to public notice comments.

Clint Beecroft  
Signature

7-29-11  
Date

**KENDALL Jerry**

---

**From:** KENDALL Jerry  
**Sent:** Tuesday, June 21, 2011 10:13 AM  
**To:** 'Bill Durst'  
**Subject:** RE: PA 10-5821 / PA 10-5824

Thanks for the inquiry.

The agent granted a timeline waiver to August after they read the referral comments, including those of the City of Florence as well as County Transportation Planning. The agent is discussing those comments with the owner to see what direction they (the applicant) want to go. I suspect they will come back with a modified proposal. To what degree it will be modified remains to be seen.

Jerry Kendall/Associate Planner/Lane County Oregon  
PSB/LMD  
125 E. 8th Ave.  
Eugene, Or. 97401  
ph: 541-682-4057  
FAX: 541-682-3947  
Jerry.Kendall@co.lane.or.us

---

**From:** Bill Durst [mailto:wildur@oregonfast.net]  
**Sent:** Tuesday, June 21, 2011 10:07 AM  
**To:** KENDALL Jerry  
**Subject:** PA 10-5821 / PA 10-5824

We responded to the referral notice concerning this planning actions in April of this year and now are wondering if it is within the rules for you to provide information to us about the outcomes and/or current status. We appreciate your consideration of this request.

Thanks.

Bill Durst

Mary Lehman

FILE # PA	_____
EXHIBIT #	52

**KENDALL Jerry**

---

**From:** KENDALL Jerry  
**Sent:** Friday, June 10, 2011 2:32 PM  
**To:** 'Clint Beecroft'  
**Subject:** RE: Benedick Subdiv.

Clint, in response to your single question:

"As with your interpretation of LC 10.270-35(5), I assume that you will be looking for a balance between the two extremes with respect to development on sites with only minor steep slopes such as the proposed Idylewood site?"

My response is "yes".

Also, as to the requested map showing slopes greater than 25%, I would suggest using the same scale as your original map, 1"=100'.

Jerry

Jerry Kendall/Associate Planner/Lane County Oregon  
PSB/LMD  
125 E. 8th Ave.  
Eugene, Or. 97401  
ph: 541-682-4057  
FAX: 541-682-3947  
Jerry.Kendall@co.lane.or.us

---

**From:** Clint Beecroft [mailto:clintbeecroft@egrassoc.com]  
**Sent:** Tuesday, June 07, 2011 10:26 AM  
**To:** KENDALL Jerry  
**Subject:** RE: Benedick Subdiv.

Jerry,

Thank you for your initial comments regarding the beaches and dunes preliminary investigation application. To what extent will the requirements of LC10.270-35(6) be applied to this site with respect to grading on steep slopes? In other words, one extreme case would be a site represented predominantly by slopes greater than 25% and thus the entire site would not be developable according to this code section while a site that is relatively flat with no slopes in excess of 25% would not be subject to this code section. As with your interpretation of LC 10.270-35(5), I assume that you will be looking for a balance between the two extremes with respect to development on sites with only minor steep slopes such as the proposed Idylewood site?

A majority of the slopes on the proposed development site is less than 25%; however, as described in the physical features section of the /BD application, there are some slopes that exceed 25%. For example, relict incision formations located on the northerly section of the site may have short slopes that exceed 25% in some areas, but the overall slope of this section of the site is approximately 6% east to west. As discussed in the /BD application these relic features are proposed to be graded and stabilized in conjunction with the development.

FILE # PA  
EXHIBIT # 51-2P

Another example is the southerly section of the site which is characterized by multiple well-stabilized inactive sand dune formations with varying slopes from relatively flat to in excess of 25%. Due to the odd orientation of these features there are no average slopes across this portion of the site. In order to provide access to this site with roadways, and connection to Cloudcroft Lane to the south as suggested by City/County comments, grading activity will be required during project development that will generally level these dune formations such that a majority of these slopes will be less than 25% after initial grading activities are complete and cannot be avoided.

I am aware that past interpretations of this code section for development projects that EGR designed has allowed grading on slopes in excess of 25% where the overall site slopes on average were less than 25%. These projects were reviewed by John Petsch with Shane Hughes as the lead engineer for EGR.

Clint

---

**From:** KENDALL Jerry [mailto:Jerry.KENDALL@co.lane.or.us]  
**Sent:** Monday, June 06, 2011 4:53 PM  
**To:** 'Clint Beecroft'  
**Subject:** Benedick Subdiv.

Clint:

1.) I checked with some County staff and yes, the County owned tax lot 1600 (18-12-10.4) was acquired from the Siuslaw Nat. Forest back in 1970 for public park use, so yes we will want to see access to it established as the City so mentioned on p.1-2 of its referral.

2.) Re: your question on the /BD requirements and the concern that when you re-do the preliminary sub. layout and reconfigure lots that I (the County) don't come back later and say you overdid it and need to adjust again... about all I can say is it is a balance of sorts. I'll use hyperbole to illustrate:

-If you came back with a scenerio where every lot and roads was one level, it would violate the "...least topographic modification..." standard (LC 10.270-35(5)).

- On the other hand, we need to realize that the above standard is advisory and somewhat subjective and leaves your client open to appeal, as one could argue that any modification is not the "least topographic modification".

I'm looking for you to present a reconfigured site plan that is a balance between the two above extremes. My role is to evaluate what is presented (and not to do the designing).

I would like to point out LC 10.270-35(6), which prohibits development on slopes greater than 25%. That standard may be a bit more difficult to meet with a long linear road layout, but you certainly would need to avoid creating a lot which is predominantly 25% slopes so that there is no buildable room left. In other words, if that occurs, I recommend combining lots or making some bigger.

I do ask that when you submit the reconfigured plan, that you provide a copy that shows all pre-existing grades that are greater than 25%.

I hope that helps as a followup to our meeting of June 1

FYI, I am out of the office June 13-22.

Regards.

Jerry Kendall/Associate Planner/Lane County Oregon  
PSB/LMD  
125 E. 8th Ave.  
Eugene, Or. 97401  
ph: 541-682-4057  
FAX: 541-682-3947  
Jerry.Kendall@co.lane.or.us

06/10/2011

**KENDALL Jerry**

---

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**Sent:** Tuesday, June 07, 2011 10:26 AM  
**To:** KENDALL Jerry  
**Subject:** RE: Benedick Subdiv.

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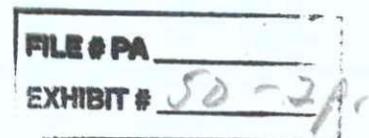
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**From:** KENDALL Jerry [mailto:Jerry.KENDALL@co.lane.or.us]  
**Sent:** Monday, June 06, 2011 4:53 PM  
**To:** 'Clint Beecroft'  
**Subject:** Benedick Subdiv.



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5/07/2011

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FYI, I am out of the office June 13-22.

Regards.

Jerry Kendall/Associate Planner/Lane County Oregon  
PSB/LMD  
125 E. 8th Ave.  
Eugene, Or. 97401  
ph: 541-682-4057  
FAX: 541-682-3947  
Jerry.Kendall@co.lane.or.us

**KENDALL Jerry**

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**From:** KENDALL Jerry  
**Sent:** Monday, June 06, 2011 4:53 PM  
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**Subject:** Benedick Subdiv.

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PSB/LMD  
125 E. 8th Ave.  
Eugene, Or. 97401  
ph: 541-682-4057  
FAX: 541-682-3947  
Jerry.Kendall@co.lane.or.us

FILE # PA	_____
EXHIBIT #	49

**KENDALL Jerry**

---

**From:** KENDALL Jerry  
**Sent:** Monday, June 06, 2011 1:59 PM  
**To:** SCHUSSLER Howard R; TURK Jeff R; RUSSELL Mike L  
**Cc:** GUYETTE Phillip  
**Subject:** RE: 18-12-10.4 #1600

OK, we'll go for access through Idyelwood 4th Add.

Thanks for the research & feedback, All.

Jerry Kendall/Associate Planner/Lane County Oregon  
PSB/LMD  
125 E. 8th Ave.  
Eugene, Or. 97401  
ph: 541-682-4057  
FAX: 541-682-3947  
Jerry.Kendall@co.lane.or.us

---

**From:** SCHUSSLER Howard R  
**Sent:** Monday, June 06, 2011 10:47 AM  
**To:** TURK Jeff R; RUSSELL Mike L  
**Cc:** GUYETTE Phillip; KENDALL Jerry  
**Subject:** RE: 18-12-10.4 #1600

Based on the original email, I suspected we were talking about one of the properties that makes up the 160-acre Three Mile Prairie and not the 40-acre Oceanwoods that we considered selling several years ago. Oceanwoods had been identified in multiple plans over the years as a property that was not ideal for a County park and could be better used as a source of revenue. The neighbors complained and the BCC concurred.

My recollection is that the referenced property is a 40-acre piece outside city limits which connects to a 120-acre piece inside city limits. Access to Three Mile Prairie would be a very desirable outcome. The plans have been to support Three Mile Prairie and some adjacent city and BLM properties as a regional passive recreation and natural area – so access would be a very positive development. Thanks.

Howard

---

**From:** TURK Jeff R  
**Sent:** Monday, June 06, 2011 9:04 AM  
**To:** RUSSELL Mike L; SCHUSSLER Howard R  
**Cc:** GUYETTE Phillip; KENDALL Jerry  
**Subject:** RE: 18-12-10.4 #1600

<< File: 1812104001600.pdf >>

I was in error concerning tl 1600. The property to the North, 18-12-10-20-00400, was the one that Parks wanted to sell. TL 1600 was acquired in 1970 in an exchange with the Forest Service and was designated for park and recreational uses per Board Order (attached).

Jeff Turk

FILE # PA \_\_\_\_\_  
EXHIBIT # 48 - 3P

**Property Management Officer**

Lane County, Management Services  
125 East Eighth Avenue, Eugene, OR 97401  
541-682-4174, 541-682-4290 (FAX)

Jeff.R.TURK@co.lane.or.us

---

**From:** RUSSELL Mike L  
**Sent:** Friday, June 03, 2011 4:03 PM  
**To:** SCHUSSLER Howard R  
**Cc:** GUYETTE Phillip; KENDALL Jerry; TURK Jeff R  
**Subject:** RE: 18-12-10.4 #1600

Howard,

Do you have any light you can shed on this? I remember the controversy, but not the long term implications.

---

**From:** TURK Jeff R  
**Sent:** Tuesday, May 31, 2011 4:14 PM  
**To:** KENDALL Jerry; RUSSELL Mike L  
**Cc:** GUYETTE Phillip  
**Subject:** RE: 18-12-10.4 #1600

This is a Parks property so they can let you know the long term plans for the property. I do think this is the one Parks tried to sell a few years ago and met with strong opposition from citizens and the Board chose not to offer it.

**Jeff Turk**  
**Property Management Officer**

Lane County, Management Services  
125 East Eighth Avenue, Eugene, OR 97401  
541-682-4174, 541-682-4290 (FAX)

Jeff.R.TURK@co.lane.or.us

---

**From:** KENDALL Jerry  
**Sent:** Tuesday, May 31, 2011 3:42 PM  
**To:** TURK Jeff R; RUSSELL Mike L  
**Subject:** 18-12-10.4 #1600

Hi All.

I'm working on PA 5821, a 4th addition to Idylewood in the UGB of Florence, on tax lots 400, 401, & 801 below (east of the green roads). 62 lots are proposed.

Lane County owns adjacent tax lot 1600 (18-12-10.4) marked with the green X. It's zoned Natural Resource.

Does the County have any plans for this property? Like for a park?

The applicant for the subdivision will be leaving 24.6 eastern (wetland) acres of tax lot 401 alone. An aerial shows more (below).

It appears landlocked. The City is recommending that the applicant extend a local road to it for access.

Let me know your thoughts. I'm in the fact gathering stage. Please respond within a week.

Thank you.

(Jeff: you probably got a referral on this previously)

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<< OLE Object: Picture (Device Independent Bitmap) >>

Jerry Kendall/Associate Planner/Lane County Oregon  
PSB/LMD  
125 E. 8th Ave.  
Eugene, Or. 97401  
ph: 541-682-4057  
FAX: 541-682-3947  
Jerry.Kendall@co.lane.or.us

## KENDALL Jerry

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**From:** TURK Jeff R  
**Sent:** Monday, June 06, 2011 9:04 AM  
**To:** RUSSELL Mike L; SCHUSSLER Howard R  
**Cc:** GUYETTE Phillip; KENDALL Jerry  
**Subject:** RE: 18-12-10.4 #1600

**Attachments:** 1812104001600.pdf



1812104001600.pdf  
f (186 KB)

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**Jeff Turk**  
**Property Management Officer**

Lane County, Management Services  
125 East Eighth Avenue, Eugene, OR 97401  
541-682-4174, 541-682-4290 (FAX)

Jeff.R.TURK@co.lane.or.us

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**Sent:** Friday, June 03, 2011 4:03 PM  
**To:** SCHUSSLER Howard R  
**Cc:** GUYETTE Phillip; KENDALL Jerry; TURK Jeff R  
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**Jeff Turk**  
**Property Management Officer**

FILE # PA	_____
EXHIBIT #	47-6P

Lane County, Management Services  
125 East Eighth Avenue, Eugene, OR 97401  
541-682-4174, 541-682-4290 (FAX)

Jeff.R.TURK@co.lane.or.us

---

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**To:** TURK Jeff R; RUSSELL Mike L  
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Jerry Kendall/Associate Planner/Lane County Oregon  
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Post-it Fax Note	7671	Date	11/20/01	# of pages	1/5
To	Jake	From	Jeff Turk		
Co./Dept.	PAIKS	Co.			
Phone #		Phone #	4174		
	6009	Fax #			

5TH DAY 07

52 PAGE 460

IN THE BOARD OF COUNTY COMMISSIONERS OF LANE COUNTY

FILED

AT O'CLOCK M

JUL 15 1970

D. M. FENOLD, Director of the Dept. of Records and Planning of Lane County

23365-A

ORDER and NOTICE

70-7-13-11

IN THE MATTER OF EXCHANGING

and conveying certain parcels of real property in Sections 3, 15 and 32, Township 19 South, Range 12 West and Section 5, Township 20 South, Range 12 West, Willamette Meridian, Lane County, Oregon.

THIS MATTER now coming before the board of county commissioners of Lane County, and it appearing that Lane County is the owner of the real property identified on Lane County Assessor's Maps and described as follows:

- (1) Map No. 19 12 03 Tax Lot 200, described as: Beginning at the Northwest corner of Section 3, Township 19 South, Range 12 West, and running thence East 25 rods; thence South 104 rods; thence West 25 rods to the West line of Section 3; thence North along Section line 104 rods to the place of beginning, in Lane County, Oregon.
- (2) Map No. 19 12 03 Tax Lot 700, described as: Beginning at a point 412.5 feet East of the Northwest corner of Section three (3), Township 19 South, Range 12 West, Willamette Meridian; thence South parallel to and distant 412.5 feet from West line of Section three (3) to North line of Northwest one-quarter of Southwest one-quarter (NW1/4), Section three (3); thence East 95.7 feet, more or less; thence North to North line of Section three (3); thence West along North line Section three (3) 95.7 feet, more or less, to point of beginning.
- (3) Map No. 19 12 Tax Lot 400, described as: The Northwest 1/4; the West 1/2 of the Northeast 1/4; the Northwest 1/4 of the Southwest 1/4, Section 16, Township 19 South, Range 12 West of the Willamette Meridian.
- (4) Map No. 19 12 Tax Lot 500, described as: Lots 2, 3, 4, Section 32, Township 19 South, Range 12 West, of the Willamette Meridian.
- (5) Map No. 20 12 Tax Lot 700, described as: Lot 3, Section 3, Township 20 South, Range 12 West of the Willamette Meridian, in Lane County, Oregon.

200/334 371/380

506/2734  
270-50665

184/2961  
207/176

129/600

and it appearing that the property identified above, except Assessor's Map No. 19 12 03 Tax Lot 700, was set aside by an Order of the board recorded July 7, 1954, in Commissioners' Reel No. 2, Pages 885-887, as a public park and recreational area, and the board having determined that it is in the best interests of the County that an exchange of land be made with the United States Forest Service, Siuslaw District, USDA, and that in the judgment of the board of county commissioners, supported by the report of the County Assessor and the County Forester, such exchange is for equal value and that the land obtained by the County in exchange be immediately

incorporated in the designated County public park or recreational area, and the board being fully advised in the premises; now, therefore, it is

RESOLVED and ORDERED that pursuant to the authority granted in ORS 275.330, the board of county commissioners declares its intention to convey the real property identified on Lane County Assessors' Maps and described as follows:

- (1) Map No. 19 12 03 Tax Lot 200, described as: Beginning at the Northwest corner of Section 3, Township 19 South, Range 12 West, and running thence East 25 rods; thence South 104 rods; thence West 25 rods to the West line of Section 3; thence North along Section line 104 rods to the place of beginning, in Lane County, Oregon.
- (2) Map No. 19 12 03 Tax Lot 700, described as: Beginning at a point 412.5 feet East of the Northwest corner of Section three (3), Township 19 South, Range 12 West, Willamette Meridian; thence South parallel to and distant 412.5 feet from West line of Section three (3) to North line of Northwest one-quarter of Southwest one-quarter (NW1/4) Section three (3); thence East 95.7 feet, more or less; thence North to North line of Section three (3); thence West along North line Section three (3) 95.7 feet, more or less, to point of beginning.
- (3) Map No. 19 12 Tax Lot 400, described as: The Northwest 1/4; the West 1/2 of the Northeast 1/4; the Northwest 1/4 of the Southwest 1/4, Section 16, Township 19 South, Range 12 West of the Willamette Meridian.
- (4) Map No. 19 12 Tax Lot 500, described as: Lots 2, 3, 4, Section 32, Township 19 South, Range 12 West, of the Willamette Meridian.
- (5) Map No. 20 12 Tax Lot 700, described as: Lot 3, Section 5; Township 20 South, Range 12 West of the Willamette Meridian, in Lane County, Oregon.

to the United States of America, acting by and through the Forest Service, USDA, and assigns; and it is further

ORDERED that as consideration for said conveyance, Lane County shall obtain title to the real property described as:

18-12-  
4.4 =  
\$11600

- (1) ~~SW1/4~~ Section 10; and ~~W1/2~~, ~~NE1/4~~ Section 15, Township 18 South, Range 12 West, Willamette Meridian. Said tract contains 160.00 acres.
- (2) ~~N1/2~~, ~~N1/4~~, ~~SE1/4~~, ~~NE1/4~~ Section 35, Township 17 South, Range 12 West, Willamette Meridian. Said tract contains 53.00 acres.

from the United States of America, acting by and through the Forest Service, USDA, which property shall be set aside for park and recreational purposes; and it is further

ORDERED that a hearing shall be held in the county commissioners' Hearing Room 200, County Courthouse, Eugene, Oregon, on the 5th day of August, 1970, at the hour of 1:30 o'clock p.m., at which objections to the proposed exchange and conveyances may be heard; and it is further

ORDERED that a notice of the hearing shall be given by publication of the Order for two consecutive weeks, two publications in all, in a newspaper circulated generally within the County; and it is further

ORDERED that this Order and Notice be entered upon the records of the board of county commissioners of Lane County Journal of Administration, and published in the Eugene Register-Guard once each week for two consecutive weeks, the first publication to be no later than July 17, 1970.

DATED this 15th day of July, 1970.

BOARD OF COUNTY COMMISSIONERS  
OF LANE COUNTY, OREGON

*Ken E. Ouellet* Commissioner  
*Jan M. ...* Commissioner  
*Paul ...* Commissioner

FEN:mp  
7/14/70

APPROVED AS TO FORMS  
DATE 7-15-70  
*Ray ...*  
OFFICE OF COUNTY COUNSEL

Form 1860-3  
(January 1965)  
(Formerly 4-1000)  
OR 2897

54091

# The United States of America,

To all to whom these presents shall come, greeting:

WHEREAS,

Lane County, Oregon,

being the owner of certain tracts of land situated and included within the limits of the Siuslaw National Forest, Oregon, has, under the provisions of the Act approved March 10, 1922 (42 Stat. 465), as amended (16 U.S.C. 485), reconveyed and relinquished the said tracts to the United States and has, under the provisions of said Act, selected in lieu thereof the following described tracts of land:

Willamette Meridian, Oregon

T. 17 S., R. 12 W.,  
Sec. 35, N4NW4, SE4NE4, and  
N4NW4SE4.

T. 18 S., R. 12 W.,  
Sec. 10, SW4SE4;  
Sec. 15, W4NE4 and NE4NW4.

Aggregating 215 00 acres;

NOW KNOW YE, that there is, therefore, granted by the UNITED STATES unto the said claimant the lands above described; TO HAVE AND TO HOLD the said lands with all the rights, privileges, immunities, and appurtenances, of whatsoever nature, thereto belonging, unto the said claimant, its successors and assigns forever;

EXCEPTING AND RESERVING TO THE UNITED STATES from the lands so granted a right-of-way thereon for ditches or canals constructed by the authority of the United States. Act of August 30, 1890, 26 Stat. 391; 43 U.S.C. 943.



In Testimony Whereof, the undersigned authorized officer of the Bureau of Land Management, in accordance with the provisions of the Act of June 17, 1948 (62 Stat. 476), has, in the name of the United States, caused these letters to be made Patent, and the Seal of the Bureau to be hereunto affixed.

GIVEN under my hand, at Portland, Oregon  
the ELEVENTH day of JUNE in the  
year of our Lord one thousand nine hundred and SEVENTY-  
ONE and of the Independence of the United States the  
one hundred and NINETY-FIFTH.

By Archie A. Craig  
State Director

Patent Number 36-71-0027

From: KENDALL Jerry Sent: Tue 05/31/2011 5:02 PM  
To: PEZLEY Michelle (SMTP)  
Cc:  
Subject: RE: Key and butt lots

Michelle no need to respond to this part of my inquiry: "Also, we could find no evidence in the Heceta South file that there was ever an intention to extend Kelsie Way southward. Did you?"

At least not for now. I think Shahsi of Trans. Planning answered it in his definition of stub road in his earlier referral response.

Jerry Kendall/Associate Planner/Lane County Oregon  
PSB/LMD  
125 E. 8th Ave.  
Eugene, Or. 97401  
ph: 541-682-4057  
FAX: 541-682-3947  
Jerry.Kendall@co.lane.or.us

---

**From:** KENDALL Jerry  
**Sent:** Tuesday, May 31, 2011 3:52 PM  
**To:** PEZLEY Michelle (SMTP)  
**Subject:** RE: Key and butt lots

Thank you Michelle

As I also mentioned myself and two Transportation Planners were out on the site and we did not favor joining up with Kelsie Way. You were going to double check on that item. We saw a big dip in topography, and it is very near to Parcel B, the no-touch

FILE # PA \_\_\_\_\_  
EXHIBIT # 46 \_\_\_\_\_

From: TURK Jeff R Sent: Tue 05/31/2011 4:14 PM  
To: KENDALL Jerry; RUSSELL Mike L  
Cc: GUYETTE Phillip  
Subject: RE: 18-12-10.4 #1600

This is a Parks property so they can let you know the long term plans for the property. I do think this is the one Parks tried to sell a few years ago and met with strong opposition from citizens and the Board chose not to offer it.

**Jeff Turk**  
**Property Management Officer**

Lane County, Management Services  
125 East Eighth Avenue, Eugene, OR 97401  
541-682-4174, 541-682-4290 (FAX)

Jeff.R.TURK@co.lane.or.us

I

---

**From:** KENDALL Jerry  
**Sent:** Tuesday, May 31, 2011 3:42 PM  
**To:** TURK Jeff R; RUSSELL Mike L  
**Subject:** 18-12-10.4 #1600

Hi All.

I'm working on PA 5821, a 4th addition to Idylewood in the UGB of Florence, on tax lots 400, 401, & 801 below (east of the green roads). 62 lots are proposed.

Lane County owns adjacent tax lot 1600 (18-12-10.4) marked with the green X. It's zoned Natural Resource.

Does the County have any plans for this property? Like for a park?

The applicant for the subdivision will be leaving 24.6 eastern (wetland) acres of tax lot 401 alone. An aerial shows more (below).

It appears landlocked. The City is recommending that the applicant extend a local road to it for access.

FILE # PA \_\_\_\_\_  
EXHIBIT # 45

**KENDALL Jerry**

---

**From:** KENDALL Jerry  
**Sent:** Tuesday, May 31, 2011 3:52 PM  
**To:** PEZLEY Michelle (SMTP)  
**Subject:** RE: Key and butt lots

Thank you Michelle.

As I also mentioned, myself and two Transportation Planners were out on the site, and we did not favor joining up with Kelsie Way. You were going to double check on that item. We saw a big dip in topography, and it is very near to Parcel B, the no-touch wetland area. Also, we could find no evidence in the Heceta South file that there was ever an intention to extend Kelsie Way southward. Did you?

*Parcel B.*

Jerry Kendall/Associate Planner/Lane County Oregon  
 PSB/LMD  
 125 E. 8th Ave.  
 Eugene, Or. 97401  
 ph: 541-682-4057  
 FAX: 541-682-3947  
 Jerry.Kendall@co.lane.or.us

---

**From:** Michelle Pezley [mailto:michelle.pezley@ci.florence.or.us]  
**Sent:** Tuesday, May 31, 2011 3:47 PM  
**To:** KENDALL Jerry  
**Subject:** Key and butt lots

Hello Jerry,

Per the phone conversation today, I am responding to the question of key and butt lots.

FCC 11-1-3 Defines Butt Lot or Parcel, "A lot or parcel, the lot or parcel side line of which abuts the lot or parcel rear line of two (2) or more adjoining lots or parcels." and Key Lot or Parcel as, " A lot or parcel the rear line of which abuts the lot side line of two (2) or more adjoining lots or parcels."

FCC 11-5-2-4 states, "Key and Butt Lots and Parcels: There shall be no key or butt lots or parcels except where authorized by the Planning Commission where such lots or parcels are necessitated by unusual topographic conditions or previous adjacent layout."

Please let me know if you have any additional questions.

Michelle

*Michelle K. Pezley*

Assistant Planner  
 250 Highway 101  
 Florence, OR 97439  
 Phone (541) 997-8237  
 Fax (541) 997-4109  
[michelle.pezley@ci.florence.or.us](mailto:michelle.pezley@ci.florence.or.us)

<b>FILE # PA</b>	_____
<b>EXHIBIT #</b>	44

05/31/2011

**KENDALL Jerry**

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**From:** KENDALL Jerry  
**Sent:** Tuesday, May 31, 2011 3:42 PM  
**To:** TURK Jeff R; RUSSELL Mike L  
**Subject:** 18-12-10.4 #1600

**Attachments:** Picture (Device Independent Bitmap); Picture (Device Independent Bitmap)

Hi All.

I'm working on PA 5821, a 4th addition to Idylewood in the UGB of Florence, on tax lots 400, 401, & 801 below (east of the green roads). 62 lots are proposed.

Lane County owns adjacent tax lot 1600 (18-12-10.4) marked with the green X. It's zoned Natural Resource.

Does the County have any plans for this property? Like for a park?

The applicant for the subdivision will be leaving 24.6 eastern (wetland) acres of tax lot 401 alone. An aerial shows more (below).

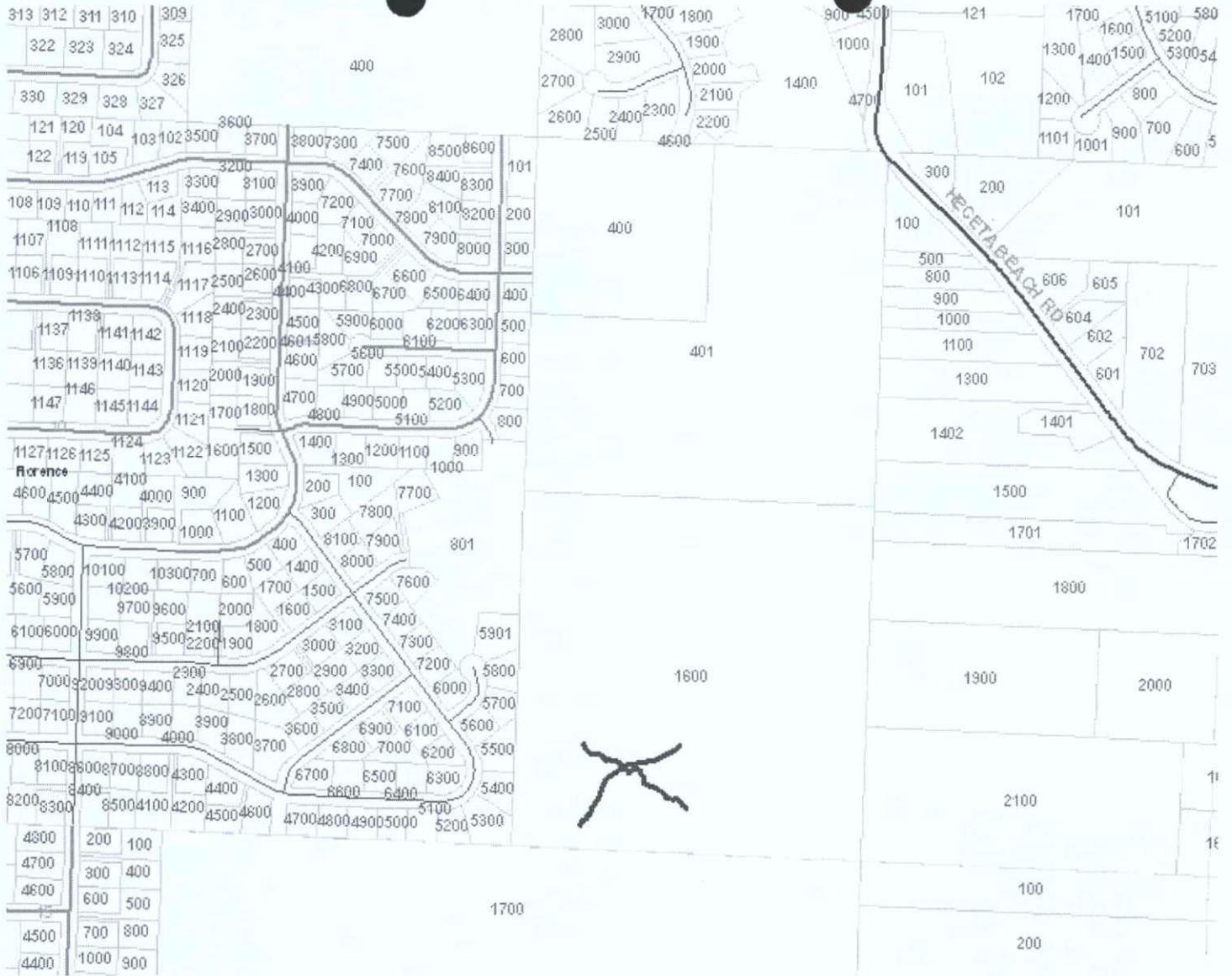
It appears landlocked. The City is recommending that the applicant extend a local road to it for access.

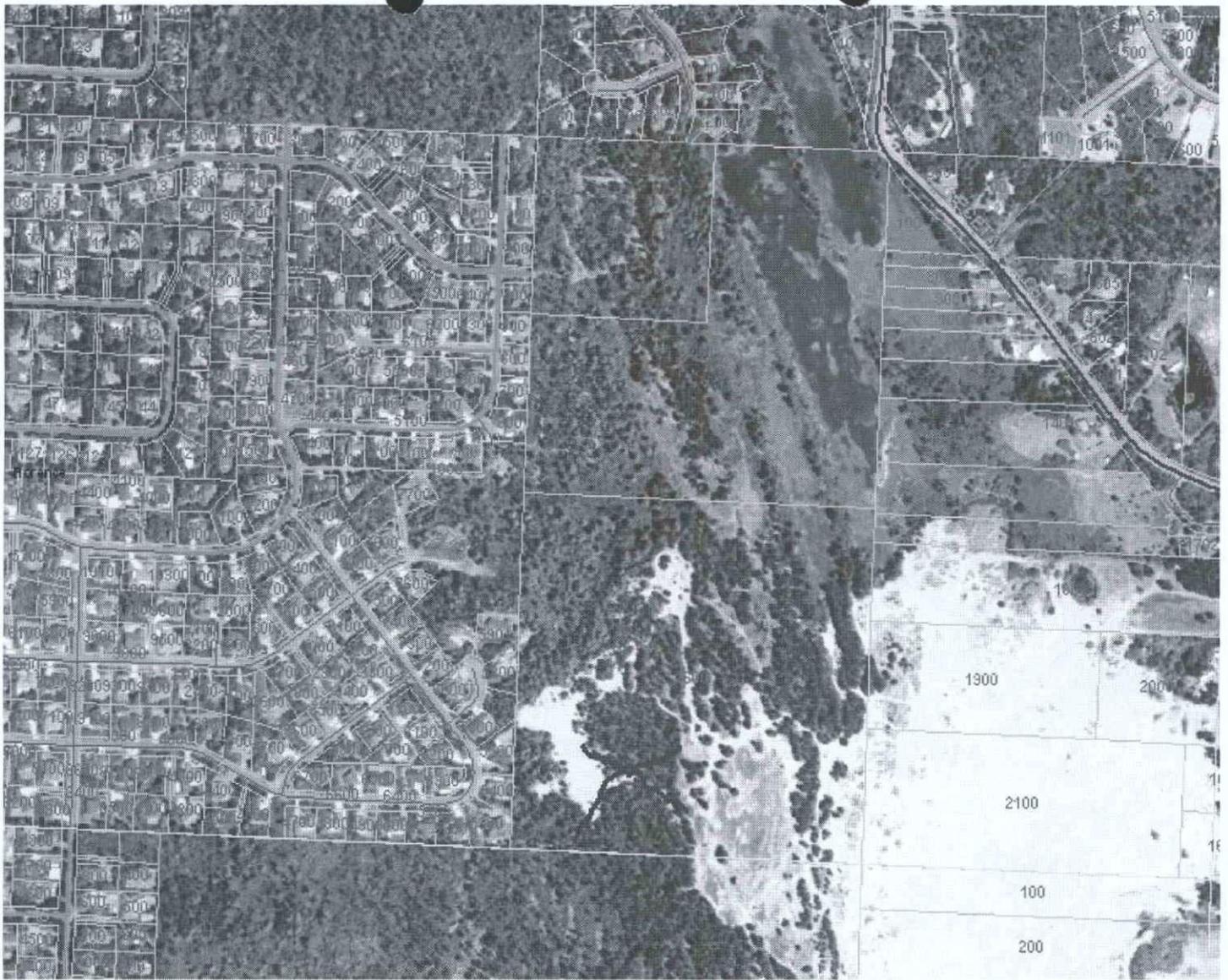
Let me know your thoughts. I'm in the fact gathering stage. Please respond within a week.

Thank you.

(Jeff: you probably got a referral on this previously)

FILE # PA	_____
EXHIBIT #	43-3P.





Jerry Kendall/Associate Planner/Lane County Oregon  
PSB/LMD  
125 E. 8th Ave.  
Eugene, Or. 97401  
ph: 541-682-4057  
FAX: 541-682-3947  
Jerry.Kendall@co.lane.or.us

RECD MAY 11 2011

# LETTER OF TRANSMITTAL



## EGR & Associates, Inc.

Engineers, Geologists and Surveyors

2535B Prairie Road  
Eugene, Oregon 97402

(514) 688-8322  
Fax (541) 688-8087

DATE: 5/9/11	JOB NO: 2080-07-0256
ATTENTION: Jerry Kendall	
RE: Idylewood 4 <sup>th</sup> Addition PA #10-5821 and PA#10-5824	

TO: Lane County  
Attn: Jerry Kendall  
125 E. 8<sup>th</sup> Avenue  
Eugene, OR 97401

WE ARE SENDING YOU:

- |   |  |  |  |                                |
|---|--|--|--|--------------------------------|
| <input type="checkbox"/> Drawings             | <input type="checkbox"/> Report                    | <input type="checkbox"/> Letter          | <input checked="" type="checkbox"/> Copy of Letter | <input type="checkbox"/> Plans |
| <input type="checkbox"/> Specifications       | <input type="checkbox"/> Change Order              | <input type="checkbox"/> _____           |  |                                |
| VIA: <input type="checkbox"/> Fax Transmittal | <input checked="" type="checkbox"/> Postal Service | <input type="checkbox"/> Express Courier | <input type="checkbox"/> Hand Deliver              | <input type="checkbox"/> _____ |

NO.	COPIES	DATE	DESCRIPTION
1	1	5-3-11	Signed Timeline Waiver request

THESE ARE TRANSMITTED AS CHECKED BELOW:

- |  |  |  |   |   |
|--|--|--|---|---|
| <input checked="" type="checkbox"/> As Requested | <input type="checkbox"/> For Your Use          | <input type="checkbox"/> For Approval            | <input type="checkbox"/> For Review and Comment | <input type="checkbox"/> Returned For Corrections |
| <input type="checkbox"/> Approved as Noted       | <input type="checkbox"/> Approved as Submitted | <input type="checkbox"/> Return Corrected Prints | <input type="checkbox"/> Resubmit for Approval  | <input type="checkbox"/> _____                    |

REMARKS:

COPY TO: Gene Benedick

SIGNED: Clint Beecroft  
Clint Beecroft, PE

**TIMELINE WAIVER**

I, Clint Beecroft, as authorized representative of the owner for PA 10-5821 and PA 10-5824, do hereby waive the statutory time line requirements of ORS 215.427 for the period of May 3, 2011 to August 1, 2011 in order to evaluate whether or not to submit additional information for these applications and, if so, then to prepare supplemental information during this period.

Clint Beecroft  
Signature

5-3-11  
Date

**KENDALL Jerry**

---

**From:** KENDALL Jerry  
**Sent:** Monday, May 09, 2011 1:09 PM  
**To:** 'Clint Beecroft'; ROGERS Chris A  
**Cc:** 'Gene Benedick'  
**Subject:** RE: Idylewood

Thanks Clint.

I saw Chris doing a large mailing earlier, but am reminding her per this copy.

Jerry Kendall/Associate Planner/Lane County Oregon  
PSB/LMD  
125 E. 8th Ave.  
Eugene, Or. 97401  
ph: 541-682-4057  
FAX: 541-682-3947  
Jerry.Kendall@co.lane.or.us

---

**From:** Clint Beecroft [mailto:clintbeecroft@egrassoc.com]  
**Sent:** Monday, May 09, 2011 12:55 PM  
**To:** KENDALL Jerry  
**Cc:** 'Gene Benedick'  
**Subject:** Idylewood

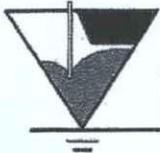
Jerry,

Attached is a PDF copy of the waiver request for PA 10-5821 and PA 10-5824. The original will follow in the mail. I have provided an allowance of 90 days for us to review the comments and prepare any supplemental information that may be deemed appropriate for these applications.

I have not yet seen an email from Chris regarding copy charges for the file record as we discussed.

Clint Beecroft

FILE # PA	_____
EXHIBIT #	41-3p.



**EGR & Associates, Inc.**  
Engineers, Geologists and Surveyors

2535B Prairie Road  
Eugene, Oregon 97402

(514) 688-8322  
Fax (514) 688-8087

**LETTER OF TRANSMITTAL**

DATE: 5/9/11	JOB NO: 2080-07-0256
ATTENTION: Jerry Kendall	
RE: Idylewood 4 <sup>th</sup> Addition PA #10-5821 and PA#10-5824	

TO: Lane County  
Attn: Jerry Kendall  
125 E. 8<sup>th</sup> Avenue  
Eugene, OR 97401

WE ARE SENDING YOU:

- Drawings       Report       Letter       Copy of Letter       Plans  
 Specifications       Change Order       \_\_\_\_\_

- VIA:  Fax Transmittal       Postal Service       Express Courier       Hand Deliver       \_\_\_\_\_

NO.	COPIES	DATE	DESCRIPTION
1	1	5-3-11	Signed Timeline Waiver request

THESE ARE TRANSMITTED AS CHECKED BELOW:

- As Requested       For Your Use       For Approval       For Review and Comment       Returned For Corrections  
 Approved as Noted       Approved as Submitted       Return Corrected Prints       Resubmit for Approval       \_\_\_\_\_

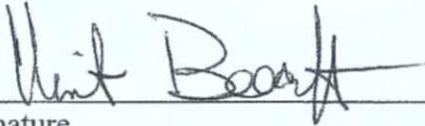
REMARKS:

COPY TO: Gene Benedick

SIGNED: Clint Beecroft  
Clint Beecroft, PE

**TIMELINE WAIVER**

I, Clint Beecroft, as authorized representative of the owner for PA 10-5821 and PA 10-5824, do hereby waive the statutory time line requirements of ORS 215.427 for the period of May 3, 2011 to August 1, 2011 in order to evaluate whether or not to submit additional information for these applications and, if so, then to prepare supplemental information during this period.



Signature

5-3-11

Date

**KENDALL Jerry**

---

**From:** KENDALL Jerry  
**Sent:** Tuesday, May 03, 2011 9:44 AM  
**To:** 'Clint Beecroft'  
**Subject:** Benedick 62 lot subdiv.

Hi Clint.

The referral responses from the city, transportation planning, neighbors etc. have arrived.

In the next few emails I will FW you what I have e-copies of. There are more in the file record available for your review.

Although it is your option, I would advise that you review them and respond as you see fit. Also your option is to grant a waiver to the 120 day processing timeline while you do so. Unless I am instructed by you to hold up via a waiver, I am obligated to proceed.

Please contact me if questions/comments.

Regards,

Jerry Kendall/Associate Planner/Lane County Oregon  
PSB/LMD  
125 E. 8th Ave.  
Eugene, Or. 97401  
ph: 541-682-4057  
FAX: 541-682-3947  
Jerry.Kendall@co.lane.or.us

<b>FILE # PA</b> _____
<b>EXHIBIT #</b> <u>40</u>

# CITY OF FLORENCE

## Community Development Department

*Planning, Building Inspection and Economic Development*

250 Highway 101 γ Florence, Oregon γ 97439-0340

(541) 997-8237 Fax: (541) 997-4109

### FAX TRANSMITTAL SHEET

DATE: 4/20/11	# of pages, including cover: 7
---------------	--------------------------------

TO: Jerry Kendall	COMPANY:
FAX #: 541-882-3947	PHONE #:

FROM: Michelle Reley
----------------------

SUBJECT: Idylewood 4
MESSAGE:

FILE # PA _____
EXHIBIT # 39-7 P.



## City of Florence

Community Development Department

250 Highway 101  
Florence, OR 97439-7623

PH: (541) 997-8237  
FAX: (541) 997-4109

May 2, 2011

Jerry Kendall, Associate Planner  
Lane County Land Management Division  
125 East 8<sup>th</sup> Ave.  
Eugene, Oregon 97401

RE: Idylewood Fourth Addition

Dear Mr. Kendall;

The City of Florence has reviewed the Idylewood Fourth Addition tentative subdivision. At this time, the City of Florence finds that the subdivision meets the adopted code and policies with conditions of approval.

The following are the codes and policies that apply to the tentative subdivision, which are in bold and the findings normal text: Recommendations, request and proposed condition of approval are underlined. Quotes from Florence City Code are italics.

**As stated in Lane Code 13.050 (1) Conformity with the Comprehensive Plan: All divisions shall conform with the Comprehensive Plan for Lane County and the following city comprehensive plans: (a)(viii) Florence.**

The application was submitted before Lane County Board of Commissioners approved the 2020 Florence Realization Comprehensive Plan. Therefore, the application is reviewed under the 1988 Comprehensive Plan. The sections of the 1988 Comprehensive Plan are below:

**I. Quality of Life Objective 3: to recognize the existing natural and architectural assets of the community and encourage development that enhances and is compatible with those assets. And**

### **V. Recreation Needs**

**Policy 9. The City shall work closely with Lane County to assure that developments within the Urban Growth Boundary are consistent with City Park and recreation and open space objectives, policies, and recommendations.**

There are no known architectural assets on the proposed development; however, there are known natural assets located on the east of the subject property, referred to as Parcel B. There are many wetlands and seasonal lakes located mostly on Parcel B. City of Florence requests a condition of approval to require public access to the Parcel B for recreational use. Lane County owns

property directly south and east of the proposed Idylewood Fourth Addition. City of Florence recommends that the applicant provide vehicular and pedestrian public access to the Lane County Property for future development of the property.

## VII. Land Use –

**General Policy 10:** Panhandle lots will be discouraged except under unusual circumstances. The need for panhandle lots within the City is not anticipated due to the present platting of the land. Land Partitions should be planned to avoid any future need for panhandle lots within the Urban Service Area.

The preliminary subdivision plan shows six panhandle lots (lots 6, 20, 21, 24, 25, and 56). The application did not show what unusual circumstances to justify the need for panhandle lots. Therefore, City requires redrawing of the subdivision eliminating all panhandle lots with a minimum lot frontage of 50 feet or 35 feet along a radius prior to approval of the tentative subdivision plan.

### Residential Objective: 2

All residential development shall be required to provide public street access for each house lot, paved streets, sidewalk, curbs and gutters and public facilities which conform to standards established by the City. In the unincorporated portion of the urbanizable area, alternated development standards may be applied according to the provisions of the Joint Management Agreement with Lane County.

The applicant has indicated that they propose a gravity-pipe wastewater system which will require the property to be annexed into the City limits prior to connection to the City's system. The City has standards for roads, stormwater, sewer and hydrant locations. City requires the utilities for sewer, roads, and stormwater be in conformance to city codes and standards. City requires the utility plans to be reviewed and approved by City Staff/ before any ground disturbance or before final plat signing whichever comes first. Siuslaw Valley Fire and Rescue shall approve location of fire hydrants.

## VIII Florence Urban Service Area

**Policy 7:** Ultimate minimum parcel sizes are 9,000 square feet for conventional single family development and 6,500 square feet for mobile home development. Interim parcel sizes shall be consistent with: availability of services, water pollution control standards, a plan for ultimate division of a property to standard City lots, and other applicable requirements.

The City understands that the application is reviewed with the County's requirements and that the County allows for lots less than 9,000 square feet in this zoning district. The City recommends, where regulations conflict, the stricter regulations apply. The preliminary subdivision plan shows ten lots (lots 1, 2, 12, 13, 48, 50, 51, 53, 54, and 55) which are under the 9,000 square feet requirement.

Furthermore, Florence City Code, Title 10, Chapter 8, states;

*A. Any lot having an area or dimension less than the minimum shall be designated a building site provided the following criteria are met:*

- 1. The lot is shown on an officially approved and recorded subdivision map.*
- 2. A deed or a valid contract of sale is recorded with the Lane County Clerk.*
- 3. The lot was of legal area and dimension for a building site at the time the sale was recorded.*

The undersized lots may become unbuildable lots of record. If the property owners plan to build each house before selling the lots once they are in the City Limits, then there will not be a problem. If the property owners plan to sell each lot once they are in the City Limits as vacant land, each lot that is undersized or dimensioned less than the minimum, (Lots 1, 2; 6, 12, 13, 20, 21, 24, 25, 45, 46, 48, 50, 51, 53, 54, 55, and 56) become unbuildable lots of record. The City requires redrawing of the subdivision to meet City Standards with minimum street frontage of 50 feet or 35 feet along a radius and no less than 9,000 square feet, prior to approval of the tentative subdivision plan to avoid lots which have an area or dimension less than the minimum to reduce all future problems with unbuildable lots. Attached is the preliminary development plan with the different lot issues highlighted. Also on the attached preliminary development plan, key and butt lots are shown. Key and butt lots are prohibited in City Limits; And would therefore be non-conforming but buildable lots.

**Policy 9.B-3** In approving new streets within the Urban Growth Boundary, Lane County will consider City Standards. Upon annexation, the City will not assume ownership responsibility for those streets which do not meet city standards.

**Policy 9-C-7** Total cost of the extension of service shall be borne by the benefitted property owners. City of Florence standards shall apply to all sewer extension and connections within the Urban Service Area. Only the City shall authorize the numbers, types, volumes and service charges of service connections. Grants from public or private sources should be used to offset costs to property owners, where possible.

**Policy 10:** All land use actions on unimproved lands within the Urban Service Boundary shall be subject to a Joint Management Agreement for planning coordination between the City and Lane County.

The City of Florence is under the assumption that the applicant would like to annex Idylewood Forth Addition Subdivision into the City Limits prior to issuance of any building permit as the tentative plan shows the attachment of city sewer. To avoid confusion, City requires the utilities for sewer, roads, stormwater and hydrants be reviewed and approved by City Staff before any ground disturbance or before final plat signing whichever comes first to meet city codes and standards. City staff recommends a meeting with Lane County Staff, applicants/ property owners and City Staff to determine the timeline of annexing into the City Limits.

**The City of Florence Comprehensive Plan of July 1988, Section IV: City/County Joint Management Agreement, Policy:**

- 1. Lane County shall retain responsibility for land use decisions and actions affecting the city of Florence Urban Growth Area, such responsibility to be relinquished over any land within this area only upon its annexation to the City, subject to provision of contract annexation agreements, as applicable. Lane County, as the jurisdiction with responsibility for facility planning within this Urban Growth Area, with participation by City of Florence and Heceta Water District.**

City understands that Lane County has the responsibility for land use decisions and that they shall be reviewed under Lane County provisions. The applicant is proposing City sewer. The request for City sewer requires annexation before the development may connect to the City's sewer. As mentioned already in this letter, there are small conflicts with the proposal and the City's ordinances. The City of Florence requests a meeting with County Staff and the developer to go over those concerns in this letter and determine a timeline for annexation to be submitted along with the application.

3. All development plans requiring special approval as described in the paragraph above shall be submitted to the City of Florence for review, for conformance with development standards of the City of Florence. All comments by the City of Florence shall be strongly considered in Lane County's approval of the submitted development plan. In the event that the City of Florence comments include a recommendation of denial of the development plan, Lane County may approve the development plan only upon finding, on the basis of evidence in the record, that the recommendation is in error.

The proposed partition does not conform to City of Florence subdivision standards as outline in Florence City Code (FCC) Title 11 as stated below:

As stated in FCC 11-5-2-A-2: *"Area: Minimum lot size shall be in conformance with the provisions of the Florence Zoning Ordinance. Where either a community water supply or sewer system are not presently provided, the lot area shall be sufficient to meet State and County health standards and the lot area shall be at least twice the number of square feet normally required in the zoning district where the lot is located. Where an oversize lot as described above is required do to lack of services, the Planning Commission may require the developer to submit a plan for later division of said lot(s) into standard six thousand five hundred (6,500) or nine thousand (9,000) square foot lots."* As mentioned above, there are ten lots which are undersized (9,000 square feet) and would become unbuildable lots when sold without buildings on them.

Furthermore, as stated in FCC 11-5-2-A-3, *"Frontage: Each lot shall have frontage of not less than fifty feet (50') upon a street, except that a lot on the outer radius of a curved street or facing the circular end of a cul-de-sac shall have frontage of not less than thirty five feet (35') upon a street, measured on the arc. Where either a public water supply or public sewers are not presently provided, the lot frontage shall be sufficient to insure an adequate sized lot to meet State and County requirements."* There are eight lots which do not meet the required street frontage. Those lots will become unbuildable lots when sold without buildings on them.

Therefore, the City of Florence requires redrawing of the subdivision to meet City Standards prior to approval of the tentative subdivision plan.

4. Lane County shall require that all lots or parcels created through subdivision or partitioning have access from a public street or approved private road. Private access easements or flag lots shall not be approved unless they are consistent with a neighborhood circulation plan approved by Lane County. Such a neighborhood circulation plan shall provide for development of access to city standards upon annexation to the City of Florence, and shall provide for public access to adjacent properties as needed.

The preliminary subdivision plan shall not have panhandle lots without a County approved neighborhood circulation plan. If Lane County finds that the City's recommendations related to lot configurations and easement are in error, the City requests that the County provide the City of Florence with the approved neighborhood circulation plan that demonstrates how the access will be provided once the area is annexed to the City of Florence.

**The City of Florence Comprehensive Plan of July 1988, Section VII. Land Use - Residential:**

2. All residential development shall be required to provide public street access for each house lot, paved streets, sidewalks, curbs and gutters and public facilities which conform to standards established by the City. In the unincorporated portion of the urbanizable area, alternate development standards may be applied according to the provisions of the Joint Management Agreement with Lane County.

City requires the utilities for sewer, roads, sidewalks, stormwater and hydrants be reviewed and approved by City Staff/ before any ground disturbance.

**Lane Code 13.050 General Requirements and Standards of Design and Development for Preliminary Plans.**

(3) Relation to Adjoining Road System. A subdivision, replat or partition shall provide for the continuation of major and secondary roads existing in adjoining subdivisions, replats or partitions, or for their proper projection when adjoining property is not subdivided, replatted or partitioned, and such streets shall meet the minimum requirements for roads set forth in LC Chapter 15. Where the Approving Authority determines that topographic conditions make such continuation or conformance impractical, exceptions may be made as provided in LC 15.900.

The City of Florence finds that there are four roads which Idylewood Fourth Addition would be able to connect. Those streets are Oceana Drive, Gullsettle Ct, Woodmere East, and Kelsie Way. The preliminary subdivision plan only shows connection to Oceana Drive and Gullsettle Ct. With local knowledge, City of Florence finds that the contour lines are out of date as they show slopes on existing roads which are no longer accurate. Heceta South Subdivision was required to have a stub to the south. City of Florence requests that Idylewood Fourth Addition connect to Kelsie Way.

**Lane County Code: (12) Sewerage Facilities.** Lots and parcels for which the applicable zoning districts permit residences or for which residences are contemplated, shall be served by either an approved public or community sewerage facility or be suitable for an approved individual sewage disposal facility. Methods of sewage disposal shall be in accordance with and subject to the applicable provisions of ORS; appropriate rules, regulations and policies promulgated under authority of ORS, and all appropriate County ordinances and policies. The establishment of rural sewerage facilities must be consistent with RCP Goal 2 Policy #24 and RCP Goal 11 policies.

**(a) Public or Community Sewerage Facilities.**

(i) When lots or parcels are located within a reasonable distance of an existing satisfactorily operating and available sewerage system, and it is practical and feasible to connect with and be sewerred by said system, the lots or parcels shall connect to the system. Should the

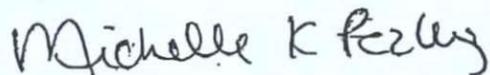
existing facilities be unable to service the lots or parcels, individual sewage disposal systems may be considered as an interim measure if soil and other conditions are suitable for their use. If conditions pertaining to the ability of the public or community sewage facility allow connection at a later date, connection will be required under the following circumstances: a public health hazard exists as defined by OAR Chapter 340-71-130(3), if the reason for not connecting to the public or community system were because of insufficient capacity of the public or community sewerage facility and these conditions cease to exist or if the reason for not connecting to the public or community system is based on engineering considerations such as pumping requirements and gravity sewers become available.

The City of Florence has installed a sanitary sewer main within the Rhododendron right-of-way and constructed lift stations for Fawn Ridge East and Fawn Ridge West. The applicant proposes to connect to city sewer. City requires the utilities for sewer, roads, sidewalks, stormwater and hydrants be reviewed and approved by City Staff/ before any ground disturbance. Furthermore, City staff recommends a meeting with Lane County Staff, applicants/ property owners and City Staff to determine the timeline of annexing into the City Limits.

In conclusion, City of Florence requests changes in the tentative plan to include access connection to parcel B, County land, and Kelsie Way as well as meeting the city lot size and dimension standards. City requires the utilities for sewer, roads, sidewalks, stormwater and hydrants be reviewed and approved by City Staff/ before any ground disturbance or final plat signing, whichever comes first. Furthermore, City staff recommends a meeting with Lane County Staff, applicants/ property owners and City Staff to determine the timeline of annexing into the City Limits.

If you have any questions, please contact myself or Sandra Belson, Community Development Director at 541.997.8237 or email me at [michelle.pezley@ci.florence.or.us](mailto:michelle.pezley@ci.florence.or.us).

Sincerely,



Michelle Pezley  
Assistant Planner

**KENDALL Jerry**

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**From:** Michelle Pezley [michelle.pezley@ci.florence.or.us]  
**Sent:** Monday, May 02, 2011 4:48 PM  
**To:** KENDALL Jerry  
**Subject:** City Comments to Idylewood fourth addition  
**Attachments:** Idylewood 4th add final.pdf; Idylewood map of non-conforming lots.pdf

Mr. Kendall,

Attached is the City comments and a marked up preliminary subdivision. The color did not scan as well as I would like. Please let me know if you have any problems reading the map or getting the attachments.

I will also fax the letter for your records.

Michelle

*Michelle K. Pezley*

Assistant Planner

250 Highway 101

Florence, OR 97439

Phone (541) 997-8237

Fax (541) 997-4109

[michelle.pezley@ci.florence.or.us](mailto:michelle.pezley@ci.florence.or.us)

FILE # PA	_____
EXHIBIT #	38-8p



# City of Florence

Community Development Department

250 Highway 101  
Florence, OR 97439-7623

PH: (541) 997-8237  
FAX: (541) 997-4109

May 2, 2011

Jerry Kendall, Associate Planner  
Lane County Land Management Division  
125 East 8<sup>th</sup> Ave.  
Eugene, Oregon 97401

RE: Idylewood Fourth Addition

Dear Mr. Kendall;

The City of Florence has reviewed the Idylewood Fourth Addition tentative subdivision. At this time, the City of Florence finds that the subdivision meets the adopted code and policies with conditions of approval.

The following are the codes and policies that apply to the tentative subdivision, which are in bold and the findings normal text: Recommendations, request and proposed condition of approval are underlined. Quotes from Florence City Code are italics.

**As stated in Lane Code 13.050 (1) Conformity with the Comprehensive Plan: All divisions shall conform with the Comprehensive Plan for Lane County and the following city comprehensive plans: (a)(viii) Florence.**

The application was submitted before Lane County Board of Commissioners approved the 2020 Florence Realization Comprehensive Plan. Therefore, the application is reviewed under the 1988 Comprehensive Plan. The sections of the 1988 Comprehensive Plan are below:

**I. Quality of Life Objective 3: to recognize the existing natural and architectural assets of the community and encourage development that enhances and is compatible with those assets. And**

#### **V. Recreation Needs**

**Policy 9. The City shall work closely with Lane County to assure that developments within the Urban Growth Boundary are consistent with City Park and recreation and open space objectives, policies, and recommendations.**

There are no known architectural assets on the proposed development; however, there are known natural assets located on the east of the subject property, referred to as Parcel B. There are many wetlands and seasonal lakes located mostly on Parcel B. City of Florence requests a condition of approval to require public access to the Parcel B for recreational use. Lane County owns

property directly south and east of the proposed Idylewood Fourth Addition. City of Florence recommends that the applicant provide vehicular and pedestrian public access to the Lane County Property for future development of the property.

## **VII. Land Use –**

**General Policy 10: Panhandle lots will be discouraged except under unusual circumstances. The need for panhandle lots within the City is not anticipated due to the present platting of the land. Land Partitions should be planned to avoid any future need for panhandle lots within the Urban Service Area.**

The preliminary subdivision plan shows six panhandle lots (lots 6, 20, 21, 24, 25, and 56). The application did not show what unusual circumstances to justify the need for panhandle lots. Therefore, City requires redrawing of the subdivision eliminating all panhandle lots with a minimum lot frontage of 50 feet or 35 feet along a radius prior to approval of the tentative subdivision plan.

### **Residential Objective: 2**

**All residential development shall be required to provide public street access for each house lot, paved streets, sidewalk, curbs and gutters and public facilities which conform to standards established by the City. In the unincorporated portion of the urbanizable area, alternated development standards may be applied according to the provisions of the Joint Management Agreement with Lane County.**

The applicant has indicated that they propose a gravity-pipe wastewater system which will require the property to be annexed into the City limits prior to connection to the City's system. The City has standards for roads, stormwater, sewer and hydrant locations. City requires the utilities for sewer, roads, and stormwater be in conformance to city codes and standards. City requires the utility plans to be reviewed and approved by City Staff/ before any ground disturbance or before final plat signing whichever comes first. Siuslaw Valley Fire and Rescue shall approve location of fire hydrants.

## **VIII Florence Urban Service Area**

**Policy 7: Ultimate minimum parcel sizes are 9,000 square feet for conventional single family development and 6,500 square feet for mobile home development. Interim parcel sizes shall be consistent with: availability of services, water pollution control standards, a plan for ultimate division of a property to standard City lots, and other applicable requirements.**

The City understands that the application is reviewed with the County's requirements and that the County allows for lots less than 9,000 square feet in this zoning district. The City recommends, where regulations conflict, the stricter regulations apply. The preliminary subdivision plan shows ten lots (lots 1, 2, 12, 13, 48, 50, 51, 53, 54, and 55) which are under the 9,000 square feet requirement.

Furthermore, Florence City Code, Title 10, Chapter 8, states;

*A. Any lot having an area or dimension less than the minimum shall be designated a building site provided the following criteria are met:*

- 1. The lot is shown on an officially approved and recorded subdivision map.*
- 2. A deed or a valid contract of sale is recorded with the Lane County Clerk.*
- 3. The lot was of legal area and dimension for a building site at the time the sale was recorded.*

The undersized lots may become unbuildable lots of record. If the property owners plan to build each house before selling the lots once they are in the City Limits, then there will not be a problem. If the property owners plan to sell each lot once they are in the City Limits as vacant land, each lot that is undersized or dimensioned less than the minimum, (Lots 1, 2, 6, 12, 13, 20, 21, 24, 25, 45, 46, 48, 50, 51, 53, 54, 55, and 56) become unbuildable lots of record. The City requires redrawing of the subdivision to meet City Standards with minimum street frontage of 50 feet or 35 feet along a radius and no less than 9,000 square feet, prior to approval of the tentative subdivision plan to avoid lots which have an area or dimension less than the minimum to reduce all future problems with unbuildable lots. Attached is the preliminary development plan with the different lot issues highlighted. Also on the attached preliminary development plan, key and butt lots are shown. Key and butt lots are prohibited in City Limits; And would therefore be non-conforming but buildable lots.

**Policy 9.B-3 In approving new streets within the Urban Growth Boundary, Lane County will consider City Standards. Upon annexation, the City will not assume ownership responsibility for those streets which do not meet city standards.**

**Policy 9-C-7 Total cost of the extension of service shall be borne by the benefitted property owners. City of Florence standards shall apply to all sewer extension and connections within the Urban Service Area. Only the City shall authorize the numbers, types, volumes and service charges of service connections. Grants from public or private sources should be used to offset costs to property owners, where possible.**

**Policy 10: All land use actions on unimproved lands within the Urban Service Boundary shall be subject to a Joint Management Agreement for planning coordination between the City and Lane County.**

The City of Florence is under the assumption that the applicant would like to annex Idylewood Forth Addition Subdivision into the City Limits prior to issuance of any building permit as the tentative plan shows the attachment of city sewer. To avoid confusion, City requires the utilities for sewer, roads, stormwater and hydrants be reviewed and approved by City Staff before any ground disturbance or before final plat signing whichever comes first to meet city codes and standards. City staff recommends a meeting with Lane County Staff, applicants/ property owners and City Staff to determine the timeline of annexing into the City Limits.

**The City of Florence Comprehensive Plan of July 1988, Section IV: City/County Joint Management Agreement, Policy:**

- 1. Lane County shall retain responsibility for land use decisions and actions affecting the city of Florence Urban Growth Area, such responsibility to be relinquished over any land within this area only upon its annexation to the City, subject to provision of contract annexation agreements, as applicable. Lane County, as the jurisdiction with responsibility for facility planning within this Urban Growth Area, with participation by City of Florence and Heceta Water District.**

City understands that Lane County has the responsibility for land use decisions and that they shall be reviewed under Lane County provisions. The applicant is proposing City sewer. The request for City sewer requires annexation before the development may connect to the City's sewer. As mentioned already in this letter, there are small conflicts with the proposal and the City's ordinances. The City of Florence requests a meeting with County Staff and the developer to go over those concerns in this letter and determine a timeline for annexation to be submitted along with the application.

**3. All development plans requiring special approval as described in the paragraph above shall be submitted to the City of Florence for review, for conformance with development standards of the City of Florence. All comments by the City of Florence shall be strongly considered in Lane County's approval of the submitted development plan. In the event that the City of Florence comments include a recommendation of denial of the development plan, Lane County may approve the development plan only upon finding, on the basis of evidence in the record, that the recommendation is in error.**

The proposed partition does not conform to City of Florence subdivision standards as outline in Florence City Code (FCC) Title 11 as stated below:

As stated in FCC 11-5-2-A-2: *"Area: Minimum lot size shall be in conformance with the provisions of the Florence Zoning Ordinance. Where either a community water supply or sewer system are not presently provided, the lot area shall be sufficient to meet State and County health standards and the lot area shall be at least twice the number of square feet normally required in the zoning district where the lot is located. Where an oversize lot as described above is required do to lack of services, the Planning Commission may require the developer to submit a plan for later division of said lot(s) into standard six thousand five hundred (6,500) or nine thousand (9,000) square foot lots."* As mentioned above, there are ten lots which are undersized (9,000 square feet) and would become unbuildable lots when sold without buildings on them.

Furthermore, as stated in FCC 11-5-2-A-3, *"Frontage: Each lot shall have frontage of not less than fifty feet (50') upon a street, except that a lot on the outer radius of a curved street or facing the circular end of a cul-de-sac shall have frontage of not less than thirty five feet (35') upon a street, measured on the arc. Where either a public water supply or public sewers are not presently provided, the lot frontage shall be sufficient to insure an adequate sized lot to meet State and County requirements."* There are eight lots which do not meet the required street frontage. Those lots will become unbuildable lots when sold without buildings on them

Therefore, the City of Florence requires redrawing of the subdivision to meet City Standards prior to approval of the tentative subdivision plan.

**4. Lane County shall require that all lots or parcels created through subdivision or partitioning have access from a public street or approved private road. Private access easements or flag lots shall not be approved unless they are consistent with a neighborhood circulation plan approved by Lane County. Such a neighborhood circulation plan shall provide for development of access to city standards upon annexation to the City of Florence, and shall provide for public access to adjacent properties as needed.**

The preliminary subdivision plan shall not have panhandle lots without a County approved neighborhood circulation plan. If Lane County finds that the City's recommendations related to lot configurations and easement are in error, the City requests that the County provide the City of Florence with the approved neighborhood circulation plan that demonstrates how the access will be provided once the area is annexed to the City of Florence.

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existing facilities be unable to service the lots or parcels, individual sewage disposal systems may be considered as an interim measure if soil and other conditions are suitable for their use. If conditions pertaining to the ability of the public or community sewage facility allow connection at a later date, connection will be required under the following circumstances: a public health hazard exists as de-fined by OAR Chapter 340-71-130(3), if the reason for not connecting to the public or community system were because of insufficient capacity of the public or community sewerage facility and these conditions cease to exist or if the reason for not connecting to the public or community system is based on engineering considerations such as pumping requirements and gravity sewers become available.

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If you have any questions, please contact myself or Sandra Belson, Community Development Director at 541.997.8237 or email me at [michelle.pezley@ci.florence.or.us](mailto:michelle.pezley@ci.florence.or.us).

Sincerely,

Michelle Pezley  
Assistant Planner



**KENDALL Jerry**

**From:** PETSCH John S  
**Sent:** Monday, May 02, 2011 4:23 PM  
**To:** KENDALL Jerry  
**Cc:** BAJRACHARYA Shashi; BARRY Celia; FIELDS Phil; FIELDS Phil; LEMHOUSE Brad; MCKINNEY Lydia; PAUGH Jennifer A; THORPE Joseph P  
**Subject:** PA 10-5821 - Benedick Holdings LLC - Idylewood Subdivision

**File No.:** PA 10-5821

**Applicant:** Benedick Holdings LLC

**Owner:** Benedick Holdings LLC

**Location:** vacant

**TRS:** 18-12-10-40      18-12-10-34

**TaxLots:** 400, 401      801

**Proposal:** Request for Planning Director Approval for Preliminary Subdivision of a 46-acres into 62 lots within the Suburban Residential (RA) Zone, the Interim Urbanizing District (/U), and the Beaches and Dunes Combining District (/BD), as provided by Lane Code 10.135, LC 10.122, LC 10.270 and LC 13.050.

**Comments from Lane County Road Maintenance:**

The subject property is proposed to be the Fourth Addition to Idylewood Subdivision. The property is located adjacent to Idylewood, Idylewood First Addition, Idylewood Second Addition and Idylewood Third Addition all developed by Gene Benedick. Flooding issues within Idylewood and Idylewood First Addition became an issue in 1999. The area near Sandrift Street and Gullsettlet Court was submerged in several feet of water. Record amounts of rainfall and the topography trapped storm water drainage in that area. Mr. Benedick proposed and installed a gravity flow drainage system from Gullsettlet Court to Rhododendron Drive. Working with Lane County, plans were reviewed and approved for the installation of the storm water system as part of the approval of Idylewood Third Addition. The system was installed during the construction phase for Idylewood Third Addition. At this time, the system is privately owned with maintenance to be provided by the **Idylewood Subdivisions homeowners.** → *Agreed by PW?*

*SAME?*  
In October 1999, Lane County reviewed and permitted a storm water drainage system to discharge into an existing culvert on Rhododendron Drive and along North Jetty Road onto State Lands. The storm water drainage system provides flooding relief for Idylewood First Addition. Any additional storm water drainage into the existing system must not exceed the 1999 current capacity of the system. Adequate conveyance capacity shall be designed for a 10-year storm event per Lane Code Chapter 15.139(g)(iii). **Any additional conveyance must not be directed into the existing storm water system between Gullsettlet Court and Rhododendron Drive. It must be handled outside any County or public rights-of-ways.** It is important that no additional storm water is directed into the existing drainage ditches along Oceana Drive, Sandrift Court, Sandrift Street, Saltaire Street and Gullsettlet Court. Detailed storm water drainage plans including design calculations for the proposed subdivision should be submitted to Lane County Public Works and reviewed and approved prior to the preliminary approval being issued.

*→ ? wetland discharge OK? (10/22/99)*  
All on-site storm drainage including roof drains, driveways, decks and sidewalks shall be contained within each subdivision lot. A storm water drainage plan for each lot shall be developed and approved prior to the issuance of any building permits on any lots. No storm water run-off shall be diverted from a natural channel or otherwise from private property down a roadside ditch per Lane Manual 15.515(2). All required and necessary permits shall be secured for all storm water drainage runoff into the Common Area Parcel B prior to the final approval for the subdivision.

Any questions, let me know. Thank you for providing the opportunity to comment on the request.

John Petsch  
Lane County Public Works  
Road Maintenance Division

FILE # PA \_\_\_\_\_  
EXHIBIT # 37

## KENDALL Jerry

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**From:** BAJRACHARYA Shashi  
**Sent:** Monday, May 02, 2011 3:25 PM  
**To:** KENDALL Jerry  
**Cc:** BAJRACHARYA Shashi; BARRY Celia; FIELDS Phil; LEMHOUSE Brad; MCKINNEY Lydia; PARKER Laurie M; PAUGH Jennifer A; PETSCH John S  
**Subject:** PA 10-5821, subdivision, Idylwood Subdivision, Florence, Oceana Drive  
**Attachments:** Gullsettle Ct (PA 10-5824) - Subdivision secondary access

**TP File #:** 10162  
**LMD File #** PA 10-5821  
**Applicant:** Benedick Holdings LLC  
**Owner:** Benedick Holdings LLC  
**Agent:** Clint Beecroft, EGR & Associates  
**Address:** vacant  
**Tax Map:** 18-12-10-40 18-12-10-34  
**Lot:** 400, 401 801

**Proposal:** Divide a 46-acre parcel into a 62-lot subdivision

### Comments from Lane County Transportation Planning

The subject property is a tract of vacant land inside the urban growth boundary of the City of Florence. The property is connectable by extensions of Kelsie Way, Oceana Drive, Cloudcroft Lane, or Gullsettle Court, which were created as part of previous subdivisions, namely Heceta South Subdivision, Idylewood First, or Second Additions. These roads are platted as public right-of-ways and constructed up to the edge of the property line.

Lane Code 15.010(35)(ix) defines a stubbed road as a road having only one outlet, and which is intended to be extended or continued to serve future development on adjacent lands. A stubbed road that is part of the County Road system is functionally classified as a Local Road. This can include a cul-de-sac or hammerhead turnaround area intended to be extended in the future.

These stubbed roads are functionally classified as Local Access Road in the Lane County Transportation System Plan (TSP), except for Oceana Drive. A Local Access Road is a Public Road that is not a County Road, state highway, or federal road. Pursuant to ORS 368, the County and its officers, employees and / or agents, is not liable for failure to improve Local Access Roads and is not liable to keep Local Access Road in repair.

Oceana Drive is functionally classified as an Urban Local Road in the TSP, which is a 24 foot wide, 2-lane, paved road without shoulders or sidewalks.

The applicant is proposing to divide the 46-acre property into a 62-lot lot subdivision. The site plan for the subdivision shows connections via Oceana Drive and Gullsettle Court to serve all 62-lots of the subdivision. Kelsie Way, Cloudcroft Lane or Woodmere East connections are not proposed. This application is concurrently processed with PA 10-5824 for a variance request regarding extension of these stubbed public roads.

The 62 new residential lots are unlikely to generate the threshold 100 or more peak hour trips in any hour. The Traffic Impact Analysis requirements in LC 15.697 are not applicable.

FILE # PA	_____
EXHIBIT #	36-6p.

Staff visited the site on April 18, 2011 and noted the general topography of the area including the stubbed roads.

The following are relevant Lane Code Chapter 15 requirements regarding Public Roads that are part of land divisions.

1. LC 15.045 Minimum Requirements for Public Roads and Local Access Road

15.045(1) A Public Road or Local Access Road that is part of or serves a land division shall comply with

15.045(a) the land division requirements in LC 13.050

15.045(b) road dedication and improvement requirements in LC 15.105

15.045(c) the provisions in LC 15.045(3) through (7)

15.045(3) As far as feasible, roads shall be in alignment with existing or appropriate projections of existing roads by continuations of the centerline thereof.

15.045(4) When necessary to retain access to or permit a satisfactory future division of adjoining lands, roads shall be extended to the boundary of a land division.

It appears that the applicant intends to dedicate new roads as Public Roads consistent with the stubbed roads they extend. Lane Manual (LM) 15.110 defines Public Road as, "[A] road over which the public has a right of use that is a matter of record. For purposes of this chapter, a public road is a road that has been dedicated for use by the public for road purposes either by good and sufficient deed presented to and accepted by the Board, or by subdivision plat presented to and accepted by the Board...A public road is not normally maintained by the County, but the County can regulate its use." LM 15.105 through 15.155 describes the process involving such road dedications. Common term for this type of road is "Local Access Road."

2. Private Easement Requirements- a Private Access Easement that is part of or serves a land division shall comply with the following requirements, pursuant to LC 15.055. This subdivision creates four Private Access Easement Roads to serve interior parcel or facilities, in addition to proposed public roads.

a. 15.055(1) - a land division proposal is required to meet the dedication and improvement requirements in LC 15.105(1) which requires the Private Access Easement Road meet standards in LC 15.706 (details to follow).

b. 15.055(4) and 15.706(3)(a) - the minimum easement width of a Private Access Easement Road serving 3 or less parcels is 30 feet.

c. 15.055(5) - the easement document shall provide for the installation, construction, and maintenance of all utilities and facilities, which are now or in the future needed for parcels served by the easement.

d. 15.055(7) - the easement shall be an affirmative, perpetual easement appurtenant to the property that will be served by the easement, and contain at a minimum the names of grantor and grantee, the description of the land covered by the easement, a description of the parcels to be served, a description of the intent or purpose of the easement, and a statement of maintenance responsibility. All approved easements shall be recorded.

e. 15.055(8) - the County may require that at the entrance to the road a sign be posted at private expense stating the name of the private road and the words "Private Road, Not Dedicated for Public Use or Maintained by Lane County."

The roadway design standards applicable to Local Access Roads and Private Access Easement Road are provided below under Road Standards.

### 3. Dedication and Improvement Requirements

a. LC 15.105 (1) when a land division or other development is proposed, the County may require dedications of right of way or easements and improvements necessary to meet the applicable road design standards (given below). Road dedication or improvements shall be adequate to serve traffic generated the new development.

This subdivision creates 62 new residential lots. Any dedications and improvements must be adequate to traffic generated from these new lots. From the submitted plan, it appears that the applicant is dedicating newly constructed roads as public roads. If the applicant intends to dedicate the newly created road as Local Access Roads, the Declaration of Covenant and Restrictions of the subdivision must include Road Use and Maintenance clause specifying maintenance responsibilities of the roads.

### 4. Access Management Requirements

The following requirements shall apply when access is taken from a County Road as defined in LC 15.010(35)

LC 15.137(5) – Driveway and road approaches on County Roads shall be located where they do not create undue interference or hazard to the free movement of highway and pedestrian traffic. Locations on sharp curves, steep grades, areas of restricted sight distance or at points that interfere with the placement and proper functioning of signs, lighting, guardrails, or other traffic control devices shall not be permitted.

The Gullsettle Court connection is located at a sharp curve and potentially used by about 30 lots if this connection is approved. It can potentially have sight distance and queuing and blocking issues. The applicant must be required to document how this is not a safety issue.

### 5. Road Standards

Road standards in LC 15.706 applies for Local Access Road and Private Access Easement Roads. If requested by a city pursuant to an intergovernmental agreement (IGA), the County may apply a city's road standards when such roads are located within a city's urban growth boundary. Unless requested by the City of Florence, the following road standards apply to Gullsettle Court, Bear Run Road, Oceana Drive, and Triton Court. It is recommended that an Oregon certified engineer provide stamped documentation that the private access easement meets the minimum requirements of LC 15.704(3), (4), (5), (7), (8), and (10), prior to final plat approval:

- a. 15.704(3) - the minimum right-of-way width for roads having curbside sidewalk and more than 250 residential Average Daily Traffic is 50 feet. Roadway width shall be minimum 28 feet wide, including an 8-foot wide parking lane.
- b. 15.704(4) - the travel surface shall be paved.
- c. 15.704(5) - pavement structure design shall meet the requirements specified in LC 15.707.
- d. 15.704(6) - travel lanes on Local Roads are not specified.
- e. 15.704(7) - curb and gutter are required.(a) Water conveyance capacity in curb and gutter design shall be provided by a minimum 18-inch gutter width. (b) The minimum longitudinal gutter slope shall be 0.3%. The minimum curb height shall be six inches.
- f. 15.704(8) - sidewalks on new urban local streets are required and shall be constructed at the expenses of the developer or abutting property owners. Curbside sidewalks shall be a minimum six feet wide.
- g. 15.704(10) - On-street parking shall be limited to one side.

The applicant provided a site plan showing a roadway section having two, 9-foot wide travel lane; two, 7-foot wide parking lanes; and two 5.5-foot wide sidewalks in a 60-foot wide right-of-way. The proposed sidewalk widths and lane width shown do not meet the minimum standards. It 5.5-foot

wide sidewalk is proposed, it should meet the setback sidewalk requirements. Likewise, proposed two parking lanes also deviates from the roadway design standards. The proposed on street parking (2 lanes) may be supported if a minimum 36-foot wide roadway width is provided consistent with the above standards.

For the four proposed access easement roads, the following road standards apply.

- a. 15.706(3) - the minimum right-of-way width for private access easement road 30 feet for roads serving up to three parcels.
- b. 15.706(4) - the minimum roadway width is 12 feet for roads serving lots three or less.
- c. 15.706(7) - the road surface may be gravel standard constructed of  $\frac{3}{4}$ " -0 rock over 8" thick base.
- d. 15.706(8) - travel lanes on local access roads are not specified.
- e. 15.706(9) - ditch rock slopes and foreslopes not steeper than 3H:1V. Side slopes should be designed to ensure the stability of the roadway and to provide a reasonable opportunity for recovery of an out-of-control vehicle.
- f. 15.706(10) - curb and gutter are not required.
- g. 15.706(12) - On-street parking is prohibited.
- h. 15.706(13) - (a) Maximum grade shall be 16%. A maximum grade of 20% is allowable for span up to 100 feet on a straight tangent when topographical conditions make lesser grade impractical. (b) Grades that exceed 16% shall be paved. (c) Road grades in excess of 8% require a centerline profile prepared for the proposed road by an Oregon-certified civil engineer or Oregon licensed surveyor in addition to submitting evidence demonstrating the road grades in excess of 8% are adequate for fire fighting equipment of the agency providing fire protection to access the use and water supply.

The 20 feet wide access easement in between Lot 29 and Lot 30 does not meet the minimum easement standard. Additionally, roadway cross-sections for these easement roads are not shown to comment on proposed standards.

#### 6. General Access Requirements and Access Management Requirements

Proposed access for individual lots must be safe and useable, per LC 15.135 (1).

- a. 15.135(1) -all lots shall have reasonably safe and usable vehicular access either directly to a Public Road, County Road, State Road, or an approved Private Access Easement.
- b. 15.135(2) -Private Access Easement Road serving the parcels meeting LC 15.055 shall be considered as having legal access for the purpose of development.
- c. 15.135(3) -a lot or parcel shall be considered as having reasonably safe and usable vehicular access for purpose of development if the road providing access to the lot or parcel meets the dedication and improvement requirements of LC 15.055.

#### 7. Lane Manual 15.515 – Drainage

- (i) Roadside ditches and other drainage facilities shall be designed solely to promote drainage of the roadway without interfering with natural waterways. Whenever a road crosses a natural channel or waterway, culverts shall be installed to maintain the natural water flow. Such natural waterway shall be identified by survey of the topography and/or aerial photography of surrounding terrain.
- (ii) Water shall not be diverted from a natural channel or otherwise from private property down a roadside ditch.

The Lane County Maintenance Division and/or Engineering and Construction Services Division Right-of-Way section (ECS) will be reviewing any storm drainage issues separately. Preliminary comments



Gullsettle Ct (PA  
10-5824) - S...

from ECS are attached.

#### 8. Facility Permit Requirements

15.205(1) Facility permits are required when placement of facilities and development within the right-of-way of a County Road, and alteration of such facilities and development shall be authorized only through facility permit issued by the Director.

15.205(3) a facility permit is required for access serving new development if specified as a condition of approval in a land division or other land use decision.

A facility permit is required to review proposed road connection with Oceana Drive or any works within the county right of way. Please contact 541-682-6928 for stormwater management related questions or visit <http://www.lanecounty.org/Roads/ROWPermits.htm> for information about facility permits or associated fees.

Thanks for providing the opportunity to comment on this proposal.

***Shashi Bajracharya, P.E.***

Engineering Analyst  
Transportation Planning Division  
Lane County PWD,  
3040 N Delta Highway  
Eugene, OR 97408  
☎(541) 682-6932  
📠(541) 682-8554

## KENDALL Jerry

---

**From:** LEMHOUSE Brad  
**Sent:** Monday, May 02, 2011 1:54 PM  
**To:** BAJRACHARYA Shashi  
**Cc:** PETSCH John S  
**Subject:** Gullsettle Ct (PA 10-5824) - Subdivision secondary access

Reviewing the plans for the proposed subdivision with one access the extension of Oceana Dr and a second access the extension of Gullsettle Ct, I see potential problems with the Gullsettle Ct access. The submitted site plan has contour lines showing this area as a low spot. Developer will need to obtain a Facility Permit for this access and as part of the application the Developer will need to submit a hydraulic report and drawing(s) showing runoff and a drainage system of these streets and area. Report should also include design parameters, calculations, flow rates, direction of flow, detail drawings, etc. Also as part of the Facility Permit application, for connections at both Oceana Dr and Gullsettle Cr, a street plan and a profile drawing will need to be submitted as well. The plan and profile sheet(s) should also include construction notes and any pertinent detail drawings. Call if you have any questions.

*Brad Lemhouse, P.E.*  
Permit Supervisor  
Lane County Public Works  
(541) 682-6928, FAX (541) 682-8500  
brad.lemhouse@co.lane.or.us

**KENDALL Jerry**

---

**From:** KENDALL Jerry  
**Sent:** Friday, April 29, 2011 8:37 AM  
**To:** BAJRACHARYA Shashi  
**Subject:** RE: Idlewood

The city's comments are due on May 2.

Jerry Kendall/Associate Planner/Lane County Oregon  
PSB/LMD  
125 E. 8th Ave.  
Eugene, Or. 97401  
ph: 541-682-4057  
FAX: 541-682-3947  
Jerry.Kendall@co.lane.or.us

---

**From:** BAJRACHARYA Shashi  
**Sent:** Thursday, April 28, 2011 3:06 PM  
**To:** KENDALL Jerry  
**Subject:** RE: Idlewood

You will receive TP comments for the variance request today. I am working on subdivision comments. Have you heard from the City of Florence? I will need to review their comments regarding roadway design standards. Thanks,

*Shashi Bajra*

☎(541) 682-6932

---

**From:** KENDALL Jerry  
**Sent:** Monday, April 25, 2011 8:44 AM  
**To:** BAJRACHARYA Shashi  
**Subject:** RE: Idlewood

FYI, I will also fax you the reply from the RFPD.

Jerry Kendall/Associate Planner/Lane County Oregon  
PSB/LMD  
125 E. 8th Ave.  
Eugene, Or. 97401  
ph: 541-682-4057  
FAX: 541-682-3947  
Jerry.Kendall@co.lane.or.us

---

**From:** BAJRACHARYA Shashi  
**Sent:** Monday, April 25, 2011 8:15 AM  
**To:** KENDALL Jerry  
**Subject:** RE: Idlewood

Jerry,

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*(up only)*

**KENDALL Jerry**

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**From:** KENDALL Jerry  
**Sent:** Friday, April 29, 2011 8:29 AM  
**To:** BAJRACHARYA Shashi  
**Subject:** FW: Re: Idlewood Subdivision proposal

FYI.

Jerry Kendall/Associate Planner/Lane County Oregon  
PSB/LMD  
125 E. 8th Ave.  
Eugene, Or. 97401  
ph: 541-682-4057  
FAX: 541-682-3947  
Jerry.Kendall@co.lane.or.us

---

**From:** WRIGHT Deanna  
**Sent:** Wednesday, April 27, 2011 9:54 AM  
**To:** KENDALL Jerry  
**Subject:** Re: Idlewood Subdivision proposal

Response from Lane County Land Management Division Floodplain Managers for criteria LC 13.050(9):

The property is not mapped as a "flood hazard area" as identified in the adopted Flood Insurance Rate Maps. However, a portion of the land of this proposal may be subject to flooding during heavy coastal rain events as shown in photographs from Idylewood & Idylewood 2<sup>nd</sup> Addition taken in 1996 and information from the CRMP. Therefore, this proposal is a concern to the floodplain managers in Lane County Land Management Division.

The applicant's response stated that in a 1996 storm that periods of high groundwater inundation occurred at elevation of 85'-86' MSL at the intersection of Oceana Dr. and Sandrift St. This intersection is about 100' west of the western property line of this proposed subdivision. The elevations of the proposed subdivision range from 75' to 150' MSL.

Most of the subject property is shown to contain "*possible standing water in winter*" as indicated in the Coastal Resources Management Plan (CRMP) in attachment "A". Staff believes this is in relation to its proximity to the South Heceta Junction Seasonal Lakes (CRMP Management Unit No 51) contained upon the Prime Wildlife District. The PW description explains that this is an area which floods during the winter. Staff understands that no development is proposed within the PW district, however has concerns given periods of high water nearby coupled with finding of possible water in winter and the amount of excavation occurring for the subdivision.

Therefore, to satisfy the criteria above, staff is requesting special consideration and condition of approval consisting of a detailed report by a professional engineer stating the nature and extent of any potential flood hazard along with the engineers' recommended means of protecting life and property from the potential hazard commensurate with the degree of hazard. This report shall be supported by technical data. If the report concludes the hazard is permanent it shall be shown on the plat, or if the hazard is considered temporary it shall be recorded by the subdivider along with the recording of the plat.

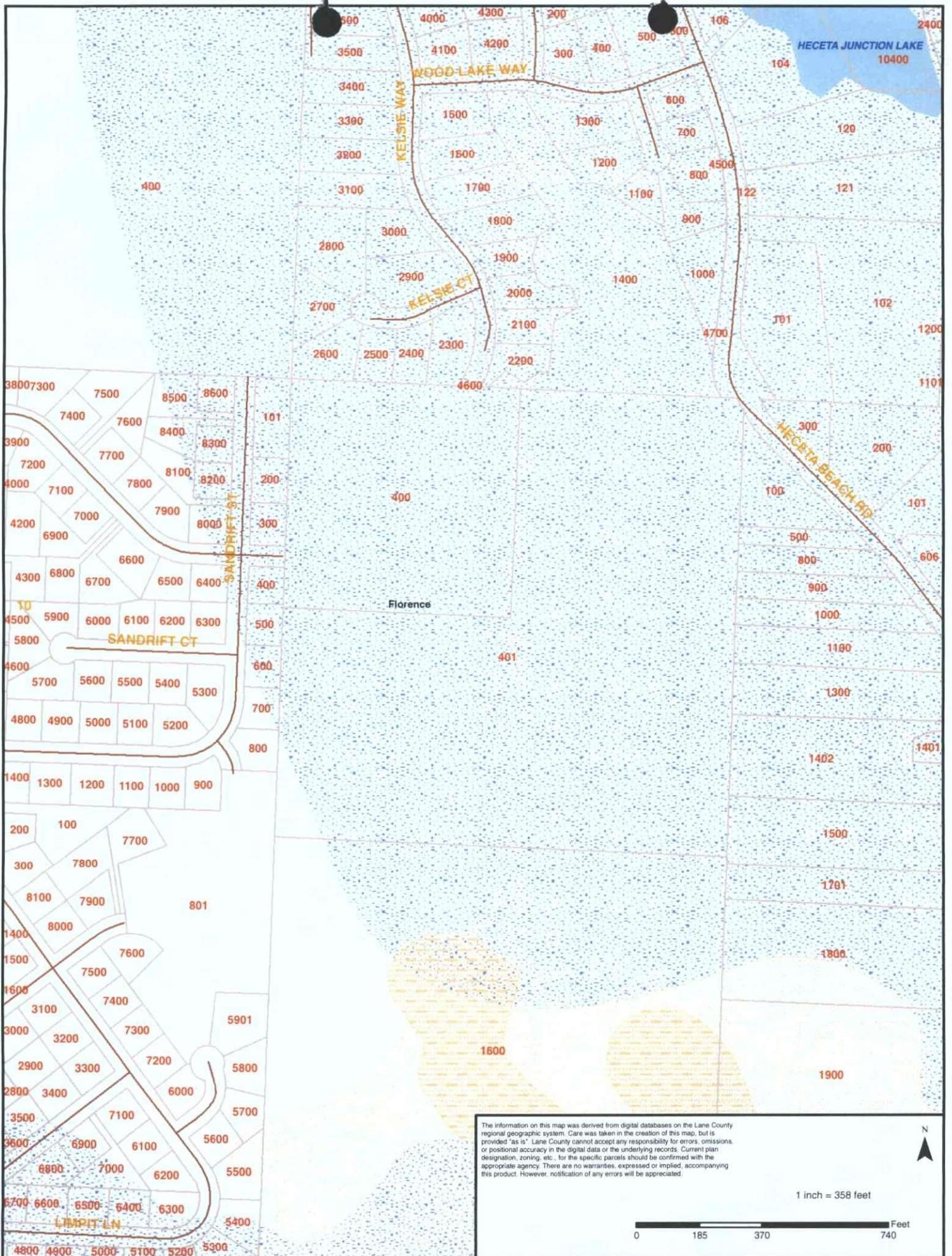
Additionally, if the report finds that the area is susceptible to inundation of water from any source (see floodplain definition) then the applicant shall request the flood hazard area be adopted by a Board Order pursuant to LC 10.271-15(3) **prior to** any development or grading/excavation on the property. This report shall include a floodplain study to determine the 100-year flood boundary with

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the Base Flood Elevations determined to meet the Subdivision requirements in Table 1 of LC 10.271.

Sincerely,

*Deanna Wright, CFM, Planner  
Land Management Division  
Phone: (541) 682-4082  
Fax: (541) 682-3947  
Deanna.Wright@co.lane.or.us*



The information on this map was derived from digital databases on the Lane County regional geographic system. Care was taken in the creation of this map, but is provided 'as is'. Lane County cannot accept any responsibility for errors, omissions, or positional accuracy in the digital data or the underlying records. Current plan designation, zoning, etc. for the specific parcels should be confirmed with the appropriate agency. There are no warranties, expressed or implied, accompanying this product. However, notification of any errors will be appreciated.



1 inch = 358 feet



**KENDALL Jerry**

---

**From:** BAJRACHARYA Shashi  
**Sent:** Thursday, April 28, 2011 3:06 PM  
**To:** KENDALL Jerry  
**Subject:** RE: Idlewood

You will receive TP comments for the variance request today. I am working on subdivision comments. Have you heard from the City of Florence? I will need to review their comments regarding roadway design standards. Thanks,

*Shashi Bajra*

☎(541) 682-6932

---

**From:** KENDALL Jerry  
**Sent:** Monday, April 25, 2011 8:44 AM  
**To:** BAJRACHARYA Shashi  
**Subject:** RE: Idlewood

FYI, I will also fax you the reply from the RFPD.

Jerry Kendall/Associate Planner/Lane County Oregon  
PSB/LMD  
125 E. 8th Ave.  
Eugene, Or. 97401  
ph: 541-682-4057  
FAX: 541-682-3947  
Jerry.Kendall@co.lane.or.us

---

**From:** BAJRACHARYA Shashi  
**Sent:** Monday, April 25, 2011 8:15 AM  
**To:** KENDALL Jerry  
**Subject:** RE: Idlewood

Jerry,  
Only five pages of eight sent received. Please send the last three pages again. Thanks,

*Shashi Bajra*

☎(541) 682-6932

---

**From:** KENDALL Jerry  
**Sent:** Friday, April 22, 2011 4:25 PM  
**To:** BAJRACHARYA Shashi  
**Subject:** RE: Idlewood

S: I got paged. Sending it now.

Jerry Kendall/Associate Planner/Lane County Oregon  
PSB/LMD  
125 E. 8th Ave.  
Eugene, Or. 97401

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REC'D APR 26 2011

April 21, 2011

Jerry Kendall, Associate Planner

Lane County Land Management Division

Public Service Building

125 E 8<sup>th</sup> Ave

Eugene, OR

DAVID CAMPBELL

4985 GULLSETTLE COURT

FLORENCE, OR 97439

davendibell@oregonfast.net

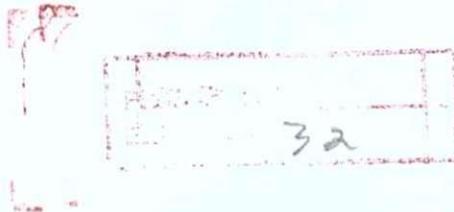
CONCERNS RE: NEW DEVELOPMENT PROPOSED BY BENEDICK HOLDINGS, IDYLEWOOD

FOURTH ADDITION .

1. 2007 BENEDICK COMPLETED A GRAVITY FLOW FLOOD CONTROL SYSTEM THAT LANE COUNTY WOULD MAINTAIN AFTER ONE YEAR, PROVIDED IT MET LANE COUNTY REQUIREMENTS.
2. 2011 BENEDICK HAS NOT MET THOSE REQUIREMENTS, FOUR YEARS AFTER COMPLETION.
3. IT TOOK 13 MONTHS TO GET BENEDICK TO CLEAN UP AFTER COMPLETION OF THE GRAVITY FLOW SYSTEM WAS COMPLETED. WITHOUT THE HELP OF BILL FLEENOR , THE CLEANUP WOULD NEVER HAVE HAPPENED.
4. WE STILL HAVE DRAINAGE PROBLEMS IN IDYLEWOOD – STANDING WATER ON SANDRIFT AND OCEANA STREETS.
5. OCEANA DRIVE IS THE PROPOSED STREET FOR A NEW SEWER LINE – THIS IS A NARROW STREET THAT WILL DISRUPT THOSE THAT LIVE AND USE THAT STREET – WHY NOT COME IN FROM OAK STREET OR HWY 101, THEY ARE BOTH CLOSE TO THE FOURTH PHASE.
6. THE NEW HOMES AND PAVEMENT WILL CREATE A SERIOUS WATER PROBLEM FOR GULL SETTLE COURT AND SANDRIFT STREET – THE RUN OFF WATER WILL BE BAD NEWS.
7. 1996 THE WATER LEVEL CAME UP TO MY GARAGE DOOR , AND FLOOD WATERS COVERED ALMOST EVERY BACK YARD. (NOT LOOKING FORWARD TO MORE OF THIS)
8. I HAVE WALKED THE ENTIRE AREA THAT THE PROJECT COVERS. I HAVE SEEN A SURVEYER DRAG A KYAK BEHIND HIM IN ORDER TO SURVEY THE WET LANDS.
9. IT HAS BEEN MY EXPERIENCE, WITH BENEDICK, NOT TO TRUST HIM, LIKE I SAID ,IT TOOK ONE YEAR ,ONE MONTH JUST TO GET HIM TO CLEAN UP HIS MESS ON GULLSETTLE COURT AND CLOUDCROFT STREET AFTER THE GRAVITY FLOW FLOOD CONTROL PROJECT.
10. I WOULD SUGGEST THAT THE COUNTY HAVE A TOWNHALL MEETING WITH THE RESIDENTS OF IDYLEWOOD, TO EXPLAIN HOW EVERYONE WILL BE AFFECTED BY THIS PROPOSAL .
11. DON'T FORGET THE WETLANDS.
12. UNTILL BENEDICK COMPLETS THE GRAVITY FLOW FLOOD CONTROL SYSTEM, THIS DEVELOPMENT SHOULD NOT BE CONSIDERED BY THRE COUNTY.
13. I HAVE DOCUMENTATION AND PHOTOS REGARDING THE FLOODING AND OTHER PROBLEMS WITH IDYLEWOOD

THANK YOU,

*David Campbell*



**KENDALL Jerry**

**From:** Charles King [kingcm@oregonfast.net]  
**Sent:** Thursday, April 21, 2011 4:40 PM  
**To:** KENDALL Jerry  
**Subject:** Idylwood Subdivision Water Concerns  
**Attachments:** Idylwood Expansion 2006.pdf

Dear Mr. Kendall,

Thank you for being willing to consider additional information that concerns us about the water issues that are involved in the development of a new phase of the Idylwood subdivision in the Florence area. This project is being processed under PA 10-5821.

We were advised at the time of purchase of our property that one was not to disrupt the areas within 50 feet of wetlands, nor within 10 feet of individual lot lines, because of dunal considerations and restrictions.

We own two lots in the Heceta South subdivision that are immediately north of the proposed lots 9 & 10 in the new Idylwood subdivision. Because of the proximity of our lots, they have a common lot line of nearly 300 feet, we have paid particular attention to the water situation in the Idylwood property. The area between our lots and the intended extension of Oceana to the south has at least 4 wetland areas. These areas were documented to the City of Florence during their consideration of this area in 2006. A PDF file of our concerns is attached.

The photo shown below was taken Sunday (April 17, 2011) from the edge of our property. Although the water level in the winter of 1996-97 was 10 of 12 inches higher than in this photo, the present water level covers an area up to 40 feet at the widest and it is some 200 feet long. It is certainly likely to occupy much of lots 10 and 11 of the Idylwood expansion project, where it is actually located. (I believe that the preliminary plans distributed by the county are probably inaccurate)



Apart from the potential for loss of wetlands, the spacial distortion of the use of the land to accommodate the presence of the wetland areas

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and the increased probability that runoff from the development of the land will lead to increased surface water are all factors that represent potential problems.

Again, thank you for your consideration of these aspects of this project. I would be most happy to provide additional information, if you think that it would be of use in evaluating the proposed development.

Charles M. King  
5009 Kelsie Court  
Florence, OR 97439

541 902-0469  
[kingcm@oregonfast.net](mailto:kingcm@oregonfast.net)

FROM:

Charles M. King  
5009 Kelsie Court  
Florence, OR 97439

Phone: 541.902.0469  
Email: [kingcm@oregonfast.net](mailto:kingcm@oregonfast.net)

TO:

Linda Sarnoff, AICP  
Community Services Director  
Florence City Hall

SUBJECT:

Idylwood Expansion: Wetlands considerations

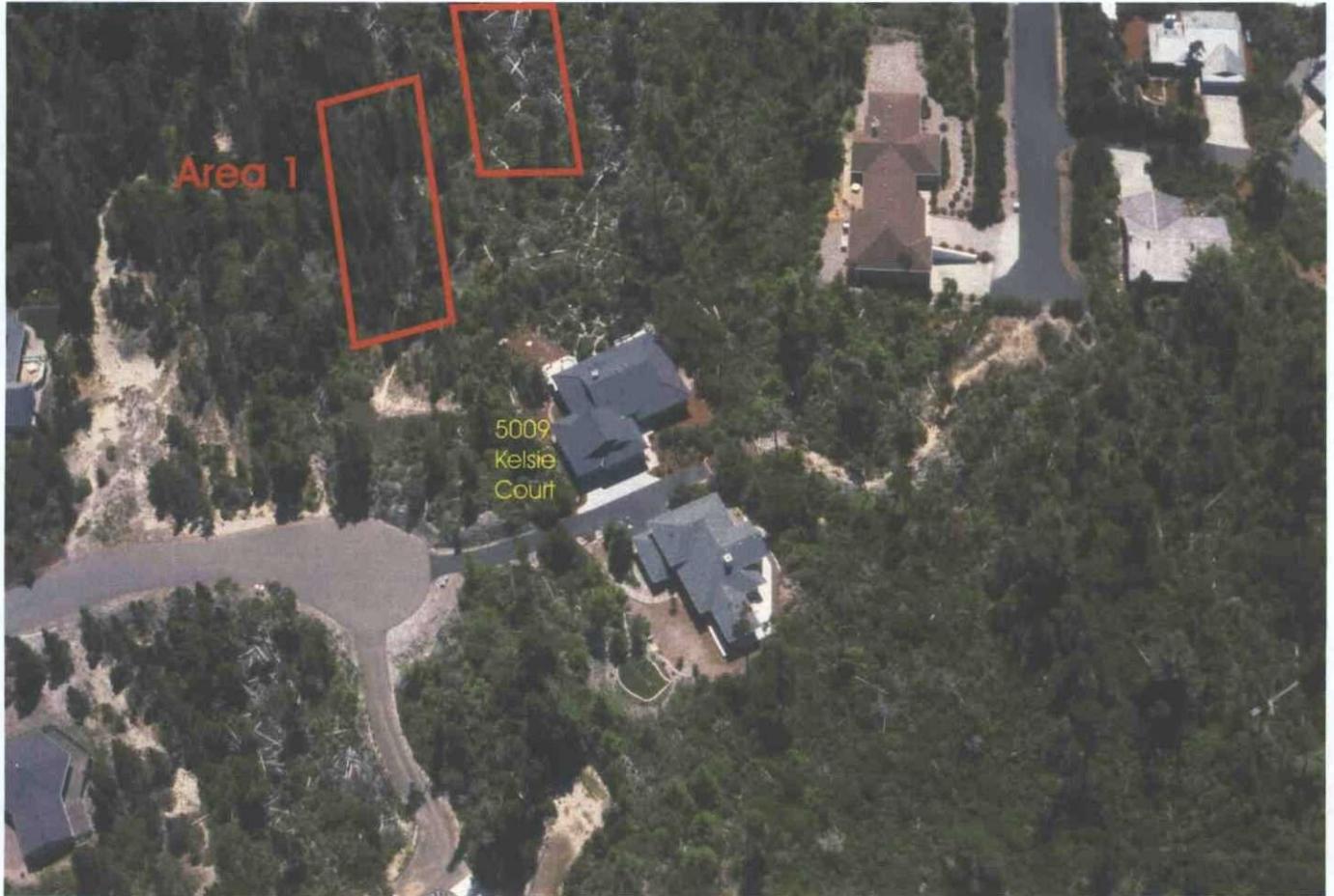
## Idylwood Expansion: Phase V

The intention of the developer of the Idylwood subdivision to expand to an area south of Heceta South raises concern for the wetlands present in this area. Maps shown at the Florence City Hall some years ago did not identify areas known to me to be wetlands.

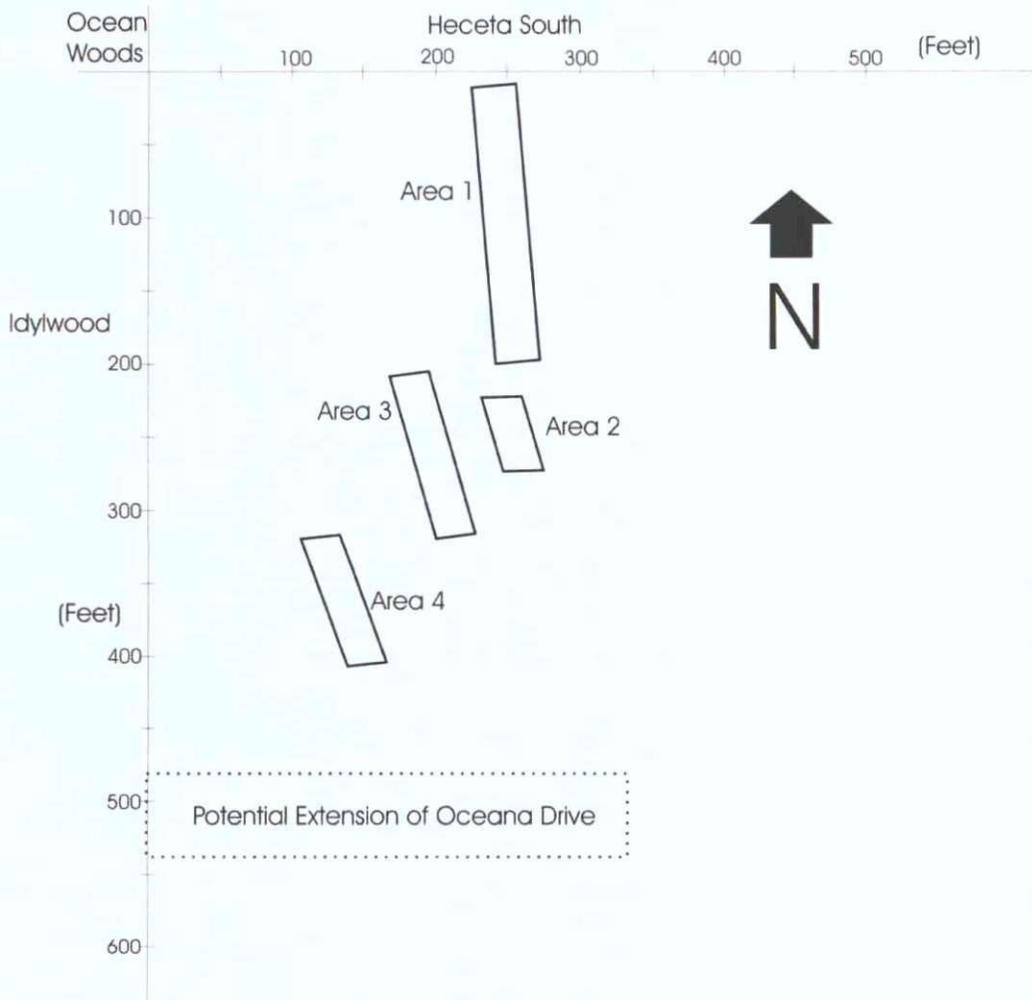
My residence is at 5009 Kelsie Court; 80 feet of our lot borders the Ocean Woods area to the west and approximately 290 feet the land in question to the south. Since moving into our home in 1996, we have observed the frequent flooding south of our lot. At times the water has actually come on our lot. The depth has been estimated to be as much as 4 to 5 feet with a length of approximately 200 feet and widths up to 30 to 50 feet. Subsequently, this area will be referred to as Area 1. The photo of Area 1 shown below was taken on February 8, 2006. It was taken looking to the southeast, essentially from our south lot line.



Aerial photographs taken in the summer of 1998 had suggested that other areas of wetlands were present to the south and west of Area 1. One such photograph is shown below:



Access to these areas was not realistic until the recent removal of extensive vegetation. Following the rains this winter the areas with possible wetlands were explored. In addition to one area (Area 2) just south of Area 1 that was accessible during the summer, two additional areas (Areas 3 & 4) have now been identified. For orientation purposes, the approximate locations of Areas 1, 2, 3 & 4 are shown in the drawing below. The sizes of these areas are very rough estimates, since it was not possible to easily measure them. Viewing their relationships to various homes on the ground and from aerial and satellite photos established their approximate locations. The presence of other wetlands in this area cannot be precluded from our observations.



For comparison purposes, in a photo taken by satellite you can see areas of disturbances that correlate with the areas indicated above.



Photos of these areas are shown below. The first is looking to the north from the south end of Area 1. It was taken from the rough road scraped out during the removal of vegetation.



Area 2, shown below, is only some 15 to 20 feet south of Area 1, and slightly to the west. Although the extent of the water coverage could not be estimated, as judged by the area during dry seasons it would seem to be as wide as 30 feet and up to 50 to 60 feet long. This photo was taken looking to the south.



In the next photo you can see the relative positions of Areas 1 & 2. Separated by the rough road produced during the vegetation removal. This was taken looking east, with Area 1 on the left; Area 2 is on the right.



Area 3 is west of Area 2. A ridge of perhaps 10 to 12 feet in height separates the two areas. Although the size of Area 3 was difficult to establish on the ground, the aerial and satellite photos suggest that it might be as wide as 20 feet and 100 feet long. The logs seen in the water of this photo are probably some of those seen in the photos taken from the air. This photo was taken looking to the southeast. The north/south position of this area was evaluated by visual inspection of Idylwood homes on the ground and from the aerial/satellite photos.



Area 4 is to the southwest of Area 3. Again, it is separated by a ridge. This ridge is shown in the next photo. The photo looks to the north; Area 3 is out of sight to the right and Area 4 is out of sight to the left. Importantly, the "rooster tail" from our home above the vegetation about 1/7<sup>th</sup> from the left. Thus, the aerial photo shown above can be used to locate the east/west position of Areas 3 & 4.



As indicated, Area 4 is southwest of Area 3. The south end of Area 4, shown below, would be approximately 75 to 100 north of Oceana Drive, should the street be extended to the east. The southern most tip of Area 4 is about 120 to 150 feet east of the current Idylwood boundary. The next photo looks north from the south end of Area 4. Although the north end of Area 4 was not explored, the area may be as large as 20 feet wide and 50 to 60 feet long. You can see the ridge rising from the right side of Area 4, which leads to Area 3.



A better view of Area 4 is shown below.



We did not evaluate the possibility of additional wetlands south or east of those described above. It is likely, as judged by satellite photos shown at the recent Annexation Meeting by the City of Florence, that there are extensive wetlands in the lowlands to the southeast of the areas that we have studied. In addition, the area east of the highlands is likely to contain wetlands as a consequence of proximity to the better-known seasonal lakes.

Charles M. King  
5009 Kelsie Court  
Florence, OR

Phone: 541.902.0469  
Email: [kingcm@oregonfast.net](mailto:kingcm@oregonfast.net)

## KENDALL Jerry

---

**From:** Paul M. Wilson [pmwilson@oregonfast.net]  
**Sent:** Thursday, April 21, 2011 3:22 PM  
**To:** KENDALL Jerry  
**Cc:** Charles M. King  
**Subject:** Idylewood Subdivision Water Concerns

Dear Mr. Kendall,

I just received a report on the Idylewood Subdivision Water Concerns that was sent to you by Charles M. King. I completely concur with his report. The person with the blue coat in the photos Charles took in 2008 was me. I am also the person you talked with last Monday, April 18, 2011, when you were trying to determine where you were located on the map of the proposed Idylewood new development. You and your two co-workers probably saw what the photos showed when you walked back into that area. I don't think much has changed, as far as the wetlands go, over the past years in that area. The more rain we get the deeper and bigger the wetlands get!

Feel free to contact me if you might have any more questions.

Paul M. Wilson  
87849 Sandrift Street  
Florence, Oregon 97439  
541.902.9780

30

4-20-11

Date: 4/19/2011

From: Rickey L Hill SR  
87915 WOOD LAKE WAY SO  
FLORENCE, ORG 97439

Regarding Department File: PA 10-5821/Subdivision (Benedick Holdings LLC.) Staff: Jerry Kendall

Comments:

AS A RESIDENT OF HERCULEA  
SOUTH ASSOCIATION I AM MOSTLY  
CONCERNED ABOUT THE (WET LANDS)  
THE (LAKE AREA) AND (ENTRANCES)  
TO & FROM THIS PIECE OF LAND  
THERE HAS BEEN WORD THAT  
BENEDICK, CITY, & COUNTY WOULD  
LIKE TO HOOK-UP TO KIELSY WAY  
AND TAKE TRAFFIC IN & OUT OF  
OUR ASSOCIATION TO HERCULEA BEACH  
ROAD. WE DO NOT OWN OUR ROADS,  
BUT ARE FORCED TO MAINTAIN THEM  
UP-KEEP & QUALITY. WE FEEL THIS  
IS MORE A COMMENT OF CITY & COUNTY  
TRYING TO NOSE IN ON A MONKEY GRAB  
SITUATION NO MATTER WHAT THE

Return to: Jerry Kendall, Associate Planner

Lane County Land Management Division  
Public Service Building  
125 E. 8<sup>th</sup> Avenue  
Eugene, OR 97401

CONDITIONS  
PLEASE CONSIDER  
MANY ASPECTS OF  
THIS WE ASK..  
IF POSSIBLE WE WOULD  
LIKE TO HAVE YOU AT ONE  
OF OUR ASSOCIATIONS MEET-  
INGS SOON.. UR-HILL

29-20

**KENDALL Jerry**

---

**From:** KENDALL Jerry  
**Sent:** Tuesday, April 19, 2011 11:11 AM  
**To:** LEHMAN Mary (SMTP)  
**Subject:** RE: Concerns/Comments PA 10-5821 and PA 10-5824

Ms. Lehman:

The attachments printed just fine.

I will be reading all of the submitted comments before making a decision on these applications, especially as those comments pertain to the approval standards. However, the process does not entail a back and forth between staff and the person submitting comments as to what matters are "prohibited" and those that are considered.

That being said if I do need clarification on comments made, I may contact the author for clarification.

Thank you for your submittals.

Jerry Kendall/Associate Planner/Lane County Oregon  
PSB/LMD  
125 E. 8th Ave.  
Eugene, Or. 97401  
ph: 541-682-4057  
FAX: 541-682-3947  
Jerry.Kendall@co.lane.or.us

---

**From:** Mary Lehman [mailto:marylehman@oregonfast.net]  
**Sent:** Tuesday, April 19, 2011 9:50 AM  
**To:** KENDALL Jerry  
**Subject:** Concerns/Comments PA 10-5821 and PA 10-5824

Jerry Kendall,

Attached are responses to the "Referral Notice and Opportunity to Comment on a Land Use Application for a Development Proposal."

I have attached two documents: a response to the Preliminary Subdivision (PA 10-5821) and another relating to the Variance (PA 10-5824).

If you are not able to open these documents or if there are other matters that prohibit these being considered in making the decision, please notify me so I can adjust as required.

Thank you very much.

Mary Lehman  
Florence Oregon

04/19/2011

28

**KENDALL Jerry**

---

**From:** Mary Lehman [marylehman@oregonfast.net]  
**Sent:** Tuesday, April 19, 2011 9:50 AM  
**To:** KENDALL Jerry  
**Subject:** Concerns/Comments PA 10-5821 and PA 10-5824  
**Attachments:** Lane Co- Benedict Subdivision.doc; Lane Co-Benedick Variance.doc

Jerry Kendall,

Attached are responses to the "Referral Notice and Opportunity to Comment on a Land Use Application for a Development Proposal."

I have attached two documents: a response to the Preliminary Subdivision (PA 10-5821) and another relating to the Variance (PA 10-5824).

If you are not able to open these documents or if there are other matters that prohibit these being considered in making the decision, please notify me so I can adjust as required.

Thank you very much.

Mary Lehman  
Florence Oregon

07-4A

**Date:** April 19, 2011

**From:** Mary H. Lehman  
87649 Woodmere E  
Florence, Oregon 97439

**Regarding Department File:** PA 10-5821/Subdivision (Benedick Holdings LLC) Staff: **Jerry Kendall**

**Comments:** In regard to **Lane Code 10.135, Suburban Residential (RA) Zone**, I believe I can expect that this subdivision will adhere to the Setback Requirements (**10-135-23**) where front yard will be at least 15' deep and the side yards will have a minimum of 5'. I expect that in compliance with the Lane County Code, the Lot Coverage (**10.135-26**) will be in compliance with the requirement that the main building and accessory buildings not cover more than 30% of the lot area. I expect the Vision Clearance (**10-135-28**) will be met. From the materials I was sent, this is not immediately apparent.

In regard to **Lane Code 10.122, the Interim Urbanizing Combining District**: how does **10.122.30** relate to this project? The Code states that "land within the Florence UGB that is within the North Florence Dunal Aquifer boundary, as designated by the U.S. Environmental Protection Agency in September, 1987, no land divisions shall be allowed prior to annexation to the City." This subdivision surely is within the North Florence Dunal Aquifer boundary since there is a water quality monitoring site on the property. Are these planned lots land divisions?

*→ WA, as 1988 Plan applies*

The **Beaches and Dunes Combining District** is dealt with in **Lane Code 10.270**. I want it to be known that I expect adherence to the provisions of **10.270-35** Additional Site and Development Requirements. (1) Development shall not result in the clearance of natural vegetation in excess of that which is necessary for the structures, required access, fire safety requirements and the required septic and sewage disposal system.

(2) Vegetation-free areas which are suitable for development shall be used instead of sites which must be artificially cleared.

(3) Areas cleared of vegetation during construction in excess of those indicated in **LC 10.270-35** (1) above shall be replanted within nine months of the termination of major construction activity.

(4) Sand stabilization shall be required during all phases of construction and post-construction as specified by standards set forth in the Lane Manual.

(5) Development shall result in the least topographic modification of the site as is possible.

(6) Slopes in excess of 25 percent shall be prohibited from development.

(7) Significant structural loads or structural fills to be placed on dune areas where, based on the Development Hazards Checklist, compressible subsurface areas are suspected, shall be allowed only after a thorough foundation check and positive findings are reported.

As an adjoining resident to this new subdivision, adherence to the above standards are critical.

Finally, **Lane Code 13.050** brings to light several areas of concern:

**LC 13.050 (3)** refers to the relationship of the new roads to the Adjoining Road System. In the new subdivision, it seems that Cloudcroft Lane, a part of the previous phase of the Idylewood Subdivision, comes to an abrupt end. Another road, a new one, comes within the vicinity, but does not join Cloudcroft Lane. This results in a disjointedness which this provision was intended to avoid. It does not seem that a topographical condition is the guiding force in this particular situation. There are other areas in the development where the terrain is a major factor, but not at the end of Cloudcroft Lane.

**Lane Code 13.050 (7)** addresses Utility and Watercourse Easements. Presently there is an abundance of water surrounding this phase of development. One wonders where the water is going to go once the pavement is put down. Heceta Beach Road presently has full drainage ditches in spite of the work done a few years ago to solve flooding on that road. This development will only raise the water table and bring on more high waters. I urge the County to review the long term consequences of this development.

**LC 13.050 (9)** is about Dangerous Areas. Considering that this subdivision is in sand dunes, erosion is of concern. Code indicates that "Areas of erosion or potential erosion shall be protected from loss of soil and vegetative cover by appropriate means which are compatible with the environmental character, such as restricting grading or building or constructing erosion control devices.... Areas of unstable surface or subsurface conditions shall be protected from movement by appropriate means which are compatible with environmental character, such as restricting grading or building or constructing suitable structures.... The County may require that special development recommendations and/or restrictions as to location of building or other development be made a matter of public record when it is deemed necessary to ensure proper disposition of the dangerous area." These Code requirements must be met to avoid catastrophe in this sand dune area.

**LC 13.050 (10)** continues with the matters of Grading, Excavation and Clearing. These are important considerations: "Grading and clearing of any portion of a division by mechanical equipment for road and/or development purposes may be restricted or regulated either at the time of tentative plan approval or final approval if there is a finding that such grading or clearing presents a real threat of pollution, contamination, silting of water bodies or water supplies, **erosion and slide damage**, or alteration of natural drainage patterns in the area. In all cases, excessive grading, excavation and clearing shall be avoided when detrimental to **soil stability and erosion control**. The character of soils for fills and the characteristics of parcels or lots made usable by means of fill shall be suitable for the intended purpose. Grading, clearing and excavation shall comply with the applicable property development standards and site development requirements of LC Chapters 10 and 16." I addressed some Chapter 10 matters above.

I know that although the submitted plan appears very orderly, the terrain of this planned development has dramatic changes in topography. Some of those areas are in the southern section where the new development connects to residences in the previous phase of the Idylewood Subdivision. Special concerns are erosion of unstable soils.

**In summary**, I appreciate that Lane County Land Management will consider the consequences of this latest addition to the Idylewood Subdivision and will look to the Lane Code in deciding the appropriateness of this development as it is presented to us at this time. Special concerns relate, but are not exclusive, to erosion from unstable soils, limited entrance/exit provisions and impact on an already high water table.

Thank you for your consideration of these matters.

**KENDALL Jerry**

---

**From:** Bill Durst [wildur@oregonfast.net]  
**Sent:** Monday, April 18, 2011 5:37 PM  
**To:** KENDALL Jerry  
**Subject:** PA10-5821 & PA10-5824  
**Attachments:** LC-variance.doc; LC-subdivision.doc

Comment on the subject planning actions are attached. Thank you for the opportunity.  
Bill Durst

26-20-

Date: 17 April 2011

From: William Durst  
87649 Woodmere E  
Florence OR 97439  
Lot 131 Idylewood Subdivision

Regarding Department File: PA 10-5821/Subdivision (Benedick Holdings LLC,) Staff: Jerry Kendall

Comments:

Comments provided are identified with specific reference to sections of Lane Code 13.050 but it is noted that there is clear inter-relationship between the factors involved.

Utility and Watercourse Easements.

It is not clear from the information I have whether this subdivision plan meets the requirements of Lane Code 10.270 because the proposed lot sizes seem to preclude the individual lot green belt requirements applicable to other phases of the Idylewood subdivision. It would be counter-productive to eliminate that requirement. The Idylewood Fourth Addition has a large area of designated wetland which would seem to indicate desirability of green belt retention for reasons of absorbency and erosion control. Of concern too is the storm water issue. It is not unreasonable to assume that upon "build out" up to 70 percent of the land area in the parcel will be covered by roof tops (dwelling and garage) and pavement. Given a fairly normal yearly rainfall of seventy inches this constitutes a massive amount of water diverted into the storm drainage system. This raises the question of: (1) the adequacy of the proposed system and; (2) at what point in land use planning does it become necessary to consider the serious reduction in aquifer replenishment resource that this represents.

Grading, Excavation and Clearing. & Dangerous areas

The steep slope topography of the southernmost part of the plan (as evidenced in the contorted lot configurations) raises real concerns about soil stability and the possible need for engineered retaining walls not only for the safety and protection of the prospective new dwellings but the existing adjacent ones. Given the paucity of useable common area proposed in this planned high density, family oriented subdivision, it might be desirable to require that the most dangerous parts of this area be set aside as family useable common area.

Lane County Land Management Division  
Public Service Building  
125 E. 8<sup>th</sup> Avenue  
Eugene, Oregon  
97401  
Att. Jerry Kendall

April 17, 2011

Dear Mr. Kendall

Re: Benedict Holdings

Confirming our telephone conversation concerning your File #  
PA 10-5824.

Enclosed are copies of two maps, Exhibit C, Vicinity Map with  
Property Configuration received from Jeremy Sherer. The survey  
information shown is based on information provided by the  
applicant.

The map enclosed in your referral notice was produced by EGR &  
Associates/Clint Beecroft,

I have added street names in order help you follow my comments.  
Parcel Number 7200 is 87640 Limpit Lane, owned by Alexander  
and Elizabeth Campbell.

Directly behind and elevated approximately 10/12 feet is a parcel  
that has been declared unbuildable by the county prior to 1998.  
There have been two reasons proffered by the Benedict contractor  
of choice, Gary Morris. One being a drain field location, the other  
the amount of fill and stabilization requirements. The unbuildable  
lot also extends to a portion of parcel number 7300 on Limpit Lane

Going back too my second and third paragraph concerning both  
maps.

Please note the street Cloudfcroft Lane. Benedict Holdings and

25  
-15p.

EGR/Beecroft are fully aware of the fact that Cloudcroft Lane extends several hundred feet before the property line of parcel 801. As a matter of fact the information provided indicates that Cloudcroft Lane does not exist beyond the 801 property line. Yes, i do realize it is only a graphical representation.

Several years ago while the housing boom was in its heyday, Julius E. Benedict, E. Justine Benedict, including the survivor of both R.E. Benedict and their contractor Gary Morris encroached on the extension of Cloudcroft Lane.

Complaints were filed, Lane County investigated. I understand Benedict's and their Contractor were fined and forced to return Cloudcroft Lane to its original condition by vegetation.

In addition, a rather high and wide mound of earth, creating a barrier was added, indicating where the County property line ends and the Benedict property line begins.

Your records will show that EGR/Clint Beecroft has been serving the Benedict's for years.

Now we have Benedict Holdings, no doubt newest survivor of Julius E. Benedict and E. Justine Benedict and R.E. Benedict

I refer you to Lane County Land Management Department File # PA 03-5712 (Gary Morris) received in October 2003 from Mr. Thom Lanfear.

Enclosed are copies of my letters of October 29, 2003 and November 3, 2003 to Thom Lanfear. Please refer to the Harry A. Taylor Report page 3 last paragraph, submitted as part of the approval procedure. Did the applicant consult with a qualified geotechnical professional regarding options for the area when the final configuration of the driveway has been determined. Mr. Lanfear never responded. Would appreciate your advice.

My letter of November 3, 2003 refers to having problems with Gary Morris, including his ignoring erosion of two portions of our lot and obtaining a geologist report.

Enclosed is a copy of the geologist report by GeoScience, Inc, CCB # 127073. I mailed the report to Gary Morris the Benedicts contractor of choice and the only general type contractor for our Idylewood development.

Two weeks went by without a response from Gary Morris. Realizing that Garry could care less, i made a copy and tracked him down. When I asked Gary if he received the geologist report, his comment was " What was that all about" I handed the copy and said "read it." Later on, sub contractor John Walker pointed to the rear top of the slope and asked "do you want the top peeled back" I walked away and said do what ever.

Early on Morris and Walker were aware the hill was sliding. At the bottom of the hill in relation to the drainfield there are two or three pipes extended above ground. I asked John Walker where I could find a cap due to the fact that the sand was sliding and would eventually clog the piping ,Mr. Walker provided and installed the caps. The piping is no longer visible.

Originally we were forced to install five 4x11 cottage blocks the entire length of our property bordering on parcel 801. The area of concern now has nine blocks, several more will have to be added We have noted a root approximately three inches in diameter protruding from a tree on Parcel 801. This root and others from the same tree could possibility extending to our drainfield.

When we moved in June 1999 we were advised to water the entire the entire hill behind our house to facilitate growth of root mat, which we did.

Later we planted the area of concern and added a drip system in an

attempt to prevent the sand from sliding.

Please consider the amount of work that could affect the stability of our slope. The heavy equipment, the truck loads of sand and other material required for fill and stabilization.

We would appreciate your advising when the county inspection team will be on site.

We do not have the NIMBY concerns that some of our neighbors in the older Benedict subdivision had.

Yours Truly

A handwritten signature in black ink, appearing to read 'Alex Campbell', written in a cursive style.

Alex Campbell  
541-902-1547

CC County Commissioners

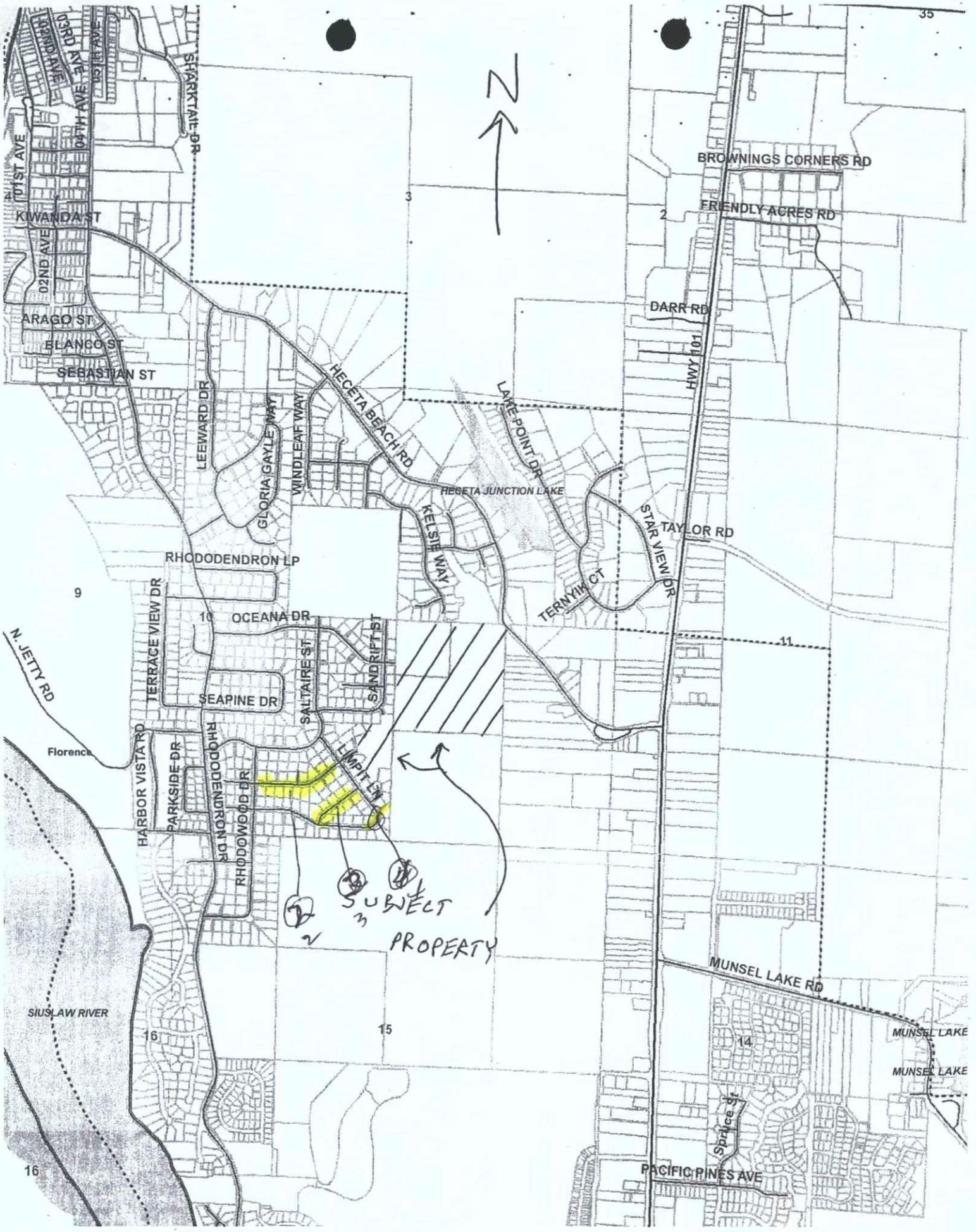
EXHIBIT C

VICINITY MAP WITH  
PROPERTY CONFIGURATION



Note: This is only a graphical representation to aid in locating the approximate location of the subject property(ies). It is not intended to depict the actual location of the boundary nor is it the result of a survey. Information shown is based upon information provided by the Applicant.

- ① Limpit Lane
- ② Cloudcroft
- ③ Woodmere W.
- ④ Woodmere E.



101ST AVE  
 03RD AVE - MAY HLRD  
 02ND AVE  
 KWANDA ST  
 ARAGO ST  
 BLANCO ST  
 SEBASTIAN ST

LEEWARD DR  
 GLORIA GAYLE WAY  
 WINDLEAF WAY  
 HECETA BEACH RD  
 LAKELAND DR  
 HEGETA JUNCTION LAKE  
 KEESH WAY  
 RHODODENDRON LP  
 OCEANA DR  
 SEAPINE DR  
 SALTARE ST  
 SANDRIFT ST  
 LIMPET ST

N JETTY RD  
 Harbor Vista Dr  
 PARKSIDE DR  
 RHODODENDRON DR  
 RHODOWOOD DR  
 SIUSLAW RIVER  
 Florence

BROWNING'S CORNERS RD  
 FRIENDLY ACRES RD  
 DARR RD  
 HWY #101  
 STAR TAYLOR RD  
 TERNYK CT  
 MUNSEL LAKE RD  
 MUNSEL LAKE  
 MUNSEL LAKE  
 PACIFIC PINES AVE  
 Spruce St

2  
 3  
 SUBJECT  
 PROPERTY

Lane County Land Management Division  
Public Service Building  
125 east 8<sup>th</sup> Ave, Eugene, Or. 97401  
October 29, 2003  
Re; Dept File No.: PA 03-5712 (Gary Morris)

Dear Mr. Lanfear

It is strange that you show the owner of the property k/a Tax Assessment Map & Tax Lot: 18-12-10-34 #5901 as Gary Morris.

This lot has been sold for months no doubt pending approval of the variance. Contractor Morris has had his subcontractors working for over a year grading and preparing the lot for dwelling construction. He has put in a black top drive to access the property.

It is my understanding that your office originally declined acceptance and at that time the buyers backed out of the agreement. At that time the buyers were told not to worry.

I find it difficult to understand why after selling the lot and expending the funds for grading and preparation a request for a variance is filed at this late date. It does appear that those in control are using this procedure as a rubber stamp.

Land Use Consultant, Harry A Taylor prepared an excellent report, although no guarantees are proffered.

Portions of the geologist report are doubtful and uncertain as to the fulfillment of the conditions that prevail.

Page 3 : 2.6 Storm Water

It APPEARS that most of the site, and some up-slope area, will drain through the site and down the cut for the driveway. ----doubtful, uncertain.!

Page 3: 3 Conclusions

Refer to second paragraph; Regrading of the site MAY direct storm water runoff down the driveway cut. ----doubtful, uncertain.!

Page 3: 4 Recommendations

This paragraph is misleading due to the fact that Exhibit "D" Landscape Plan was not included in my Referral Notice.

Questions; Does the revegetation plan of maintenance plan have to be continued in perpetuity or is there a period of time when natural growth will take over. What is the life expectancy of the disturbed slopes in their present condition.

I am fearful of extended periods of rain that caused severe mud and sand slides along the coast of California, hitting the Oregon coast. You must be aware of the development k/a The Capes not too far up the coast from where we are located.

Page 4: 4.1 Physical Stabilization;

Again we have doubtful and uncertain, did Gary Morris and Gene Benedict consult with a qualified geotechnical professional as recommended by geologist Steven Recca, to determine if the need for physical stabilization such as an engineered retaining wall or engineered fill is required. If they did not comply, why

not.I do not have such an exhibit.Please note Harry Taylor refers to a recommendation that the retaining wall or engineered fill be added.When will it be done and where is the exhibit.

We have had problems with Gary Morris that have not been resolved,the county has had problems with Gary Morris which your department is aware of.

Would appreciate your help.

Alex Campbell  
87640 Limpit Lane  
Florence Or.97439

Lane County Land Management Division  
Public Service Building  
125 East 8<sup>th</sup> Ave Eugene, Or. 97401

November 3, 2003

Re.: Dept File No: PA 03-5712 (Gary Morris)  
Att. Mr. Thom Lanfear

Dear Mr. Lanfear

This is a follow-up to my letter of 10-29-03. Having had several problems with Gary Morris including his ignoring erosion of two portions of our lot. We had obtained a geologist report, rather than go into the report at this time, I will tell you that Gary Morris stated "this hill is not going to slide". It has and still is.

My reason for bringing this up is the Harry A Taylor report. On page 3, the last paragraph refers to the geologist study!!!!!! The last sentence states "THE APPLICANT WILL IMPLEMENT THE GEOLOGIST'S RECOMMENDATIONS AS CONDITIONS OF APPROVAL"

The geologist report stated that, "A qualified geotechnical professional should be consulted regarding options for this area when the final configuration of the driveway has been determined."

My question is did Gary Morris present a geotechnical consultant report, if not why not. As mentioned before I am concerned about the lot behind our house which is lot #129.

Alex Campbell  
87640 Limpet Lane  
Florence, Or. 97439

Gary Morris Construction, Inc.  
90187 Upper North Fork Rd.  
Florence, Or. 97439

Dear Gary

Enclosed herewith is a copy of a geologist report from GeoScience, Inc. which is self explanatory.

We would appreciate your sharing the report with John Walker.

In addition I am compiling a list of construction defects you requested prior to your vacation.

I had business in San Diego, Ca. and have been laid up with the flu.

I await your advice.

Yours Truly

  
Alex Campbell

4-7-00

ability and roof drainage location shown on Fig. 1).  
ations and measurement  
1. The investigation was  
cture and the ponding of

or less north-south. The  
1. Based on observations  
a full bench (all cut) pad.  
ructed on fill. A hairline  
J wall near the northwest  
e excavation of the house  
: edge of the fill is marked  
erosion control fabric. A  
plane, which is expressed  
ie scarp is more than five  
ears to be approximately  
pe.

tempted to determine the  
from a garden hose into  
nd on the east side, do not  
hat these downspouts are  
e.

0 feet high. From the base  
cut bank is at the property

line. The overhanging upper portion of the cut bank is held in partly by roots. A 12-inch pine stump which has been undermined by sloughing of the bank is present at the top of the cut slope. The septic drain line cleanouts are located at the base of the cut slope behind a low "keystone" wall erected by the owners. The cut bank is not vegetated in this vicinity.



April 3, 2000

Mr. Alex Campbell  
87640 Limpit Lane  
Florence OR 97439

RE: SLOPE STABILITY AND ROOF DRAINAGE AT 87640 LIMPIT LANE

Dear Mr. Campbell:

I am writing this letter to report the results of our investigation of slope stability and roof drainage issues at your residence at 87640 Limpit Lane in Florence (approximate location shown on Fig.1). The investigation was conducted on March 17, 2000 and consisted of observations and measurement of fill and cut slopes on the lot and an assessment of downspout function. The investigation was conducted at your request due to concerns regarding the stability of the structure and the ponding of water in a depression created at the north side of the house.

The house is located on the up-slope side of Limpit Lane, which runs more or less north-south. The house pad was created by excavation into a dune stabilized by vegetation. Based on observations of original ground configuration, the house itself appears to be sited on a full bench (all cut) pad. However, the northwest corner of the garage appears to have been constructed on fill. A hairline crack is present in the northwest part of the garage floor and in the CMU wall near the northwest corner of the garage. The fill consists of sand, presumably derived from the excavation of the house pad. The fill extends several feet north of the north wall of the garage. The edge of the fill is marked by a very steep (more than 1 : 1) slope, which has been draped with jute erosion control fabric. A portion of the fill slope has failed by rotational failure along a distinct slip plane, which is expressed by the low scarp in the flat upper surface of the fill. The upper edge of the scarp is more than five feet from the north wall of the garage. The maximum depth of the fill appears to be approximately six feet. A fir tree has been partially buried near the center of the fill slope.

The downspouts are connected to flexible corrugated plastic pipe. It was attempted to determine the discharge points for all the downspouts of the house, by running water from a garden hose into downspouts. Two of the downspouts, in the northeast part of the house and on the east side, do not appear to be discharging at the obvious discharge points. It is likely that these downspouts are discharging to the backyard through leaks or breaks in the corrugated pipe.

The cut slope along the northeast side of the house pad is approximately 10 feet high. From the base of the cut slope to the top, the slope is steeper than 1 : 1. The top of the cut bank is at the property line. The overhanging upper portion of the cut bank is held in partly by roots. A 12-inch pine stump which has been undermined by sloughing of the bank is present at the top of the cut slope. The septic drain line cleanouts are located at the base of the cut slope behind a low "keystone" wall erected by the owners. The cut bank is not vegetated in this vicinity.

Mr. Alex Campbell  
April 3, 2000  
Page 2

To the south, the height of the cut bank diminishes, and the base is located farther west. As a result, the slope of the cut bank decreases southward, and for the southern half, the slope is  $36^\circ$  (approximately 1.4 : 1, H : V). In this vicinity the cut bank supports new vegetation. It appears that the higher cut bank in the northern half of the lot is the result of the location of the septic drain field, which required excavation farther to the east.

The owners report that during precipitation events water ponds in the closed-contour depression created by filling in the northern part of the lot, and in the vicinity of the septic drainfield.

### Recommendations

#### 1: Fill Slope North of Garage

The slope angle of the fill slope should be reduced to an angle stable in sand (no more than 1.4 : 1). This can be achieved either by removal of material at the top of the slope, or by additional filling at the toe of the slope (or a combination thereof). The cracks in the garage do not appear to be the result of slope failure in the fill (the garage is too far removed from the slope), but rather are the result of settling of the sand fill (consolidation). Because the fill consists of sand, it is expected that the settling will cease in the near future, if it has not already stopped.

#### 2: Cut Slope in Northeast Part of Lot

The slope angle of the cut slope in the northeast part of the lot should be reduced to an angle stable in sand (no more than 1.4 : 1). Due to the presence of the drainfield, this requires excavation at the top of the slope. It appears possible to access the top of the slope from the lot above. It may be necessary to obtain a slope easement from the owner of the lot above (currently the developer of the subdivision). The pine stump and other larger root wads should be removed during excavation. The slope should then be vegetated to prevent erosion by running water, which would result in burial of the drainfield line cleanouts (which has already occurred several times).

#### 3: Roof Drainage

The flexible corrugated black pipe should be replaced with rigid pipe with glued joints on all drains. Whereas the current system is cheap (both material and installation), the results are unsatisfactory. The system appears to be watering the septic drainfield, resulting in standing water in that area during precipitation events. This is both an inconvenience and unsanitary. All roof drainage should be continuously piped to the ditch on the up-slope side of Limpit Lane. This recommendation includes those roof drains which are still functioning, as failure of these systems is expected in the near future. As a result, two lines may be required in the front yard, on either side of the driveway. The pipes should be buried a minimum of 12 inches.

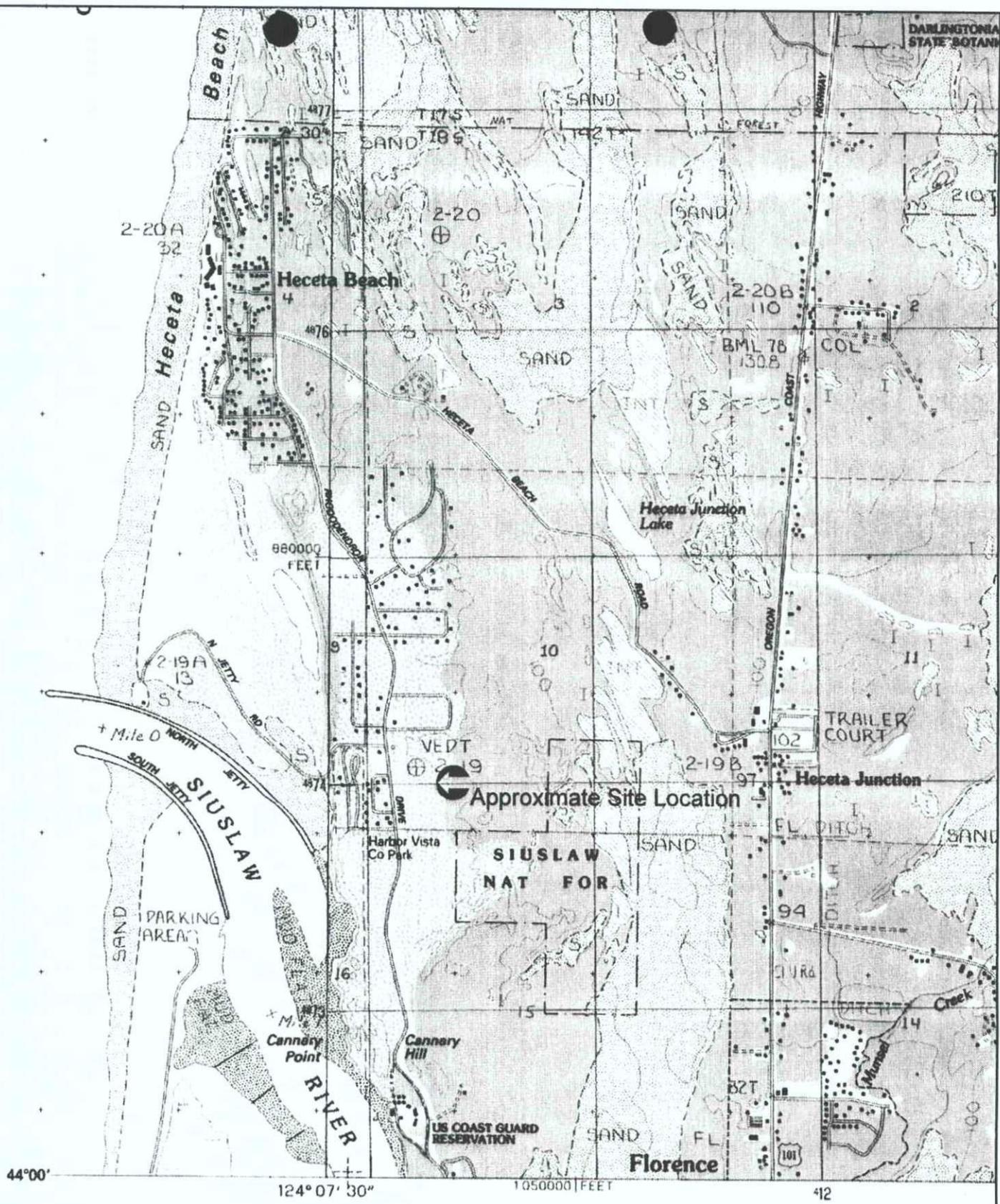
Mr. Alex Campbell  
April 3, 2000  
Page 3

If you have any questions about this matter please do not hesitate to contact me at (541) 607-5700.

Sincerely,  
GeoScience, Inc.

*Gunnar Schlieder*  
Gunnar Schlieder, Ph.D., CEG  
att.





44°00' 124°07' 30" 1050000 FEET 42

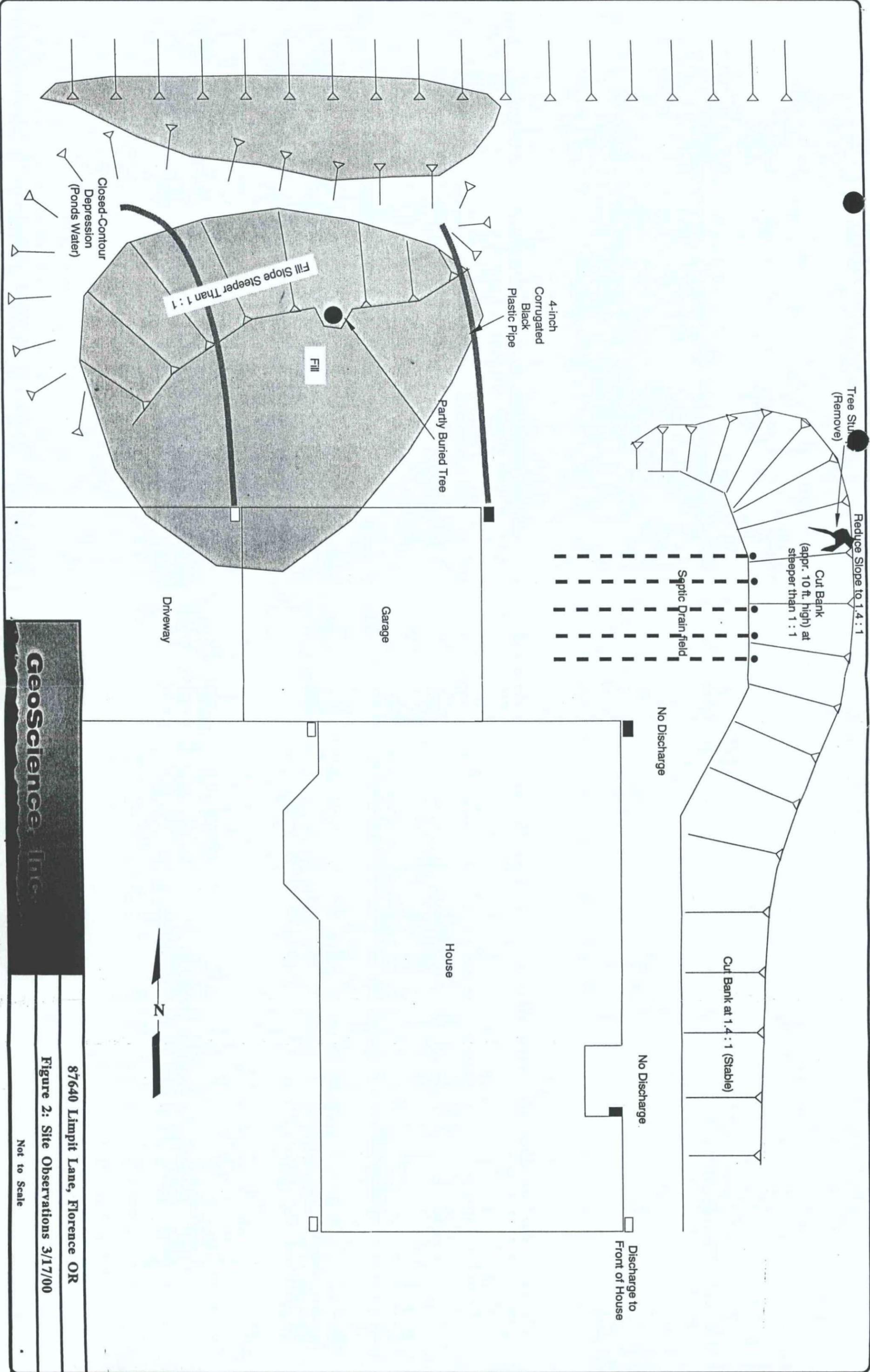


PRODUCED BY THE UNITED STATES GEOLOGICAL SURVEY  
 CONTROL BY ..... USGS, NOS, NOAA  
 COMPILED FROM AERIAL PHOTOGRAPHS TAKEN ..... 1975-76, 1978  
 FIELD CHECKED ..... 1979. MAP EDITED ..... 1984  
 PROJECTION ..... LAMBERT CONFORMAL CONIC  
 GRID: 1000-METER UNIVERSAL TRANSVERSE MERCATOR ..... ZONE 10  
 10,000-FOOT STATE GRID TICKS ..... OREGON, SOUTH ZONE  
 UTM GRID DECLINATION



Name: MERCER LAKE  
 Date: 4/2/100  
 Scale: 1 inch equals 2000 feet

Location: 044° 01' 13.5" N 124° 07' 05.7" W  
 Caption: Figure 1: Location Map



**GeoScience, Inc.**

87640 Limpit Lane, Florence OR

Figure 2: Site Observations 3/17/00

Not to Scale



Mike and Linda Harrah

87863 Kelsie Way  
Florence, Oregon  
97439  
home. 541 997-2124  
work. 541 997-2804  
cell. 541 991-1184

April 17, 2011m

Dear Jerry Kendall,

Let me start out by thanking you for taking the time to talk with me on the phone Friday April 15 around 5:00 pm. We have some questions regarding the proposed development listed in Department Files PA 10-5821 and PA 10-5824. Have unsuccessfully attempted to view approval criteria multiple times via the provided Internet site from the "Referral Notice and Opportunity to Comment On a Land Use Application for a Development Proposal"

We would like clarification where our property lies in relationship to the proposed subdivision. We live in Heceta South subdivision and our map and tax lot is 18-12-10-13-02200. Our property abuts with a large coastal lake. (please see attached photos) The maps provided on the referral notice are very difficult to read.

We also have questions and concerns about how the lake and multiple wildlife will be protected.

If we do not have the opportunity to meet Monday, would very much appreciate your calling me after you have reviewed the site.

Sincerely,

Mike and Linda Harrah



*JK met Mr. H. on site and addressed his concerns, on 4-18-11.*

24-2p.





REC'D APR 18 2011

## Siuslaw Valley Fire and Rescue

2625 Highway 101 North  
Florence, OR 97439-9702  
(541) 997-3212

April 15, 2011

Lane County Land Management  
Jerry Kendall  
125 E. 8<sup>th</sup> Ave  
Eugene OR, 97401

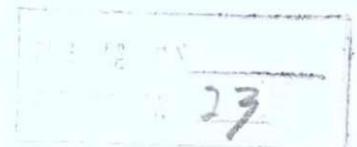
RE: PA 10-5821 & Pa 10-5824

- Siuslaw Valley Fire and Rescue approves the preliminary subdivision of 46 acres and 62 lots as presented.
- The two access roads shown, Oceana and Gullsettle Ct, are code compliant.
- Discussions with the developer the hydrant placement is appropriate.
- All access appears to meet code.
- SVFR has a positive view on the approval of the variance.

Should you have any questions or concerns, please do not hesitate to contact me.

**SIUSLAW VALLEY FIRE AND RESCUE**

**SEAN P. BARRETT**  
Fire Marshal



4-18-11

Date: 4/12/2011

From: ROBER + Cecelia Purzcelley  
87623 Sandrift St  
Florence, OR

Regarding Department File: PA 10-5821/Subdivision (Benedick Holdings LLC.) Staff: Jerry Kendall

Comments:

How will this project impact septic load/capacity?

Return to: Jerry Kendall, Associate Planner

Lane County Land Management Division  
Public Service Building  
125 E. 8<sup>th</sup> Avenue  
Eugene, OR 97401

APR 12 2011 22

**KENDALL Jerry**

---

**From:** HUNTER Peggy K  
**Sent:** Thursday, April 14, 2011 11:23 AM  
**To:** KENDALL Jerry  
**Cc:** GIVENS Everett L  
**Subject:** Referral for Benedick Holdings (Idylewood Fourth Add.) PA 10-5821  
**Attachments:** Idylewood-4th Add.doc

*Peggy Hunter*  
Lane County Surveyor's Office  
541.682.3633

21-38

April 13, 2011

Benedick Holdings, LLC (PA 10-5821)  
Idylewood Fourth Addition  
18-12-10-4 TL's 400 & 401 and 18-12-10-34 TL 801

#### SURVEYOR'S OFFICE REFERRAL

1. The subject property is within the Florence Urban Growth Boundary but is not located within the incorporated city limits of any city.
2. The subject property does not appear to have been subject to any previous land division. The proposed subdivision abuts Idylewood, Idylewood First Add. & Idylewood Second Add. on the west and Heceta South on the north.
3. Access to the subject property appears to be from an extension from Oceana Drive and Gullsettle Court. Oceana Drive was dedicated to the public on the plat of Idylewood in 1981 and accepted as County Road No. 2199 by Board Order #81-12-22-5 in 1981. Gullsettle Court was dedicated to the public on the plat of Idylewood First Addition, but has not been dedicated as a county road. Both roads have a right-of-way width of 60 feet.
4. Existing or proposed easements must be shown on the Final Plat along with the necessary recording information. Any easement created on the Plat must be declared in the owner's declaration.
5. The proposed Lots and roads must be surveyed and monumented as required pursuant to ORS Chapter 92.
6. Please submit a paper copy of the Final Plat for review to the Lane County Surveyor's Office along with other submittal requirements as noted in the "Lane County Surveyor's Office Policies for Subdivision & Partition Plats". The Final Plat must be prepared by a land surveyor registered in the State of Oregon and conform to ORS Chapters 92 and 209.250 as well as Lane Code Chapter 13.
7. The preliminary drawing of the subdivision shows the name as "Idylewood Fourth Addition". If this is the name to be used for the plat, the numbering of the Lots should be continued from Idylewood Third Addition, starting with Lot 254. Any proposed change in name should be referred to Peggy Hunter, Lane County Surveyor's Office.
8. Any proposed road names should be submitted to the Lane County Surveyor's Office for review by the Regional Roadnames Group.

4-14-11

Date: 4-13-2011

From: Jan Kinslow  
87772 Sandrift Ct  
Florence, OR 97439

Regarding Department File: PA 10-5821/Subdivision (Benedick Holdings LLC.) Staff: Jerry Kendall

Comments:

I object to the number of lots proposed. The area in question has wetlands that number one should be preserved and two putting that many homes in that area presents a return of flooding problems on Sandrift Street, Sandrift Court, Ocean and Dullsett Ct. I watched my property values decline as a result of flooding and hope that your department will give these concerns due consideration.

Return to: Jerry Kendall, Associate Planner

Lane County Land Management Division  
Public Service Building  
125 E. 8<sup>th</sup> Avenue  
Eugene, OR 97401

20-2P.

**KENDALL Jerry**

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**From:** FIELDS Phil  
**Sent:** Wednesday, April 06, 2011 2:53 PM  
**To:** KENDALL Jerry  
**Cc:** BAJRACHARYA Shashi  
**Subject:** FW: PA 10-5821/Idylewood Fourth Addition

Hey Jerry,

I spoke with Shashi about a TIA. We don't require one for this proposal. We did have concerns about the secondary access from Heceta Beach Road, but we can comment on that (if still proposed) when we get the referral notice.

Phil

-----Original Message-----

**From:** KENDALL Jerry  
**Sent:** Wednesday, December 15, 2010 8:43 AM  
**To:** BAJRACHARYA Shashi  
**Cc:** FIELDS Phil  
**Subject:** RE: PA 10-5821/Idylewood Fourth Addition

Shashi: by courier, I'll also send you a copy of their Chp. 15 variance request, PA 10-5824.

I'm going to deem their apps. incomplete, as the legal lot apps are still pending, so no formal referrals being sent yet.

Jerry Kendall/Associate Planner/Lane County Oregon  
PSB/LMD  
125 E. 8th Ave.  
Eugene, Or. 97401  
ph: 541-682-4057  
FAX: 541-682-3947  
Jerry.Kendall@co.lane.or.us

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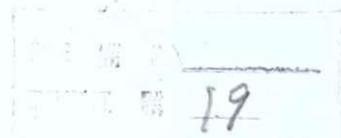
**From:** KENDALL Jerry  
**Sent:** Tuesday, December 14, 2010 11:27 AM  
**To:** FIELDS Phil  
**Cc:** BAJRACHARYA Shashi  
**Subject:** PA 10-5821/Idylewood Fourth Addition

Phil, this is the PA for which I sent you a preliminary subdivision plan (62 lots, in the UGB).

I'm reviewing it for completeness this week (by Thur.).

Will they need a TIA?

Jerry Kendall/Associate Planner/Lane County Oregon  
PSB/LMD  
125 E. 8th Ave.  
Eugene, Or. 97401  
ph: 541-682-4057  
FAX: 541-682-3947  
Jerry.Kendall@co.lane.or.us



## KENDALL Jerry

---

**From:** PETSCH John S  
**Sent:** Wednesday, April 06, 2011 2:26 PM  
**To:** KENDALL Jerry  
**Subject:** RE: Idylewood Subdivision - drainage issue

Not yet. I will remind them, it needs to be discussed. Yes, send me a referral so I can comment on the stormwater system. Thanks for keeping me in the loop.

---

**From:** KENDALL Jerry  
**Sent:** Wednesday, April 06, 2011 2:23 PM  
**To:** PETSCH John S  
**Subject:** RE: Idylewood Subdivision - drainage issue

John: have you PW folks had a chance to discuss this "responsibility" factor? FYI, I'll be sending referrals soon, will send you one along with the usual TP folk.

Jerry Kendall/Associate Planner/Lane County Oregon  
PSB/LMD  
125 E. 8th Ave.  
Eugene, Or. 97401  
ph: 541-682-4057  
FAX: 541-682-3947  
Jerry.Kendall@co.lane.or.us

---

**From:** PETSCH John S  
**Sent:** Thursday, March 31, 2011 9:42 AM  
**To:** LAIRD Matt P  
**Cc:** NELSON Arno L; MORGAN Bill F; MILLER Marsha A; KENDALL Jerry  
**Subject:** Idylewood Subdivision - drainage issue

Matt,  
I just completed a conversation with Bill Morgan, County Engineer. He wanted to relay to you, before LMD directs, determines or advises that the drainage system should to be completed to Lane County's satisfaction, it would be good idea to have a conversation within Public Works about whether Lane County should accept the system into our responsibility. Times have changed, funding is reduced and new leadership is now in place. The consensus today may not support such a decision as was determined when this issue surfaced. I know there is time before a decision is reached on the proposed subdivision. Just want to make sure the developer is not lead to believe the existing drainage system will no longer to his responsibility. Arno and Marsha will both be back in the office next week so the discussion will be taking place soon. Thanks!  
john

18

DO NOT  
SEPARATE  
PACKET

## CERTIFICATE OF MAILING

PA10-5821  
BENEDICK/EGR  
4-11-2011

This is to certify that I, Chris Rogers, mailed Notification of

Referral

To the person(s) shown on the attached copy of mailing labels &/or attached letter, and delivered said information to the authorized agent for the us Post Office in Eugene, Oregon on

DATE MAILED: 4/11/2011

END OF COMMENT PERIOD: 4/21/11 / 5/2/11

APPEAL DEADLINE: \_\_\_\_\_

Chris Rogers  
CHRIS ROGERS

NOTE: Surrounding property owners listed are "the owners of record of all property on the most recent property tax assessment rolls" on RLID as per Lane Code 14.300(3)(d). If a tax lot appears on the notice list & there are no corresponding addresses then the tax records have not been updated; therefore, these property owners were not notified.

FILE # PA \_\_\_\_\_  
EXHIBIT # 17

**Referral Notice and Opportunity to Comment  
On a Land Use Application for a Development Proposal**



LAND MANAGEMENT DIVISION  
[http://www.LaneCounty.org/PW\\_LMD/](http://www.LaneCounty.org/PW_LMD/)

**Mailing Date:** 4/11/11  
**Department Files:** PA 10-5821  
**Applicant:** Benedick Holdings LLC.  
**Owner:** Benedick Holdings LLC.  
**Agent:** EGR & Associates/Clint Beecroft  
**Assessor's Map & Tax Lot:** 18-12-10.4 #400 & 401; 18-12-10.3.4 #801  
**Address:** Vacant  
**Contiguous Property:** None  
**Base Zone:** Suburban Residential (RA)

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**Proposal:**

Request for Planning Director Approval for Preliminary Subdivision of a 46-acres into 62 lots within the Suburban Residential (RA) Zone, the Interim Urbanizing Combining District (/U), and the Beaches and Dunes Combining District (/BD), as provided by Lane Code 10.135, LC 10.122, LC 10.270 and LC 13.050.

The purpose of this notice is to acquaint you with the proposed development, to gather information you may have about the project, and provide an opportunity to comment and express concerns related to the approval criteria, prior to the Planning Director's decision to approve or deny the proposal.

The application and related materials are available for inspection at the Lane County Land Management Division at no cost and copies will be provided at reasonable cost. The name of the Lane County Land Management Division representative to contact concerning this application is **Jerry Kendall**, 541-682-4057.

Approval criteria are found in the section(s) of Lane Code cited above. The criteria may be obtained or viewed at the Land Management Division or at the internet address below. You may submit information in the spaces provided on the last page and return this document to the attention of **Jerry Kendall**, Lane County Land Management Division, Public Service Building, 125 East 8th Ave., Eugene, OR 97401, or Fax to ATTN: **Jerry Kendall**, 541-682-3947. Please be sure to reference the PA file number shown above, and submit your comments by **5:00 P.M.** on 4/21/11.

*Concerns/comments submitted in writing will be considered in making the decision as they relate to the criteria under which the proposal must be evaluated.*

Your comments are important and will greatly improve the decision making process, but please note that you will not receive an individual response to information submitted. By law, comments received that are not related to the approval criteria may not be considered. General planning information is available by calling 541/682-3577, or by visiting the Public Service Counter at the above listed address weekdays between 9 a.m. and 12:30 p.m.

Copies of the applicable law are available via links on our Planning website:

<http://www.lanecounty.org/Departments/PW/LMD/LandUse/Pages/default.aspx>

Mailed copies of the applicable criteria are also available, at cost, by calling Chris Rogers at 541/682-3347. Please allow one week for mailing.

**Date:** \_\_\_\_\_

**From:** \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

**Regarding Department File:** PA 10-5821/Subdivision (Benedick Holdings LLC.) Staff: **Jerry Kendall**

**Comments:**

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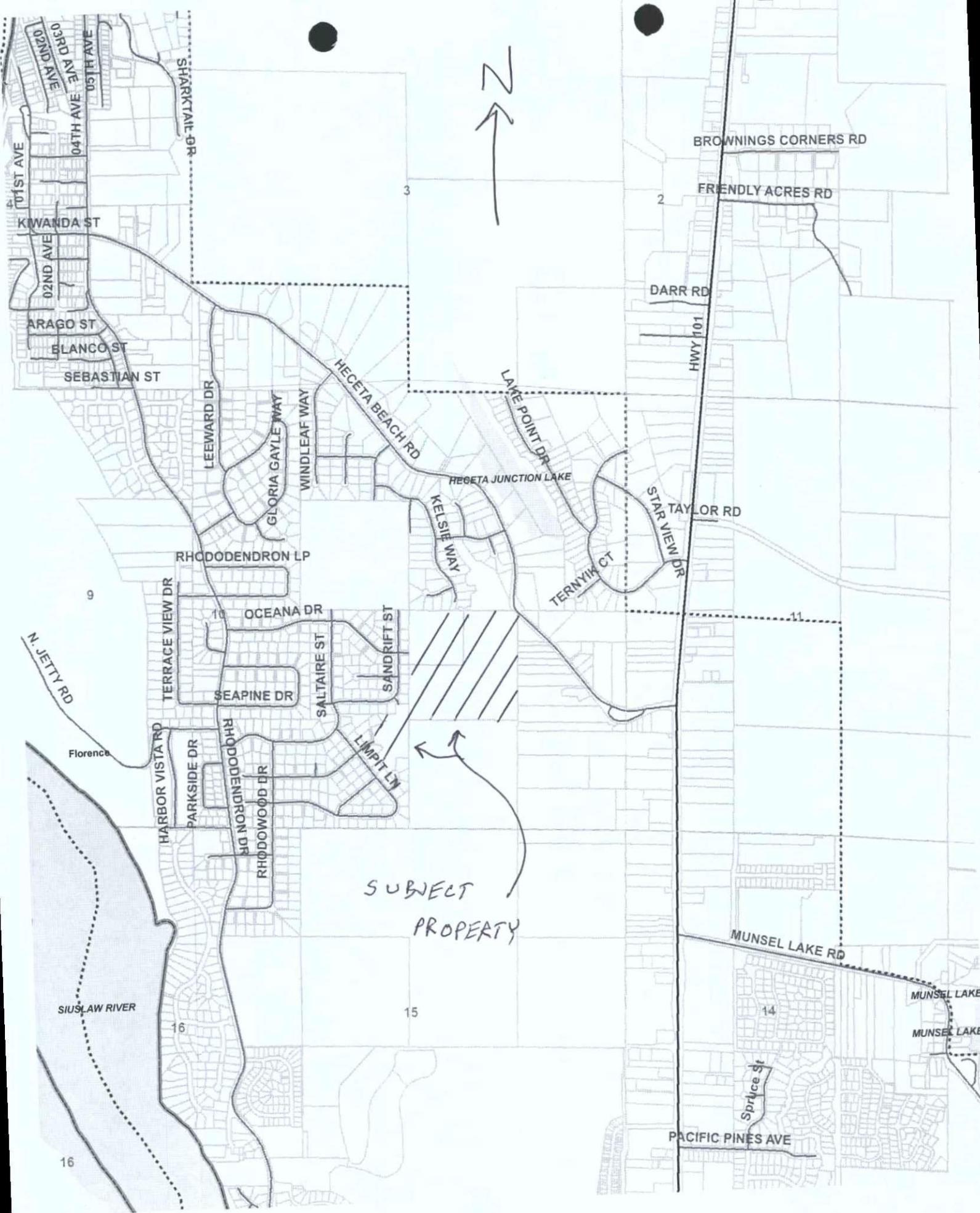
\_\_\_\_\_

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\_\_\_\_\_

**Return to:** Jerry Kendall, Associate Planner

**Lane County Land Management Division  
Public Service Building  
125 E. 8<sup>th</sup> Avenue  
Eugene, OR 97401**



SUBJECT  
PROPERTY

**PRELIMINARY SUBDIVISION PLAN FOR  
IDLEWOOD FOURTH ADDITION SUBDIVISION**  
TOWNSHIP 18S, RANGE 12W, SECTION 10 W.M., TAX LOTS 400, 401 AND 801  
LANE COUNTY, OREGON  
OCTOBER 26, 2010

- SCHOOL DISTRICT
- BUILDUP
- TANK & RECREATION DISTRICT
- LANE COUNTY
- FIRE DISTRICT
- BURNWAY FIRE AND RESCUE
- SOURCE OF WATER
- NIXETA WATER DISTRICT
- PHONE
- QUEST
- COVER
- CENTRAL LANDCLAMP #10

**SANITARY FACILITIES**  
CITY OF FLORENCE A GRAVITY-FEED WASTEWATER SYSTEM WILL COLLECT AND CONVEY WASTE WATER TO A CENTRALIZED WASTEWATER TREATMENT PLANT LOCATED IN THE COMMERCIAL DISTRICT. WASTEWATER FROM THIS DEVELOPMENT WILL BE COLLECTED IN A NEW FORCE MAIN THAT WILL BE INSTALLED IN OCEAN DRIVE SOUTH OF WAY.

**SEWERAGE FACILITIES**  
ON SITE DISPOSAL A GRAVITY-FEED STORM WATER SYSTEM WILL COLLECT AND CONVEY STORMWATER TO A CENTRALIZED STORM SURFACE INFILTRATION FACILITY. ROOFERS WILL DESIGN AND INSTALL AN ON-SITE INFILTRATION SYSTEM.

**FLOOD HAZARD INFORMATION**  
ZONE X (FIRM FROM 1/10/80) IS APPLICABLE TO THIS DEVELOPMENT. AREAS DETERMINED TO BE OUTSIDE OF 500-YEAR FLOOD ZONE. FLOOD HAZARD INFORMATION IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY. FLOOD HAZARD REQUIREMENTS AS REQUIRED BY LANE COUNTY CODE.

**ELEVATION DATA**  
CONTOURS WERE INTERPLETED FROM CITY OF FLORENCE 100-FOOT TOPOGRAPHIC MAPS. ACTUAL CONTOURS MAY VARY FROM THESE.

**OWNER**  
BRENDAE HALLGREN LLC  
3133 PALM BLVD  
BURNSIDE, OR 97701

**DESIGNER**  
BOA & ASSOCIATES, INC.  
3133 PALM BLVD  
BURNSIDE, OR 97701  
(503) 884-4121

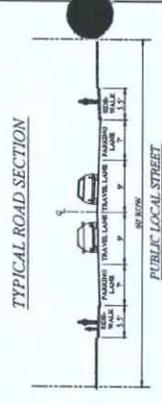
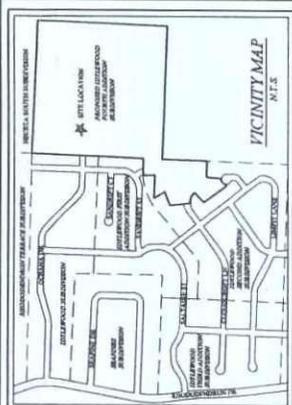
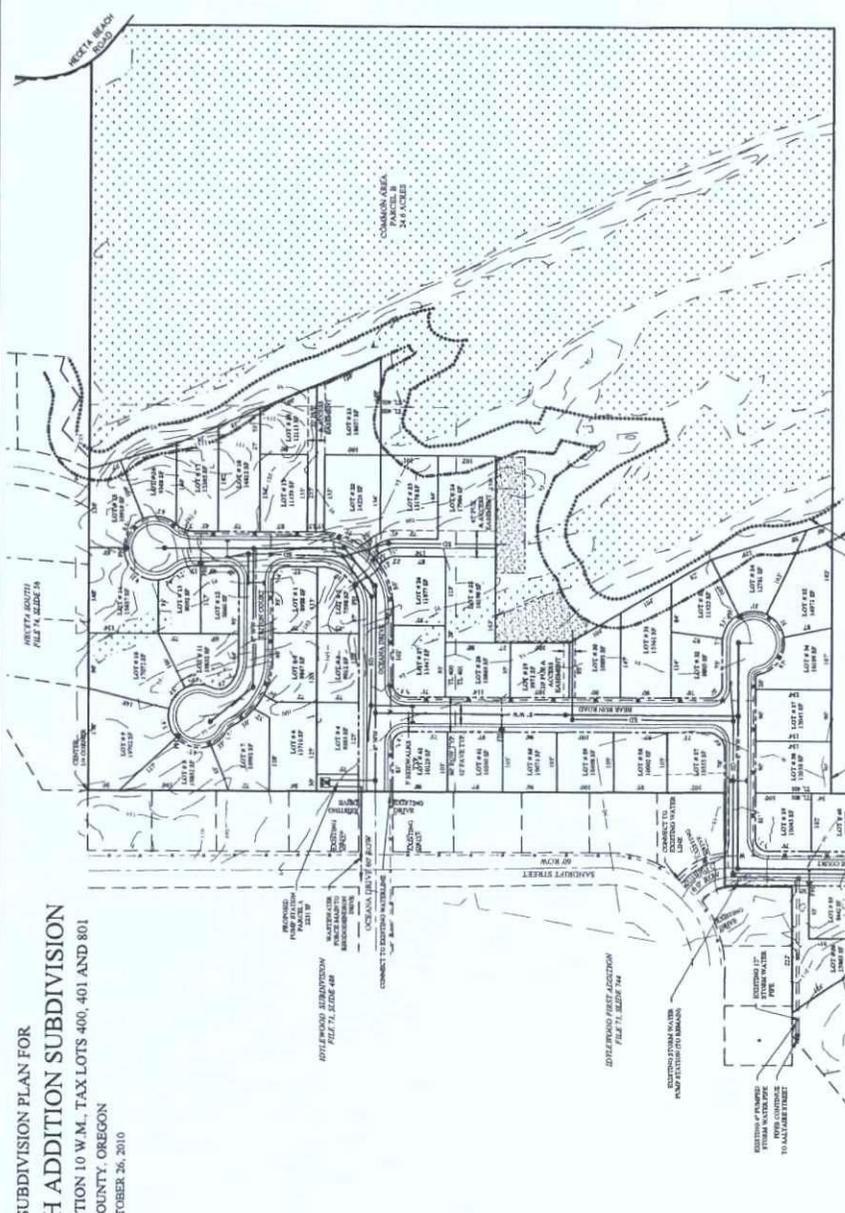
**RECORDING**  
BOA & ASSOCIATES, INC.  
3133 KENNEDY ST  
SEASIDE, OR 97138

**TAX LOT NUMBER**  
MAP 14-15-104 (TAX LOT 801)  
MAP 14-15-104 (TAX LOT 800 & 801)

**ZONING**  
LOT 400 & 801  
R-1 (RESIDENTIAL)  
LOT 401  
R-1 (RESIDENTIAL)  
LOT 801  
R-1 (RESIDENTIAL)  
PW (PLANNED WILDLIFE PRESERVATION)

**AREA**  
46.97 GROSS ACRES

**NUMBER OF LOTS**  
83



**LEGEND**

- EXISTING EDGE OF COUNCIL LAKE
- PROPOSED EDGE OF COUNCIL LAKE
- PROPOSED BACK OF SIDEWALK
- PROPOSED RIGHT OF WAY
- PROPOSED CENTERLINE
- EXISTING CENTERLINE
- PROPOSED PARCEL LINES
- EXISTING ADJACENT PARCELS
- PROPOSED ADJACENT PARCELS
- PROPOSED WATER LINES
- PROPOSED WATER MAINS
- PROPOSED WATER MAINS
- PROPOSED WATER MAINS
- PROPOSED FIRE MAINS
- PROPOSED FIRE MAINS
- PROPOSED FIRE MAINS
- WETLAND (PER DEL. 06/26/07)
- PROPOSED STORM WATER INFILTRATION AREA



**ECR & Associates, Inc.**  
Engineers, Geologists, and Surveyors

20000 Phelan Road  
Eugene, Oregon 97402  
Phone: (541) 884-5007  
Fax: (541) 884-5007

PA10-5821  
BENEDICK/EGR  
4-11-2011

1812103403200  
ABBONIZIO WAYNE A P  
PO BOX 188  
FLORENCE, OR 97439

1812103106400  
ADAMS BERTHA L  
04966 OCEANA DR  
FLORENCE, OR 97439

1812101302800  
ALTA M TAYLOR TRUST  
84955 HWY 101 S  
FLORENCE, OR 97439

1812103105400  
ASHTON TRUST  
4960 SANDRIFT CRT  
FLORENCE, OR 97439

1812103108400  
BAKER JACK H & DORIS V  
87838 SANDRIFT ST  
FLORENCE, OR 97439

1812103405800  
BALDI JOHN F & MARIA C  
87635 WOODMERE EAST  
FLORENCE, OR 97439

1812104001300  
BALL MAY I TE  
PO BOX 1018  
FLORENCE, OR 97439

1812104000500  
BATCHELDER NANCY S  
PO BOX 935  
YACHATS, OR 97498

1812103400100  
BEACH GARY M & CATHERINE A  
87723 SALTAIRE ST  
FLORENCE, OR 97439

1812103400801  
1812104000400/401  
BENEDICK HOLDINGS LLC  
27922 WARD LN  
EUGENE, OR 97402

1812104000100  
BOGGS PAUL DANIEL & MONA DEE  
PO BOX 387  
SPRAGUE RIVER, OR 97639

1812103407200  
CAMPBELL ALEXANDER J & ELIZABETH L  
87640 LIMPIT LN  
FLORENCE, OR 97439

1812103100800  
CAMPBELL DAVID J & DIANE E  
4985 GULLSETTLE CRT  
FLORENCE, OR 97439

1812103101100  
CAPUTO RONALD A & JUDY E  
87729 SANDRIFT ST  
FLORENCE, OR 97439

1812103400300  
CARRUTHERS RONALD  
87694 LIMPIT LN  
FLORENCE, OR 97439

1812103405600/700  
CHARLES P & DIANNE NOBLE GILMOUR TRUST  
87629 WOODMERE ST E  
FLORENCE, OR 97439

1812104001000  
CLARK JAMES M & HEIDI A  
05180 HECETA BEACH RD  
FLORENCE, OR 97439

1812103406000  
CLAUSEN ROBERT E  
87630 WOODMERE EAST  
FLORENCE, OR 97439

1812103100500  
COLIN C HEIBERT TRUST  
04906 GLORIA GAYLE WAY  
FLORENCE, OR 97439

1812104000300  
CONDLEY SHAWN S & ANGIE L  
PO BOX 1557  
FLORENCE, OR 97439

1812104000800/900  
COX OSCAR R  
05176 HECETA BEACH RD  
FLORENCE, OR 97439

1812104001300  
DERRICKSON THELMA MAY TE  
PO BOX 1018  
FLORENCE, OR 97439

1812103108200  
DOBSON RICHARD L & DONNA M  
PO BOX 1739  
FLORENCE, OR 97439

1812103400300  
DODD ELKE  
87694 LIMPIT LN  
FLORENCE, OR 97439

1812103105200  
DONNELLY GARY L & SHERRI K  
87740 SANDRIFT ST  
FLORENCE, OR 97439

1812103100200  
DUKE KENT F & CAROL G  
87827 SANDRIFT  
FLORENCE, OR 97439

1812103405901  
DURST WILLIAM F  
87649 WOODMERE EAST  
FLORENCE, OR 97439

1812101302100  
FLESHER AHL S & CYNTHIA G  
1820 MADELYNNE CRT  
TURLOCK, CA 95382

1812103100300  
FOX M JAMES & MARTHA C  
87803 SANDRIFT ST  
FLORENCE, OR 97439

1812103100900  
GARDINER FAMILY TRUST  
87737 SANDRIFT ST  
FLORENCE, OR 97439

1812103405700  
GILMOUR DIANNE NOBLE TE  
87629 WOODMERE ST E  
FLORENCE, OR 97439

1812103101300  
HALL WILLIAM & CATHEY M  
87701 SANDRIFT ST  
FLORENCE, OR 97439

1812101302200  
HARRAH LINDA L & MICHAEL R  
87863 KELSIE WAY  
FLORENCE, OR 97439

1812104001402  
HAWKINS BEN & ROSE  
PO BOX 2186  
FLORENCE, OR 97439

1812100000101  
HEAD JAMES & EILEEN  
5139 HECETA BEACH RD  
FLORENCE, OR 97439

1812101301400  
HECETA INC  
PO BOX 3467  
FLORENCE, OR 97439

1812103108100  
HERSHEY CHRISTINA G  
85574 GLENADA RD  
FLORENCE, OR 97439

1812101301000  
HILL RICKEY L SR & DONNA M  
87919 WOOD LAKE WAY S  
FLORENCE, OR 97439

1812103100700  
ISHII JOINT TRUST  
87757 SANDRIFT ST  
FLORENCE, OR 97439

1812101302900  
JOHNSON FAMILY TRUST  
5046 KELSIE CRT  
FLORENCE, OR 97439

1812101302700  
KELSIE REVOCABLE LIVING TRUST  
964 MCKENZIE CREST DR  
SPRINGFIELD, OR 97477

1812103408000  
KENNETH L URWIN TRUST  
4929 CLOUDCROFT LN  
FLORENCE, OR 97439

1812101302500/600  
KING CHARLES M & BETTY B  
5009 KELSIE CT  
FLORENCE, OR 97439

1812103105300  
KINSLOW JANICE A  
87772 SANDRIFT ST  
FLORENCE, OR 97439

1812101304600/700  
1812102000400, 1812104001600  
LANE COUNTY PROPERTY OWNED  
125 E 8TH AVE  
EUGENE, OR 97401

1812103106300  
LARA ROBERT Y & NANCY L  
87786 SANDRIFT  
FLORENCE, OR 97439

1812103405901  
LEHMAN MARY H  
87649 WOODMERE EAST  
FLORENCE, OR 97439

1812101302300  
LEWIS GEORGE E  
5043 KELSIE CRT  
FLORENCE, OR 97439

1812103108000  
LEWIS JACK & BARBARA L EVANS TRUST  
87810 SANDRIFT ST  
FLORENCE, OR 97439

1812103100400  
LOUISE HIX TRUST  
PO BOX 188  
AZALEA, OR 97410

1812103408100  
MCCAULEY DONNA & JIMMY  
87684 LIMPIT LN  
FLORENCE, OR 97439

1812103108100  
MCCONNELL MARIA  
87814 SANDRIFT ST  
FLORENCE, OR 97439

1812103407900  
MCDONALD LIVING TRUST  
4933 CLOUDCROFT LN  
FLORENCE, OR 97439

1812103105100  
MEHURON ARLENE G TE  
87730 SANDRIFT ST  
FLORENCE, OR 97439

1812103105100  
MEHURON REX D TE  
87730 SANDRIFT ST  
FLORENCE, OR 97439

1812101302400  
MENDONCA FAMILY LIVING TRUST  
5033 KELSIE CRT  
FLORENCE, OR 97439

1812103105000  
MILLER MICHAEL J & PATTI J  
87720 SANDRIFT ST  
FLORENCE, OR 97439

1812103407700/800  
PETERSON ROBERT R & CORREEN B  
4937 CLOUDCROFT LN  
FLORENCE, OR 97439

1812103108500  
PILCHER RANDALL J & SUSAN R  
87842 SANDRIFT ST  
FLORENCE, OR 97439

1812103407600  
POTTS CHARLES J & EDITH M  
4938 CLOUDCROFT LN  
FLORENCE, OR 97439

1812103101200  
PURSCHELLEY ROBERT R & CECELIA G  
87623 SANDRIFT ST  
FLORENCE, OR 97439

1812103406200  
ROATH FAMILY TRUST  
PO BOX 2707  
FLORENCE, OR 97439

1812103406200  
ROATH REGINA TE  
PO BOX 2707  
FLORENCE, OR 97439

1812103407100  
ROBERTSON LIVING TRUST  
87659 WOODMERE W  
FLORENCE, OR 97439

1812103403300  
ROGERS DONALD E & CAREN J  
87660 WOODMERE WEST  
FLORENCE, OR 97439

1812103407500  
RONALD L & SUZANNE VIERSEN-SLOAN REV TRU  
87678 LIMPIT LN  
FLORENCE, OR 97439

1812104001800  
SANDRA R JEREMIAH BYPASS TRUST  
PO BOX 466  
PLEASANT HILL, OR 97455

1812103108300  
SHOYS PETER KILLIAN & CHRISTINE MARIE  
87836 SANDRIFT ST  
FLORENCE, OR 97439

1812101302000  
SIKORA JAMES & JANE  
87885 KELSIE WAY  
FLORENCE, OR 97439

1812103101000  
SPIVEY WILLIAM F III & J A  
87733 SANDRIFT ST  
FLORENCE, OR 97439

1812104001500/1701  
THOMPSON BETTY A  
4354 SPRUCE ST  
FLORENCE, OR 97439

1812103108600  
TRUST DATED 06/26/03  
87843 SANDRIFT ST  
FLORENCE, OR 97439

1812103407400  
UDT 11/02/04  
PO BOX 2695  
FLORENCE, OR 97439

1812103407300  
ULMAN BEVERLY & LOHMAJ  
PO BOX 2570  
FLORENCE, OR 97439

1812103406100  
WADE OTIS A & AMY C  
87661 WOODMERE WEST  
FLORENCE, OR 97439

1812103100600  
WATKINS CARL D & RONETTA B  
1259 GREENWOOD DR NE  
KEIZER, OR 97303

1812104001100  
WILSON MITCHELL & LUCILLE  
05190 HECETA BEACH RD  
FLORENCE, OR 97439

1812103100101  
WILSON PAUL M & JO ANN  
87849 SANDRIFT ST  
FLORENCE, OR 97439

1812103403100  
WOODS FRANK N & ROSEMARY R  
4914 CLOUDCROFT LN  
FLORENCE, OR 97439

EGR & ASSOCIATES  
2535 B PRAIRIE ROAD  
EUGENE, OR 97402

ARMY CORPS OF ENGINEERS  
1600 EXECUTIVE PARKWAY SUITE 210

EUGENE, OR 97401-2156

DICK LAMPSTER  
US ARMY CORPS OF ENGINEERS  
PO BOX 429  
LOWELL OR 97452

ARMY CORP OF ENGINEERS  
26275 CLEAR LAKE ROAD  
JUNCTION CITY, OR 97448

CENTRAL LINCOLN PUD  
BOX 370  
FLORENCE OR 97439-0002

**DIVISION OF STATE LANDS  
WETLANDS PROGRAM-DANA FIELDS  
775 SUMMER ST NE SUITE #100  
SALEM OR 97301-1279**

DEQ  
165 E 7<sup>TH</sup> AVE. #100  
EUGENE, OR 97401

OR STATE FISH & WILDLIFE  
(COASTAL)  
2040 SE MARINE SCIENCE DR  
NEWPORT OR 97365-5229

COMMUNITY DEVELOPMENT DIRECTOR  
CITY OF FLORENCE ATTN: MICHELLE  
250 HWY 101  
FLORENCE OR 97439

COMMUNITY DEVELOPMENT DIRECTOR  
MIKE MILLER – PUBLIC WORKS  
989 SPRUCE STREET  
FLORENCE, OR 97439

HECETA WATER DISTRICT  
87845 HWY 101  
FLORENCE OR 97439

EUGENE WATER & ELECTRIC BOARD  
ATTN: KARL MORGENSTERN  
500 E 4<sup>TH</sup> AVE  
EUGENE, OR 97401

KRISTINA DESCHAINÉ  
FIRE MARSHALL  
3620 GATEWAY STREET  
SPRINGFIELD, OR 97477

LANDWATCH LAND COUNTY  
ROBERT EMMONS  
40093 LITTLE FALL CRK RD  
FALL CREEK, OR 97438

SIUSLAW VALLEY FIRE  
2625 HWY 101  
FLORENCE OR 97439-9702

SANITATION

ADDRESSING

FLOOD MANAGEMENT

SURVEYORS

TRANSPORTATION PLANNING

JOHN PETSCH  
COUNTY ROAD MAINTENANCE



# EGR & Associates, Inc.

Engineers, Geologists and Surveyors

2535B Prairie Road  
Eugene, Oregon 97402

(514) 688-8322  
Fax (541) 688-8087

## LETTER OF TRANSMITTAL

DATE: 3/21/11	JOB NO: 2080-07-0256
ATTENTION: Jerry Kendall	
RE: Idylewood 4 <sup>th</sup> Addition PA #10-5821	



TO: Lane County  
Attn: Jerry Kendall  
125 E. 8<sup>th</sup> Avenue  
Eugene, OR 97401

### WE ARE SENDING YOU:

- Drawings       Report       Letter       Copy of Letter       Plans  
 Specifications       Change Order       \_\_\_\_\_

- VIA:  Fax Transmittal       Postal Service       Express Courier       Hand Deliver       \_\_\_\_\_

NO.	COPIES	DATE	DESCRIPTION
1	1		Legal Lot Verification Decision PA10-5823

### THESE ARE TRANSMITTED AS CHECKED BELOW:

- As Requested       For Your Use       For Approval       For Review and Comment       Returned For Corrections  
 Approved as Noted       Approved as Submitted       Return Corrected Prints       Resubmit for Approval       \_\_\_\_\_

### REMARKS:

Jerry,

In response to the notice of incomplete application for PA 10-5821, the attached legal lot verification approval (PA10-5823) is being submitted to address Item #1. Item #2 was addressed in a correspondence to you dated January 11, 2011.

With this submittal I request that you deem the subdivision application complete. Please let me know if you need any additional information.

COPY TO: Gene Benedick via Email w/Attachments  
File

SIGNED: Clint Beecroft

Clint Beecroft, PE

FILE # \_\_\_\_\_  
DATE # 16-8-11

3/15/11

**NOTICE OF PENDING LAND USE DECISION  
BY THE LANE COUNTY PLANNING DIRECTOR**



LAND MANAGEMENT DIVISION  
[http://www.LaneCounty.org/PW\\_LMD/](http://www.LaneCounty.org/PW_LMD/)

**Department File:** PA10-5823  
**Property Owner(s):** Benedick Holdings, LLC  
**Applicant:** Benedick Holdings, LLC  
**Agent:** none  
**Map & Tax Lot:** 18-12-10-40-00400/401 & 18-12-10-34-00801 (Combined)  
**Property Address:** Vacant  
**Acreage:** 46 acres  
**Contiguous Ownership:** None  
**Base Zone:** Suburban Rural Residential (RA)  
**Comprehensive Plan:** Florence Rural Comprehensive Plan (/RCP)

You own or occupy property near the above referenced properties that is the subject of a land use application and pending decision for conditional **Approval** of this application by the Lane County Planning Director.

**Notice to mortgagee, lien holder, vendor or seller: ORS Chapter 215 requires that if you receive this notice, it must be forwarded to the purchaser.**

The purpose of this notice is to inform you about the proposal and pending decision, where you may receive more information, and the requirements if you wish to appeal the pending decision by the Director to the Lane County Hearings Official. Any person who is adversely affected or aggrieved or who is entitled to written notice may appeal the decision by filing a written appeal in the manner and within the time period as provided below. Mailing of this notice to you precludes an appeal directly to the Land Use Board of Appeals.

**PROPOSAL: To obtain a Final Legal Lot decision pursuant 13.020 for tax lot 18-12-10-40-00400/401 & 18-12-10-34-00801 (Combined). This proposal is for 1 parcel only. (See vicinity map of legal lot configuration)**

**FINDINGS OF FACT AND COMPLIANCE WITH APPLICABLE REQUIREMENTS.**

The information and findings submitted by the applicant in support of this application to address the applicable requirements were reviewed and found to be thorough and accurate. Therefore, the Director adopts the applicant's information and findings along with the staff report in support of the decision to approve this application and hereby incorporates the application by reference as part of the record.

The application, all documents and evidence relied upon by the applicant, the applicable criteria, and a copy of the Lane County Planning Director's report are available for inspection at the Lane County Land Management Division at no cost, and copies will be provided at reasonable cost. The name of the Lane County Land Management Division representative to contact **Jeremy Sherer** and the telephone number where more information can be obtained is **(541) 682-3989**.

LAND MANAGEMENT DIVISION / PLANNING DEPARTMENT / 125 EAST 8TH AVENUE / EUGENE, OREGON 97401 / FAX (541) 682-3947  
BUILDING (541) 682-4651 / PLANNING (541) 682-3577 / SURVEYORS (541) 682-4195 / COMPLIANCE (541) 682-3724 / ON-SITE SEWAGE (541) 682-3754

30% Post-Consumer Content

3/15/11

**NOTICE OF PENDING LAND USE DECISION  
BY THE LANE COUNTY PLANNING DIRECTOR**



LAND MANAGEMENT DIVISION  
[http://www.LaneCounty.org/PW\\_LMD/](http://www.LaneCounty.org/PW_LMD/)

**Department File:** PA10-5823  
**Property Owner(s):** Benedick Holdings, LLC  
**Applicant:** Benedick Holdings, LLC  
**Agent:** none  
**Map & Tax Lot:** 18-12-10-40-00400/401 & 18-12-10-34-00801 (Combined)  
**Property Address:** Vacant  
**Acreage:** 46 acres  
**Contiguous Ownership:** None  
**Base Zone:** Suburban Rural Residential (RA)  
**Comprehensive Plan:** Florence Rural Comprehensive Plan (/RCP)

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**Notice to mortgagee, lien holder, vendor or seller: ORS Chapter 215 requires that if you receive this notice, it must be forwarded to the purchaser.**

The purpose of this notice is to inform you about the proposal and pending decision, where you may receive more information, and the requirements if you wish to appeal the pending decision by the Director to the Lane County Hearings Official. Any person who is adversely affected or aggrieved or who is entitled to written notice may appeal the decision by filing a written appeal in the manner and within the time period as provided below. Mailing of this notice to you precludes an appeal directly to the Land Use Board of Appeals.

**PROPOSAL: To obtain a Final Legal Lot decision pursuant 13.020 for tax lot 18-12-10-40-00400/401 & 18-12-10-34-00801 (Combined). This proposal is for 1 parcel only. (See vicinity map of legal lot configuration)**

**FINDINGS OF FACT AND COMPLIANCE WITH APPLICABLE REQUIREMENTS.**

The information and findings submitted by the applicant in support of this application to address the applicable requirements were reviewed and found to be thorough and accurate. Therefore, the Director adopts the applicant's information and findings along with the staff report in support of the decision to approve this application and hereby incorporates the application by reference as part of the record.

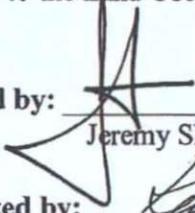
The application, all documents and evidence relied upon by the applicant, the applicable criteria, and a copy of the Lane County Planning Director's report are available for inspection at the Lane County Land Management Division at no cost, and copies will be provided at reasonable cost. The name of the Lane County Land Management Division representative to contact **Jeremy Sherer** and the telephone number where more information can be obtained is **(541) 682-3989**.

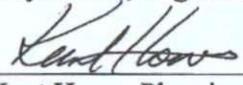
LAND MANAGEMENT DIVISION / PLANNING DEPARTMENT / 125 EAST 8TH AVENUE / EUGENE, OREGON 97401 / FAX (541) 682-3947  
BUILDING (541) 682-4651 / PLANNING (541) 682-3577 / SURVEYORS (541) 682-4195 / COMPLIANCE (541) 682-3724 / ON-SITE SEWAGE (541) 682-3754

This decision will become final at 5 P.M. on 3/28/11 unless before this time a completed **APPLICATION FOR AN APPEAL OF A DECISION BY THE PLANNING DIRECTOR** form is submitted to and received by the Lane County Land Management Division. **This form is enclosed and must be used if you wish to appeal this decision.**

1. To complete this form, fill in the required information and attach to it all of the materials and information required in numbers 2, 3 and 6 of the appeal form.
2. Then, submit the completed form to Lane County Planning Director so that it is received by him or her prior to the above mentioned time that the decision becomes final.
3. The Lane County Planning Director shall reject an appeal if it is not received prior to the time that the decision becomes final or if it is not complete.

Failure of an issue to be raised in a hearing, in person or in writing, or failure to provide statements of evidence sufficient to afford the Approval Authority an opportunity to respond to the issue precludes raising the issue in an appeal to the Land Use Board of Appeals.

Prepared by:  Date: MAR 11, 2011  
Jeremy Sherer, Engineering Associate

Authorized by:  Date: 11 Mar 11  
Kent Howe, Planning Director

**EXHIBITS**

- A. Staff Report
- B. Conditions of Approval
- C. Vicinity Map with Property Configuration

## Exhibit A

### Staff Report

Report Date: 3/14/11

Department File: PA10-5823  
Property Owner(s): Benedick Holdings, LLC  
Applicant: Benedick Holdings, LLC  
Agent: none  
Map & Tax Lot: 18-12-10-40-00400/401 & 18-12-10-34-00801 (Combined)  
Property Address: Vacant  
Acreage: 46 acres  
Contiguous Ownership: None  
Base Zone: Suburban Rural Residential (RA)  
Staff Planner: Jeremy Sherer, (541) 682-3989

---

### I. PROPOSAL AND DETERMINATION

To obtain a Final Legal Lot per Lane Code Chapter 13.020 for a parcel known as tax lot 18-12-10-40-00400/401 & 18-12-10-34-00801 (Combined). The purpose of this Legal Lot Verification with Notice is to determination that the subject property was created prior to and/or in conformance with Lane Code and other applicable law. Pursuant to LC 13.020, this determination shall become final when it is made and noticed.

CONCLUSION: As defined in Lane Code 13.010, the subject property is a parcel. This staff report has preliminarily determined that the subject property is a legal lot. This preliminary legal lot becomes final at the conclusion of the Notice.

### II. BACKGROUND INFORMATION

On 11/18/2010, a Legal Lot Verification with Notice was submitted to Lane County Land Management Division. The application was reviewed and accepted as complete on 12/15/2010.

### III. SITE INFORMATION

#### A. Site Description

Property Descriptions:

This parcel is known as tax lot 18-12-10-40-00400/401 & 18-12-10-34-00801 (Combined) and is described in Warranty Deed 2007-083806, dated 12/21/2007

**B. Zoning and Land Division Background**

The first comprehensive Zoning and Land Use Regulations, Ordinance 3 and 4, were adopted in 1949.

The first partition regulation for these properties were adopted on May 2, 1962. Lane County adopted property line adjustment regulations on January 8, 2010.

The first zoning regulation for these properties were adopted on May 22, 1964 to RA.

**IV. APPROVAL CRITERIA AND ANALYSIS**

Approval is subject to satisfaction of Lane Code 13.010, definition of a legal lot. Criteria is in italics followed by staff findings

**Conformity with Definition of a Legal Lot, Pursuant to Lane Code Chapter 13.010:**

*A lawfully created lot or parcel. A lot or parcel lawfully created shall remain a discrete lot or parcel, unless the lot or parcel lines are vacated or the lot or parcel is further divided as provided by law..*

**Finding 1:** The parent parcel was created lawfully and reconfigured as provided by law. See definition of a parcel, the next finding s

***Parcel:***

- (1) Includes a unit of land created: (a) By partitioning land as defined in LC 13.010.*
- (b) In compliance with all applicable planning, zoning and partitioning ordinances and regulations; or (c) By deed or land sales contract if there are no applicable planning, zoning or partitioning ordinances or regulations.*
- (2) It does not include a unit of land created solely to establish a separate tax account.*

**Finding 2:** This unit of land was created as a separate parcel on 7/14/1943 by Warranty Deed Book 267, Page 391 and reconfigured by Property Line Adjustment RR# 2012R/9479519, dated 11/07/1994 along with CSF 32321, and by Land Partition (Replat) 2001-P1501, dated 10/09/2001

**VI. FINAL** Based upon the above findings and the conditions as applied, the subject property is a parcel. Therefore, **APPROVAL** is granted for a Final Legal Lot pursuant Lane Code 13.020 for this parcel subject to conditions stated in Exhibit B of this staff report.

## EXHIBIT B

### CONDITIONS OF APPROVAL PA10-5823

**All of the following conditions are binding on the applicant or successive owner(s) of the parcel or successive applicant(s) who exercise this approval action.**

#### GENERAL CONDITIONS AND INFORMATION

1. A Final Legal Lot Determination means:

- a. Ownership in this property may be conveyed with the assurance that it will not require approval by Lane County under its land division regulations; and
- b. Lane County will recognize this property as a legally separate unit of land for the purposes of development. Nevertheless, development will still be subject to applicable zoning, sanitation, access, and building regulations

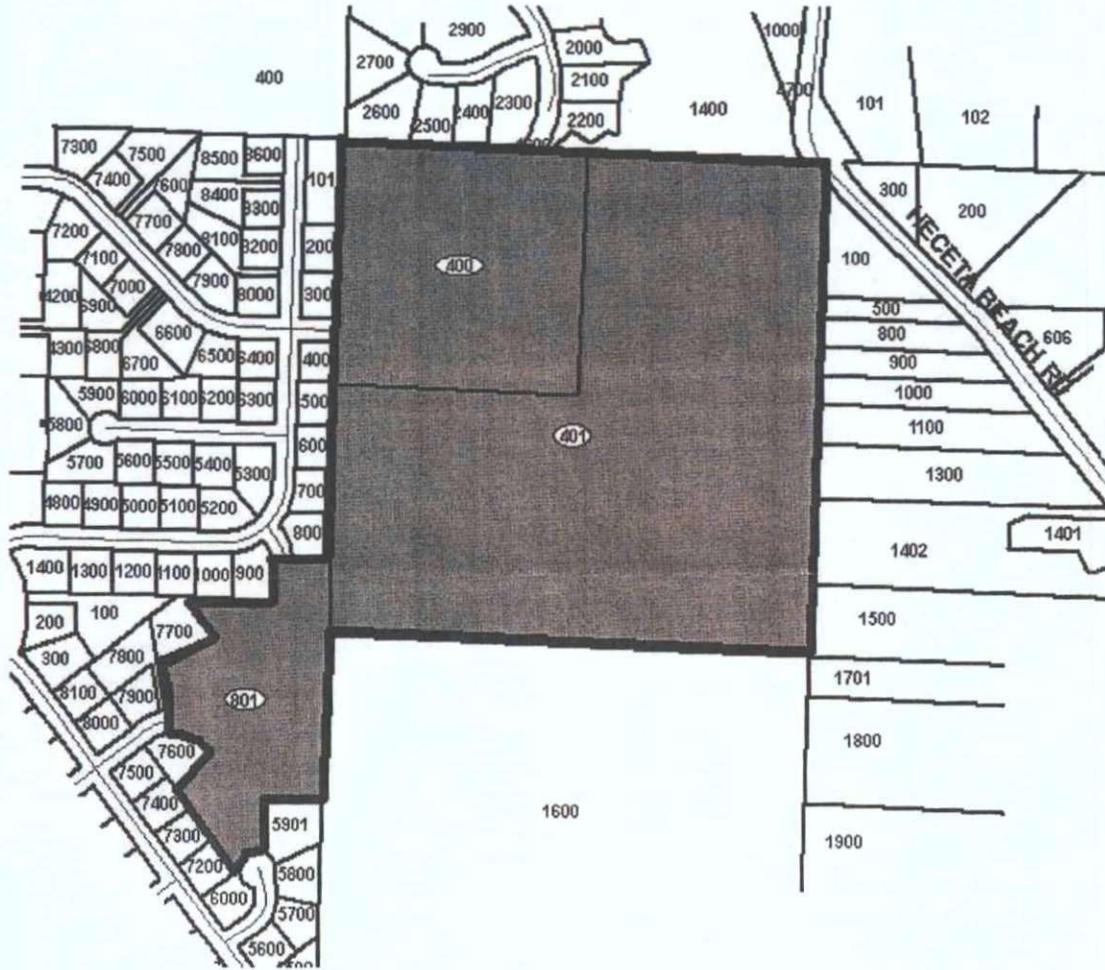
2. A Final Legal Lot Determination **does not** mean:

- a. a creation of a new lot, parcel, gap or overlap,
- b. a guaranty of continued recognition of prior land use approvals based on a specific location or on a particular parcel,
- c. a creation or determination of written or unwritten real property rights, ownership, title, or boundary location, and a final legal lot determination does not mean
- d. the parcel has been verified to have legal access as defined by LC 15.055.

**It is your responsibility to work with the identified departments to assure that the conditions are satisfactorily met within the prescribed time period.**

EXHIBIT C

VICINITY MAP WITH  
PROPERTY CONFIGURATION



*Note: This is only a graphical representation to aid in locating the approximate location of the subject property(ies). It is not intended to depict the actual location of the boundary nor is it the result of a survey. Information shown is based upon information provided by the Applicant.*

March 31, 2011

**Application Completeness Notice**



**EGR & Associates  
Clint Beecroft  
2535 B Prairie Rd.  
Eugene, Or. 97402**

LAND MANAGEMENT DIVISION  
[http://www.LaneCounty.org/PW\\_LMD/](http://www.LaneCounty.org/PW_LMD/)

Subject: PA 10-5821 (62 lot subdivision for Benedick Holdings LLC)  
Received on 11-18-10

The land use application(s) referenced above has/have been deemed complete and accepted for processing pursuant to Lane Code (LC) 14.050(3). Acceptance as a complete application does not involve determining if the application is approvable based on the applicable approval criteria. It is the responsibility of the applicant to demonstrate that the application meets the approval criteria. The information provided by the applicant may or may not be adequate for this purpose.

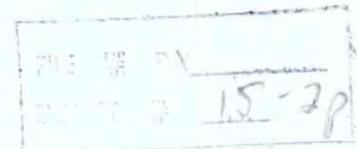
Staff are required by LC 14.050(3)(b)(iv) to mail this written notice to the applicant when an application is deemed complete. Staff will process your application(s) according to LC 14.050(4). A referral notice will be sent to the applicant, agent, agencies and surrounding property owners allowing a minimum 10 day comment period. Following the comment period, staff will process your application and evaluate whether the approval criteria are met. A land use decision with findings of fact and conditions of approval will then be mailed to the applicant, parties of record and surrounding property owners. Absent an appeal and upon expiration of the 12 day appeal period, your land use decision becomes final.

I have also taken PA 10-5824 (the variance application) off of "hold" status.

If you have any questions concerning this letter, please contact me at the number below, email, [Jerry.Kendall@co.lane.or.us](mailto:Jerry.Kendall@co.lane.or.us).

Sincerely,

Jerry Kendall/Associate Planner (541-682-4057)



**KENDALL Jerry**

---

**From:** KENDALL Jerry  
**Sent:** Thursday, March 31, 2011 3:51 PM  
**To:** 'Clint Beecroft'  
**Subject:** RE: Idylewood  
**Attachments:** EGR letter.rtf

Clint, enclosed is a form letter saying the subdiv. PA is now complete. Hard copy will be postmarked tomorrow.

Postmarked today was an earlier version which contains a minor error. You can ignore that one.

Jerry Kendall/Associate Planner/Lane County Oregon  
PSB/LMD  
125 E. 8th Ave.  
Eugene, Or. 97401  
ph: 541-682-4057  
FAX: 541-682-3947  
Jerry.Kendall@co.lane.or.us

---

**From:** Clint Beecroft [mailto:clintbeecroft@egrassoc.com]  
**Sent:** Wednesday, March 30, 2011 8:41 AM  
**To:** KENDALL Jerry  
**Cc:** 'Gene Benedick'  
**Subject:** Idylewood

Jerry,

Attached is a copy of the approval for the legal lot verification. This should represent the remaining information that you requested in order to deem the subdivision application (PA 10-5821) complete. A paper copy is forthcoming.

Clint Beecroft, P.E.  
EGR & Associates, Inc.  
Ph. (541) 688-8322

**KENDALL Jerry**

---

**From:** LAIRD Matt P  
**Sent:** Thursday, March 31, 2011 12:00 PM  
**To:** BOZIEVICH Jay K; NELSON Arno L  
**Cc:** MILLER Marsha A; PETSCH John S; KENDALL Jerry  
**Subject:** RE: Idlewood Stormdrain acceptance

Hello Comm. Bozievich,

Mr. Benedict has a 62 lot subdivision application pending with Lane County that was deemed complete on March 30, 2011. (Reference File PA 10-5824). Storm water issues will be reviewed as part of the land use process and will likely require an engineered drainage plan.

At this time, my advice to Mr. Campbell would be to write down his concerns and submit them into the record of the subdivision. He can also call the staff planner in charge of this project, Jerry Kendall (541.682.4057), if he would like to discuss details. If previous conditions of approval were not finalized, now would be the time to bring those issues back up. LMD is aware of previous flooding in the Idylewood Subdivision, so storm water issues will be closely reviewed.

Also, there is not guarantee that any drainage system built will be accepted and maintained by the County. It is more likely the drainage system will remain a private system maintained by a home owners association.

I should also note that subdivisions are often controversial and therefore may come before you as a decision maker in the future on appeal.

Let me know if you would like to discuss this matter further.

*Matt Laird*

LMD Manager

541.682.4349

Matt.Laird@co.lane.or.us

---

**From:** BOZIEVICH Jay K  
**Sent:** Tuesday, March 29, 2011 1:36 PM  
**To:** NELSON Arno L; LAIRD Matt P  
**Cc:** MILLER Marsha A  
**Subject:** Idlewood Stormdrain acceptance

Arno and Matt, I received a call from David Campbell (4985 Gull Settle Court) about Gene Benedict's failure to get the storm drainage accepted for County maintenance in Idlewood. He said there is a new phase that the developer is trying to start and he wondered how he can get approval of the phase without completing the stormwater system it drains into. Can you guys give me the 5-minute background on this? Thanks, Jay

03/31/2011

RECEIVED JAN 13 2011



# EGR & Associates, Inc.

Engineers, Geologists and Surveyors

2535B Prairie Road  
Eugene, Oregon 97402

(514) 688-8322  
Fax (541) 688-8087

## LETTER OF TRANSMITTAL

DATE: 1/11/11	JOB NO: 2080-07-0256
ATTENTION: Jerry Kendall	
RE: Idylewood 4 <sup>th</sup> Addition PA #10-5821	

TO: Lane County  
Attn: Jerry Kendall  
125 E. 8<sup>th</sup> Avenue  
Eugene, OR 97401

WE ARE SENDING YOU:

- |   |  |  |  |                                |
|---|--|--|--|--------------------------------|
| <input type="checkbox"/> Drawings             | <input checked="" type="checkbox"/> Report         | <input type="checkbox"/> Letter          | <input checked="" type="checkbox"/> Copy of Letter | <input type="checkbox"/> Plans |
| <input type="checkbox"/> Specifications       | <input type="checkbox"/> Change Order              | <input type="checkbox"/> _____           |  |                                |
| VIA: <input type="checkbox"/> Fax Transmittal | <input checked="" type="checkbox"/> Postal Service | <input type="checkbox"/> Express Courier | <input type="checkbox"/> Hand Deliver              | <input type="checkbox"/> _____ |

NO.	COPIES	DATE	DESCRIPTION
1	1		Wetland Delineation Report
2	1		DSL Concurrence Letter
3	1		USCOE Concurrence Letter

THESE ARE TRANSMITTED AS CHECKED BELOW:

- |  |  |  |   |   |
|--|--|--|---|---|
| <input checked="" type="checkbox"/> As Requested | <input checked="" type="checkbox"/> For Your Use | <input type="checkbox"/> For Approval            | <input type="checkbox"/> For Review and Comment | <input type="checkbox"/> Returned For Corrections |
| <input type="checkbox"/> Approved as Noted       | <input type="checkbox"/> Approved as Submitted   | <input type="checkbox"/> Return Corrected Prints | <input type="checkbox"/> Resubmit for Approval  | <input type="checkbox"/> _____                    |

**REMARKS:**

Jerry,

In response to the notice of incomplete application for PA 10-5821, the attached is being submitted to address Item #2.

A copy of the Legal Lot Verification (PA 10-5823) decision will be forwarded to you when available to address Item #1.

COPY TO: Gene Benedick via Email w/o Attachments  
File

SIGNED: Clint Beecroft

Clint Beecroft, PE

FILE NO. 13-986

---

**WETLAND INVESTIGATION & DELINEATION REPORT  
FOR  
GENE BENEDICK**

**SE¼, SECTION 10, T18S, R12W, WM  
LANE COUNTY OREGON**

---

**Prepared for: Julius E. Benedick  
27962 Ward Lane  
Eugene, Oregon 97402**

**Prepared by: Wetland Consultants  
Wilbur E. Ternyik  
Matthew J. Ternyik  
P.O. Box 1190  
Florence, Oregon 97439**

**Surveying by: Gene Wobbe  
Wobbe & Associates  
P.O. Box 3093  
Florence, Oregon 97439**

## TABLE OF CONTENTS

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Sections:

- Site Information
- Rainfall Record
- Field Data Sheet
- Photos
- Maps:
  - Location Map
  - Tax Lot Map
  - Local Wetland Inventory Map
  - County soil survey Map
  - Wetland Delineation Map

## **1.0 INTRODUCTION**

This wetland delineation investigation report was conducted by Wilbur and Matthew Ternyik (Wetland Consultants) at the request of Gene Benedick, owner of the property. The purpose of the field investigations was to delineate wetland boundaries of any and all jurisdictional wetlands present on the property. This was done by following guidelines contained in the 1987 US Army Corps of Engineers Wetland Delineation Manual. The developed information will be used in the planning designs for a small residential single family home subdivision. Also possibly for a COE/DSL Section 404 Fill/removal permit application. A wetland loss mitigation plan will be proposed if unavoidable wetland values are impacted.

## **2.0 SITE LOCATION**

As shown on the Location Map the entire 40.12 acre site is located in Western Lane County, Oregon. While as shown on the delineation map the northeast corner crosses Heceta Beach Road west of US Highway 101 and north of Florence, Oregon. The entire site is difficult to locate. Guided access will be available by contacting our office with several days prior notice; boots may be advisable. Call us at 541-997-2401.

As noted the site is west of US Highway 101 and southwest of Heceta Beach Road. Property to the north is Heceta South Subdivision, to the east and south is undeveloped land owned by Lane County (dunes and wetlands), to the west is Idylewood Subdivision. Legal description is SE¼ Section 10, T18S, R12W, W.M. Latitude 44° 02' 00" and Longitude 124° 11' 00".

## **2.1 HISTORICAL SITE INFORMATION**

Since this site is at present in its natural state being undisturbed by man there is no known history. However it is dunal complex of open active dunes, jurisdictional wetlands and

large elevated dune ridges classified by USDA, Soil Conservation Service as “Younger Stabilized Dunes.” Due to the fact that it is situated north and east of the Siuslaw River no beach sand enters the site. Added to this it is surrounded by major streets, roads and highways. US Highway 101 to the east, Heceta Beach Road to the north, Rhododendron Drive to the south and 35<sup>th</sup> Street further south.

These dunes were formed by the strong summer northwest dunes. Thus the deep dunal troughs located from northwest to southeast gets flooded (4 to 6 feet) in these dunal depressions every winter.

### **3.0 SITE CONDITIONS**

As stated above in the historical site conditions this site is a section of a larger interior dune complex. As shown on the location map and aerial photo it is located in the extreme northwest corner of this dune area. The land use to the north is residential and off site wetlands, to the east Lane County undeveloped land, to the south more Lane County undeveloped land, to the west is a residential subdivision. There is very little wind erosion due to topography. Again even though the east side of the property impounds and passes through significant rainfall the heavily vegetated drainage patterns prevent water erosion. Very steep dunal ridges dividing the dunal depressional wetland limit development potential.

### **3.1 TOPOGRAPHY**

Topography at this site varies more than most Florence sites; elevations of 12 to 30 degree slopes on the west side, then deep dunal wind troughs down to 0 to 12 degree slopes with some dunal depressions being 0 to 3 degree slopes . The east half is part of a large PEM/SS field wetland in the upper end of the Sandpines Watershed. Drainage from these larger on site wetlands flow south through Lane County lands and Sandpines Golf Links where it eventually outlets into the Siuslaw River.

### 3.2 HYDROLOGY

Hydrology at this site depends entirely on winter rainfall and several off sites manmade inflow channels in the northeast section. First Wetlands 4, 5, and 6 are connected by elevation to the entire South Heceta Lake wetland complex. While this entire area usually dries up during summer months; winter season rains water table covers the entire complex. Thus backing surface water depth into these three wetlands. In addition there is at present a 18-inch culvert under Lane County Heceta Beach Road that drains water into the complex. Even more important is an ODOT 48-inch culvert just south of Heceta Beach Road and US Highway 101 junction that flows at capacity during extreme winter storms.

This entire complex in times past was trapped by dunal elevations on the Lane County forty acres just south of the Study site. However several years ago someone with equipment dug several outlet trenches that drained several feet of the water south. This caused severe flooding and damage to Sandpines Golf Links and subdivisions down stream. Long term remedial measures are now being proposed by all parties within this small watershed; with the City of Florence leading the program by Watershed Drainage Districts.

### 3.3 SOILS

Soils are mapped by US Department of Agriculture; Natural Resource Conservation Service (NRCS) in 1987 for Lane County. See soil survey map.

**Netarts fine sand** (Map Unit 94C) 3 to 12 percent slopes, deep well drained soil, as mapped in the west portion of the study area.

**Waldport fine sand** (Map Unit 131C) 0 to 12 percent slopes, excessively drained, as mapped in the west portion of the study area.

**Waldport fine sand** (Map Unit 131E) 12 to 30 percent slopes, excessively drained as mapped in the mid-east portion of the study area.

**Yaquina loamy fine sand** (Map Unit 140) 0 to 3 percent slope, deep, somewhat Poorly drained soil is in low, interdune positions.

Inclusions: Bandon sandy loam, 0 to 7 percent slopes, is a well drained soil.  
 Heceta fine sand, 0 to 2 percent slopes, is a poorly drained soil.

During our field investigation hydric soil indicators, hydrophytic vegetation, and presences of hydrology were used to satisfy wetland manual criteria.

### **3.4 VEGETATION**

The following mixture of plant species exist within the area; with the dominant species with a (\*) behind the name.

#### **TREES**

<b>SCI-NAME</b>	<b>COMMON NAME</b>	<b>R9-IND</b>
Pinus contorta *	Shorepine	FAC
Pseudotsuga menziesii*	Douglas fir	FACU

#### **SHRUBS**

<b>SCI-NAME</b>	<b>COMMON NAME</b>	<b>R9-IND</b>
Arctostaphylos columbiana*	Bristly manzanita	FACU
Arctostaphylos uva-ursi*	Kinnikinnick	FACU-
Gaultheria shallon*	Salal	FACU
Malus fusca	Western crabapple	FACW
Myrica californica*	Pacific bayberry	FACW
Rhamnus purshiana	Cascara	FAC-
Rhododendron machrophyllum*	California rhododendron	UPL
Salix hookeriana	Hooker willow	FAC
Spiraea douglasii*	Douglas spirea	FACW
Vaccinium ovatum*	Evergreen huckleberry	UPL
Vaccinium uliginosum*	Bog blueberry	FACW+

#### **HERBS & GRASSES**

<b>SCI-NAME</b>	<b>COMMON NAME</b>	<b>R9-IND</b>
Carex obnupta*	Slough sedge	OBL
Carex rostrata	Beaked sedge	OBL
Carex sitchensis*	Water sedge	OBL
Deschampsia cespitosa*	Tufted hairgrass	FACW
Eleocharis ovata*	Ovoid spikerush	OBL
Potentilla anserina*	Pacific silverweed	OBL
Sphagnum capillifolium*	Small red peat moss	OBL

### **3.5 RARE & ENDANGERED SPECIES**

Based on Oregon Heritage Foundation Information Center reports for near vicinity projects (Sandpines Golf Links) we in our field investigation did not find any evidence of listed birds, plants, or animals. We are very familiar with the listed species in this section of the Oregon Coast.

### **3.6 CULTURAL RESOURCES**

While the local historical Siuslaw Indian Tribe lived within the Lower Siuslaw River section they mostly, as recorded, used the river, lakes, and ocean beaches for foraging, living areas and burial sites. History records that these Indians were canoe Indians with no horses. Their Cultural Resource Protection Coordinator, Arrow Coyote, then made a site visit accompanied by Matthew Ternyik on 11/05/07. She stated that there was no visible evidence of native Indian use at the site. An official Tribal report confirming her site visit results will be forwarded to us. If during construction activities any artifacts or other evidence of Indian habitation is found the tribes will be notified and work will cease until they inspect the area.

### **4.0 WETLAND DELINEATION METHODS USED**

Wetlands are defined as areas that are inundated or saturated by surface or ground water at a frequency and duration sufficient to support, and that under normal circumstances to support a prevalence of vegetation typically adapted for like in saturated soil conditions. This type of vegetation know as hydrophytic vegetation, is one of the diagnostic environmental characteristics indicative of a wetland. A second diagnostic characteristic is the presence of hydric soils. Generally, hydric soils are those soils that have developed under anaerobic conditions due to saturation or inundation by surface of groundwater. A third diagnostic characteristic is wetland hydrology, defined as the permanent or periodic

inundation or saturation of the soil to the surface. *Hydrophytic vegetation, hydric soils, and wetland hydrology are the three criteria that must be satisfied when making a wetland determination.*

The delineation of the uplands and wetlands of the site and the resulting mapping was arrived at by the use of published sources and investigative methods. The boundary between the upland and the delineated wetland was based on the visual identification of the plant community, soil sampling to identify hydric soils and hydrologic data gathered during the site visits. The border between the wetland and upland is marked with Observation point locations were flagged and the photo section contains photos of both upland and wetland locations. The purpose being to give the delineation reviewer visual Illustrations at the selected data sheet test sites. Gene Wobbe & Associates prepared the complete and accurate map. All observation points are located on the map as well as wetland boundaries of all wetlands. In addition photo locations and their direction are identified.

#### **4.1 WETLAND DELINEATION RESULTS**

The results of the wetland delineation investigation and prepared delineation map identified a total of six jurisdictional wetlands. All wetland boundaries of the six wetlands were flagged with orange wetland boundary tape. All data OBS Pts plus their locations are accurately located on the surveyed Wetland Delineation Map as well as photo locations. All six wetlands are listed below with their Cowardin Classifications and HGM Classifications.

Wetland 1	Cowardin Classification: PEM/SS HGM Classification: DNCP Total size of Wetland 1: 0.122 AC
Wetland 2	Cowardin Classification: PEM/SS HGM Classification: DNCP Total size of Wetland 2: 0.050 AC

Wetland 3	Cowardin Classification: PSS HGM Classification: DNCP Total size of Wetland 3: 0.006 AC
Wetland 4	Cowardin Classification: PEM/SS HGM Classification: DO Total size of Wetland 4: 3.487 AC
Wetland 5	Cowardin Classification: PEM/SS HGM Classification: DO Total size of Wetland 5: 3.226 AC
Wetland 6	Cowardin Classification: PEM/SS HGM Classification: DO Total size of Wetland 6: 12.575 AC

Total Size of Property/Study Area: 40.12 AC

Total Size of Wetland Area: 19.488 AC

Total Study Site Visits: 14

Difficulties: Topography, flooding, area visits by kayaks and hip boots.

#### **4.2 FINAL CONCLUSIONS & RECOMMENDATIONS**

Due to the steep slopes erosion barrier should be installed to prevent water erosion infill of wetlands. All disturbed areas should be stabilized both temporary, with permanent plans for the critical phase should have prior written approval by either Lane County or City of Florence before construction takes place.

Close cooperation with Lane County should take place as the downstream drainage outlets are very important to long term success of the project. Disturbed upland area will result in unvegetated land needing re-vegetation before the next winter season.

#### **5.0 CONSULTANT DISCLAIMER**

We believe the services performed for this study site investigation were conducted with the level of care and skill ordinarily exercised in our area of expertise. The data presented in this report is believed to be representative of conditions at the site. The

conclusions are professional opinions in accordance with current standards of professional practice and no warranty is expressed or implied.

#### **5.1 DSL CONCURRENCE DECISION STATEMENT**

This report documents the investigation, best professional judgment and conclusions of the investigators. It should be considered a Preliminary Jurisdictional Determination and used at your own risk until it has been reviewed and approved in writing by the Oregon Department of State Lands in accordance with OAR 141-090-0005 through 141-090-0055.

## REFERENCES:

Environmental Laboratory, 1987, *Corps of Engineers Wetlands Delineation Manual*, Technical Report & 87-1, U.S. Army Corps of Engineers Waterways Experiment Station, Vicksburg, MS

Federal Interagency Committee for Wetland Delineation, 1989, *Federal Manual for Identifying and Delineating Jurisdictional Wetlands*, U.S. Army Corps of Engineers, U.S. Environmental Protection Agency, U.S. Fish & Wildlife Service, and U.S.D.A. Soil Conservation Service, Washington, D.C. Cooperative technical publication 238pp.

Kollmorgan Corporation, 1994 Edition, *Munsell Soil Color Charts*. Macbeth Division of Kollmorgan Instruments Corporation, Newburgh, NY

Reed, P.B. 1988 *National List of Plant Species that Occur in Wetlands: Northwest (Region 9)*, U.S. Fish and Wildlife Service, Biological Report 88 (26.9) 89 pp.

U.S. Department of Agriculture (USDA), Natural Resources Conservation Service (NRCS) *Soil Survey of Lane County Area, Oregon (1989)*, Washington D.C.

Florence Local Wetland Inventory (1996), Pacific Habitat Services, Inc.

Oregon National Heritage Information Center, Portland, Oregon (List of ESA noted within the vicinity of the site)

Site  
Information



31 January 2008

Wilbur and Matt Ternyik  
Wetland Consultant

Re: Residential Development  
18S/12W Sec. 10 TL #400, 401  
Owner: Benedick

Wilbur and Matt,

The project entails creation of a residential development. I examined the site on November 11, 2007 and found the area to contain undulating, vegetated dunes. There are no known cultural sites in the project area and no significant cultural materials were noted in the examination. **Therefore, the Confederated Tribes of Coos, Lower Umpqua, and Siuslaw Indians have no objections to this project. However, we do request to be contacted immediately if any known or suspected cultural resources are encountered during any phase of the work.**

Please also be aware that federal and state laws prohibit intentional excavation of known or suspected cultural resources without an archaeological permit and require that we be notified immediately if resources are discovered, uncovered, or disturbed. 43 CFR 10 applies on tribal and federal lands, federal projects, federal agencies, as well as to federal actions and federally funded (directly or indirectly) projects. ORS 97.745 prohibits the willful removal, mutilation, defacing, injury, or destruction of any cairn, burial, human remains, funerary objects, or objects of cultural patrimony of any native Indian. ORS 358.920 prohibits excavation injury, destruction, or alteration of an archaeological site or object or removal of an archaeological object from **public or private lands.**

Arrow Coyote, M.A., R.P.A  
Cultural Resource Protection Coordinator  
Confederated Tribes of the Coos, Lower Umpqua & Siuslaw Indians  
1245 Fulton Ave.  
Coos Bay, OR. 97420  
Office: (541) 888-7513  
Fax: (541) 888-2853  
Cell: (541) 297-5543  
acoyote@ctclusi.org

**AERIAL MAP  
WESTERN LANE COUNTY, OREGON**



**JULIUS E. BENEDICK  
PROPERTY  
18-12-10-4, TL 400 & 401  
SE 1/4, SEC. 10, T18S, R12W, W.M.  
WESTERN LANE COUNTY, OREGON**

# Wetland Characterization Sheet



**Project Name:** Florence Local Wetlands Inventory

Date(s) of field verification: <i>OFF-SITE</i>	Wetland Mapping Code: <i>SP-33A, B</i>
Data Sheet Numbers:	Size (acres): <i>1.09</i>
Investigator(s):	Wetland Classification(s): <i>PSS</i>

Location -- Legal: <i>T. 18S, R. 12W, SEC. 11, 3</i> Other: <i>South of Heceta Beach Road, west of Hwy. 101</i> Hydrologic basin: <i>Sand Pines</i>	Tax lot(s):  <i>18121000-200</i> <i>18121040-400</i>
Soil -- Mapped series: <i>Yaquina loamy fine sand, Hydric</i>	
Hydrologic Source: <i>Groundwater</i>	

Dominant Wetland Vegetation			
TREES	SHRUBS	VINES	HERBS

**Comments:**  
 SP-33A=Small, isolated scrub shrub wetlands adjacent to Kelsie Court. North of the road.  
 SP-33B=Scrub shrub wetland south of Heceta Beach Road. Appears to be topographically defined by steep banks.

Wetland Classification Codes:  
 PFO = palustrine forested      PSS = palustrine scrub-shrub      PEM = palustrine emergent      POW = palustrine open water

# Wetland Characterization Sheet



**Project Name:** Florence Local Wetlands Inventory

Date(s) of field verification: <i>November 6, 1996</i>	Wetland Mapping Code: <i>SP-34</i>
Data Sheet Numbers: <i>147, 148</i>	Size (acres): <i>4.64</i>
Investigator(s): <i>JVS/PF</i>	Wetland Classification(s): <i>PSS, PUB, PEM</i>

Location -- Legal: <i>T. 18S, R. 12W, SEC. 11</i> Other: <i>South of Heceta Beach Road, west of Hwy. 101</i> Hydrologic basin: <i>Sand Pines</i>	Tax lot(s):  <i>18121040-400,401</i>  <i>1600</i>
Soil -- Mapped series: <i>Yaquina loamy fine sand, Hydric</i>	
Hydrologic Source: <i>Groundwater</i>	

Dominant Wetland Vegetation			
TREES	SHRUBS	VINES	HERBS
	<i>Vaccinium uliginosum</i>		<i>Deschampsia cespitosa</i>
	<i>Spiraea douglasii</i>		<i>Carex obnupta</i>
			<i>Juncus supiniformis</i>

**Comments:**  
 Large, high quality narrow wetland with a variety of open water, scrub-shrub and emergent vegetation. Defined topographically by sand dunes (stabilized and advancing).  
 Adjacent upland species: *Vaccinium ovatum, Gaultheria shallon, Pinus contorta.*

**UNCOMMON WETLAND PLANT COMMUNITY. WETLAND OF SPECIAL INTEREST.**

Wetland Classification Codes:  
 PFO = palustrine forested      PSS = palustrine scrub-shrub      PEM = palustrine emergent      POW = palustrine open water

Rainfall  
Records

# RAINFALL RECORD

Western Lane County, Oregon

Date: May 2007  
Precipitation

May - 1	0.60
May - 2	0.45
May - 3	0.23
May - 4	0
May - 5	0
May - 6	0
May - 7	0
May - 8	0
May - 9	0
May - 10	0
May - 11	0
May - 12	0
May - 13	0
May - 14	0
May - 15	0
May - 16	0
May - 17	0
May - 18	0.10
May - 19	0
May - 20	0.20
May - 21	0
May - 22	0
May - 23	0
May - 24	0
May - 25	0
May - 26	0
May - 27	0
May - 28	0
May - 29	0
May - 30	0
May - 31	0

Date: November 2007  
Precipitation

November - 1	0
November - 2	0
November - 3	0
November - 4	0
November - 5	0
November - 6	0
November - 7	0
November - 8	0
November - 9	0.45
November - 10	0.05
November - 11	0.50
November - 12	0.22
November - 13	0
November - 14	0.18
November - 15	0.60
November - 16	1.58
November - 17	0.61
November - 18	1.65
November - 19	0.11
November - 20	0
November - 21	0
November - 22	0
November - 23	0
November - 24	0
November - 25	0
November - 26	0.57
November - 27	0.03
November - 28	0.25
November - 29	0.32
November - 30	0.05

Date: December 2007  
Precipitation

December - 1	0.76
December - 2	2.90
December - 3	1.04
December - 4	0.21
December - 5	0.20
December - 6	0.25
December - 7	0.23
December - 8	0
December - 9	0.02
December - 10	0
December - 11	0
December - 12	0
December - 13	0.07
December - 14	0.18
December - 15	0
December - 16	1.00
December - 17	0.85
December - 18	0.47
December - 19	1.51

• •

# Data Sheets



87' ROUTINE ONSITE DETERMINATION METHOD

Wetland # 1

OBS.PT.# 1A

Plant community: WETLAND

Field investigator(s) Wilbur E. and Matthew J. TERNYK

Project/Site: 18-12-10-40 TL 400 & 401

Date: 5-14-07

Applicant Owner: Julius E. Benedick

State: OR County: LANE

27962 Ward Lane

OBS location: IN WETLAND #1

Eugene, OR 97402

SOUTHEAST PORTION

Do normal environmental conditions exist? Yes  No  (If no, explain)

Has the vegetation, soils, and /or hydrology been significantly disturbed? Yes  No

Explain: \_\_\_\_\_

VEGETATION

5' Rad.  4'  M<sup>2</sup>

Dominant Species Status % Cover Dominant Species Status % Cover

Tree Stratum

Herb Stratum

Total Cover: 20

Total Cover: 90

- 45' 1. Pinus contorta FAC 100 \*
2. \_\_\_\_\_
3. \_\_\_\_\_
4. \_\_\_\_\_

- 2 to 3' 1. Carex OBUNPTA OBL 56 \*
2. SPIRALNUM CAPILLIFLORA OBL 44 \*
3. \_\_\_\_\_
4. \_\_\_\_\_

Sapling/Shrub Stratum

Total Cover: 20

1. Vaccinium uliginosum FACW+100 \*
2. \_\_\_\_\_
3. \_\_\_\_\_
4. \_\_\_\_\_
5. \_\_\_\_\_

7. \_\_\_\_\_
8. \_\_\_\_\_
9. \_\_\_\_\_
10. \_\_\_\_\_

Percent Dominant Species that are OBL, FACW, and/or FAC 100 100 \* = Dominants 4 of 4

Criteria Met? Yes  No  Other Notable Species: \_\_\_\_\_

SOILS

Map Unit Name: YAGUENA LOAMY FINE SAND Drainage Class: SOMEWHAT POORLY DRAINED

Is the soil on hydric soils list: Yes  No  Undetermined

Soil is a histosol? Yes  No  Histic epipedon? Yes  No  Gleyed? Yes  No

Depth Matrix Color Redox Concentrations\* Redox Depletions\* Texture Structure

.5" TO .5"	NEEDLES				
0.5" TO 1"	2.5Y 4/1			L, S.S.	GRANULAR - ROOTS/ORG.
1" TO 4"	2.5Y 4/2			F.S	GRANULAR - ROOTS/ORG. ST
4" TO 14"	2.5Y 4/3	10YR 4/4 CMF		F.S	GRANULAR - ORG. ST

Hydric Soil Indicators:

- Sulfidic Odor  Listed on Hydric Soils List
- Redox. features (w/in 10")  Concretions/ Nodules (w/ in 3"; > 2mm)
- High organic content in surface (sandy soils)
- Organic streaking (in Sandy Soils)
- Organic pan ( in sandy soils)

Criteria Met? Yes  No  Rationale: SIMILAR TO YAGUENA SERIES.

HYDROLOGY

Recorded data

- Recorded Data available  Aerial Photos  Stream Gauge  other
- No Recorded Data Available

Field Data

Is ground surface inundated? Yes  No  Surface water depth: \_\_\_\_\_

Is the soil saturated? Yes  No  Depth to free standing water in pit/soil probe hole: 3"

Primary Hydrology Indicators:

Secondary Hydrology Indicators (2 or more required):

- Inundated  Oxidized Root Channels (upper 12")
- Saturated in upper 12"  Water-stained Leaves
- Water Marks  Local Soil Survey
- Drift Lines  FAC-Neutral test
- Sediment Deposits  Drainage Patterns  Moist

Criteria Met? Yes  No  \* SEASONAL POCKET WETLAND

Jurisdictional Determination : Is this a wetland? Yes  No  Rationale: THE THREE WETLAND

CRITERIA HAVE BEEN MET.

87' ROUTINE ONSITE DETERMINATION METHOD

Wetland # 2

OBS.PT.# 1

Plant community: WPLAND

Field investigator(s) Wilbur E. and Matthew J. Terynk

Project/Site: 18-12-10-40 TL 400 & 401

Date: 5-14-07

Applicant Owner: Julius E. Benedick

State: OR County: LANE

27962 Ward Lane

OBS location: WPLAND RESERVE EAST OF

Eugene, OR 97402

W # 2 NORTH PORTION

Do normal environmental conditions exist? Yes  No  (If no, explain)

Has the vegetation, soils, and /or hydrology been significantly disturbed? Yes  No

Explain: .....

VEGETATION 5' Rad.  4'  M<sup>2</sup>

Dominant Species Status % Cover Dominant Species Status % Cover

Tree Stratum Herb Stratum

Total Cover: 10 Total Cover: \_\_\_\_\_

- 40' 1. PENUS CONTORTA FAC 100
- 2. \_\_\_\_\_
- 3. \_\_\_\_\_
- 4. \_\_\_\_\_

Sapling/Shrub Stratum

Total Cover: 100

- 6' to 10' 1. VACCINIUM OJATUM WPL 40 \*
- 6' to 8' 2. GAUJITERIA SHALLOX FACW 30 \*
- 12' 3. RHODODENDRON MACRAPHYLLUM FACW 20 \*
- 8' 4. MYRECA CALIFORNICA FACW 10
- 5. \_\_\_\_\_

Percent Dominant Species that are OBL, FACW, and/or FAC 100 0 \* = Dominants 0 of 3

Criteria Met? Yes  No  Other Notable Species: T-ARCTOSTAPHYLOS COLUMBIANA (FACW)

SOILS

Map Unit Name: WALPOET FINE SAND Drainage Class: EXCESSIVELY DRAINED

Is the soil on hydric soils list: Yes  No  Undetermined

Soil is a histosol? Yes  No  Histic epipedon? Yes  No  Gleyed? Yes  No

Depth Matrix Color Redox Concentrations\* Redox Depletions\* Texture Structure

4" TO 0	<u>LEWES/026</u>				
0 TO 5"	<u>10YR 4/1</u>			<u>F.S</u>	<u>GRANULAR-ROOTS</u>
5" TO 5"	<u>10YR 3/2</u>			<u>F.S</u>	<u>GRANULAR-ROOTS</u>
5" TO 14"	<u>10YR 5/3</u>			<u>F.S</u>	<u>GRANULAR-ROOTS</u>

Hydric Soil Indicators:

- Sulfidic Odor  Listed on Hydric Soils List
- Redox. features (w/in 10")  Concretions/ Nodules (w/ in 3"; > 2mm)
- High organic content in surface (sandy soils)
- Organic streaking (in Sandy Soils)
- Organic pan ( in sandy soils)

Criteria Met? Yes  No  Rationale: SIMILAR TO WALPOET SERIES.

HYDROLOGY

Recorded data

- Recorded Data available  Aerial Photos  Stream Gauge  other
- No Recorded Data Available

Field Data

Is ground surface inundated? Yes  No  Surface water depth: \_\_\_\_\_

Is the soil saturated? Yes  No  Depth to free standing water in pit/soil probe hole: NONE

Primary Hydrology Indicators: Secondary Hydrology Indicators (2 or more required):

- Inundated  Oxidized Root Channels (upper 12")
- Saturated in upper 12"  Water-stained Leaves
- Water Marks  Local Soil Survey
- Drift Lines  FAC-Neutral test
- Sediment Deposits  Drainage Patterns  Moist

\* 4' ELEVATION CHANGE

Criteria Met? Yes  No

Jurisdictional Determination : Is this a wetland? Yes  No  Rationale: THE THREE WETLAND

CRITERIA HAVE NOT BEEN MET.

87' ROUTINE ONSITE DETERMINATION METHOD

Wetland # 2

OBS.PT.# 1A

Plant community: WETLAND

Field investigator(s) Wilbur E. and Matthew J. TERNYK

Project/Site: 18-12-10-40 TL 400 & 401

Date: 5-14-07

Applicant Owner: Julius E. Benedick

State: OR County: LANE

27962 Ward Lane  
Eugene, OR 97402

OBS location: IN WETLAND #2 NORTH  
PORTCOV

Do normal environmental conditions exist? Yes  No  (If no, explain) \_\_\_\_\_

Has the vegetation, soils, and /or hydrology been significantly disturbed? Yes  No

Explain: \_\_\_\_\_

VEGETATION			5' Rad. <u>x</u> 4' <sup>2</sup>	M <sup>2</sup>
Dominant Species	Status	% Cover	Dominant Species	Status % Cover
Tree Stratum			Herb Stratum	
Total Cover: _____			Total Cover: <u>50</u>	
1. _____			1. <u>CAREX OBNOXIATA</u>	<u>OBL</u> <u>100</u> *
2. _____			2. _____	
3. _____			3. _____	
4. _____			4. _____	
Sapling/Shrub Stratum			5. _____	
Total Cover: <u>35</u>			6. _____	
1. <u>VACCINIUM LILIFOLIUM FACW</u>		<u>57</u> *	7. _____	
2. <u>MYRICA CALIFORNICA FACW</u>		<u>43</u>	8. _____	
3. _____			9. _____	
4. _____			10. _____	
5. _____				

Percent Dominant Species that are OBL, FACW, and/or FAC 100 100 \* = Dominants 2 of 2

Criteria Met? Yes  No  Other Notable Species: \_\_\_\_\_

SOILS

Map Unit Name: YACQUENA LOAMY FINE SAND Drainage Class: SOMEWHAT POORLY DRAINED

Is the soil on hydric soils list: Yes  No  Undetermined \_\_\_\_\_

Soil is a histosol? Yes  No  Histic epipedon? Yes  No  Gleyed? Yes  No

Depth	Matrix Color	Redox Concentrations*	Redox Depletions*	Texture	Structure
<u>1.5 TO 0.5"</u>	<u>NEEDLE/ORG.</u>				
<u>0.5 TO 1"</u>	<u>10R 3/1</u>			<u>L, F. S.</u>	<u>Sub. Blocky - FINE ROOTS/ORG.</u>
<u>1" TO 5"</u>	<u>2.5 Y 4/1</u>			<u>L, F. S.</u>	<u>GRANULAR - F. ROOTS/ORG. ST.</u>
<u>5" TO 14"</u>	<u>2.5 Y 4/2</u>	<u>7.5 Y R 3/3 CMF</u>		<u>F. S.</u>	<u>Sub. Blocky - ROOTS/ORG. ST.</u>

Hydric Soil Indicators:

- Sulfidic Odor  Listed on Hydric Soils List
- Redox features (w/in 10")  Concretions/ Nodules (w/ in 3"; > 2mm)
- High organic content in surface (sandy soils)
- Organic streaking (in Sandy Soils)
- Organic pan ( in sandy soils)

Criteria Met? Yes  No  Rationale: SIMILAR TO YACQUENA SERIES.

HYDROLOGY

Recorded data  
 Recorded Data available  Aerial Photos  Stream Gauge  other  
 No Recorded Data Available

Field Data  
 Is ground surface inundated? Yes  No  Surface water depth: \_\_\_\_\_  
 Is the soil saturated? Yes  No  Depth to free standing water in pit/soil probe hole: 4"

Primary Hydrology Indicators:  Inundated  Saturated in upper 12"  Water Marks  Drift Lines  Sediment Deposits

Secondary Hydrology Indicators (2 or more required):  Oxidized Root Channels (upper 12")  Water-stained Leaves  Local Soil Survey  FAC-Neutral test  Drainage Patterns  Moist

Criteria Met? Yes  No  \* SEASONAL POCKET WETLAND

Jurisdictional Determination : Is this a wetland? Yes  No  Rationale: THE THREE WETLAND CRITERIA HAVE BEEN MET.

87' ROUTINE ONSITE DETERMINATION METHOD

Wetland # 3

OBS.PT.# 1

Plant community: UPLAND

Field investigator(s) Wilbur E. and Matthew J. TERNYK

Project/Site: 18-12-10-40 TL 400 & 401

Date: 5-14-07

Applicant Owner: Julius E. Benedick

State: OR County: LANE

27962 Ward Lane

OBS location: UPLAND RESE S.W. CORNER

Eugene, OR 97402

WETLAND #3, SOUTH PORTION

Do normal environmental conditions exist? Yes  No  (If no, explain)

Has the vegetation, soils, and/or hydrology been significantly disturbed? Yes  No

Explain: NEW FACW WITH A PORTION OF VEGETATION/DUE TO "BRUSHHOLE" EXPIRETEARY ROAD.

**VEGETATION**

5' Rad.  4'  M<sup>2</sup>

Dominant Species Status % Cover Dominant Species Status % Cover

Tree Stratum

Herb Stratum

Total Cover: \_\_\_\_\_

Total Cover: \_\_\_\_\_

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_
4. \_\_\_\_\_

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_
4. \_\_\_\_\_

Sapling/Shrub Stratum

Total Cover: 100

- 2' to 7' 1. LAWTHERIA SHALLOW FACW 40 \*
- 2' to 10' 2. VACCINIUM OVATUM UPL 40 \*
- 3' to 5' 3. RHODODENDRON MACHROPHYLLUM FACW 20 \*
4. \_\_\_\_\_
5. \_\_\_\_\_

5. \_\_\_\_\_
6. \_\_\_\_\_
7. \_\_\_\_\_
8. \_\_\_\_\_
9. \_\_\_\_\_
10. \_\_\_\_\_

Percent Dominant Species that are OBL, FACW, and/or FAC 100 0 \* = Dominants 0 of 3

Criteria Met? Yes  No  Other Notable Species: \_\_\_\_\_

**SOILS**

Map Unit Name: WALDRAT FINE SAND Drainage Class: EXCESSIVELY DRAINED

Is the soil on hydric soils list: Yes  No  Undetermined

Soil is a histosol? Yes  No  Histic epipedon? Yes  No  Gleyed? Yes  No

Depth Matrix Color Redox Concentrations\* Redox Depletions\* Texture Structure

4" TO 0 Duff/ORGANICS \_\_\_\_\_

0 TO 5" 10YR 3/1 \_\_\_\_\_ FS, L GRANULAR-ROOTS/ORG.

5" TO 18" 10YR 5/4 \_\_\_\_\_ FS GRANULAR-ROOTS

**Hydric Soil Indicators:**

- Sulfidic Odor  Listed on Hydric Soils List
- Redox. features (w/in 10")  Concretions/ Nodules (w/ in 3"; > 2mm)
- High organic content in surface (sandy soils)
- Organic streaking (in Sandy Soils)
- Organic pan ( in sandy soils)

Criteria Met? Yes  No  Rationale: SIMILAR TO WALDRAT SERIES.

**HYDROLOGY**

**Recorded data**

- Recorded Data available  Aerial Photos  Stream Gauge  other
- No Recorded Data Available

**Field Data**

Is ground surface inundated? Yes  No  Surface water depth: \_\_\_\_\_

Is the soil saturated? Yes  No  Depth to free standing water in pit/soil probe hole: NONE

Primary Hydrology Indicators: Secondary Hydrology Indicators (2 or more required):

- Inundated  Oxidized Root Channels (upper 12")
- Saturated in upper 12"  Water-stained Leaves
- Water Marks  Local Soil Survey
- Drift Lines  FAC-Neutral test
- Sediment Deposits  Drainage Patterns  Moist

\* 3' ELEV. CHANGE

Criteria Met? Yes  No

Jurisdictional Determination : Is this a wetland? Yes  No  Rationale: THE THREE WETLAND CRITERIA HAVE NOT BEEN MET.

87' ROUTINE ONSITE DETERMINATION METHOD

Wetland # 3

OBS.PT.# 1A

Plant community: WETLAND

Field investigator(s) Wilbur E. and Matthew J. TERNYK

Project/Site: 18-12-10-40 TL 400 & 401

Date: 5-14-07

Applicant Owner: Julius E. Benedick

State: OR County: LANE

27962 Ward Lane  
Eugene, OR 97402

OBS location: IN WETLAND #3  
SOUTH PORTON

Do normal environmental conditions exist? Yes  No  (If no, explain) \_\_\_\_\_

Has the vegetation, soils, and /or hydrology been significantly disturbed? Yes  No

Explain: NEW GROWTH ON VEGETATION/DUE TO "BRUSHY" EXPLORATORY ROAD.

VEGETATION			5' Rad.	4' <sup>2</sup>	M <sup>2</sup>
Dominant Species	Status	% Cover	Dominant Species	Status	% Cover
<b>Tree Stratum</b>			<b>Herb Stratum</b>		
Total Cover: _____			Total Cover: _____		
1. _____			1. _____		
2. _____			2. _____		
3. _____			3. _____		
4. _____			4. _____		
<b>Sapling/Shrub Stratum</b>			5. _____		
Total Cover: <u>30</u>			6. _____		
1. <u>SPIRAEA DOUGLASSII FACW 100 *</u>			7. _____		
2. _____			8. _____		
3. _____			9. _____		
4. _____			10. _____		
5. _____					

Percent Dominant Species that are OBL, FACW, and/or FAC 100 100 \* = Dominants 1 of 1  
Criteria Met? Yes  No  Other Notable Species: T-VACCINIUM OVATUM (UPL)

**SOILS**

Map Unit Name: YACQUENA LOAMY FINE SAND Drainage Class: SOMEWHAT POORLY DRAINED

Is the soil on hydric soils list: Yes  No  Undetermined

Soil is a histosol? Yes  No  Histic epipedon? Yes  No  Gleyed? Yes  No

Depth	Matrix Color	Redox Concentrations*	Redox Depletions*	Texture	Structure
<u>5" TO</u>	<u>LEAVES/WOOD DEBRIS</u>				
<u>0 TO 4"</u>	<u>2.5Y 3/2</u>			<u>L, FS</u>	<u>GRANULAR-ROOTS/ORG.</u>
<u>4" TO 16"</u>	<u>2.5Y 4/2</u>	<u>10YR 4/4 cmh</u>		<u>S, S</u>	<u>GRANULAR-ORG. ST.</u>

**Hydric Soil Indicators:**

- Sulfidic Odor
- Redox. features (w/in 10")
- High organic content in surface (sandy soils)
- Organic streaking (In Sandy Soils)
- Organic pan ( in sandy soils)
- \* Listed on Hydric Soils List
- Concretions/ Nodules (w/ in 3"; > 2mm)

Criteria Met? Yes  No  Rationale: SIMILAR TO YACQUENA SERIES.

**HYDROLOGY**

**Recorded data**

- Recorded Data available
- Aerial Photos
- Stream Gauge
- other
- No Recorded Data Available

**Field Data**

Is ground surface inundated? Yes  No  Surface water depth: \_\_\_\_\_  
Is the soil saturated? Yes  No  Depth to free standing water in pit/soil probe hole: 4"

Primary Hydrology Indicators: \_\_\_\_\_ Secondary Hydrology Indicators (2 or more required): \_\_\_\_\_

- Inundated
- Saturated in upper 12"
- Water Marks
- Drift Lines
- Sediment Deposits
- Drainage Patterns
- Moist
- Oxidized Root Channels (upper 12")
- Water-stained Leaves
- Local Soil Survey
- FAC-Neutral test

Criteria Met? Yes  No  \* SEASONAL POCKET WETLAND

Jurisdictional Determination : Is this a wetland? Yes  No  Rationale: THE THREE WETLAND CRITERIA HAVE BEEN MET.

87' ROUTINE ONSITE DETERMINATION METHOD

Wetland # 4

OBS.PT.# 1

Plant community: UPLAND

Field investigator(s) Wilbur E. and Matthew J. Terynik

Project/Site: 18-12-10-40 TL 400 & 401

Date: 5-15-07

Applicant Owner: Julius E. Benedick

State: OR County: LANE

27962 Ward Lane

OBS location: UPLAND RISE EAST OF

Eugene, OR 97402

N.W. PORTION OF WETLAND #4

Do normal environmental conditions exist? Yes  No  (If no, explain) \_\_\_\_\_

Has the vegetation, soils, and /or hydrology been significantly disturbed? Yes  No

Explain: \_\_\_\_\_

**VEGETATION**

5' Rad.  4'  M<sup>2</sup>

Dominant Species Status % Cover Dominant Species Status % Cover

Tree Stratum

Herb Stratum

Total Cover: 20

Total Cover: \_\_\_\_\_

- 40' 1. PSUEDOTSUGA MENZIESII FACU 100\*  
 2. \_\_\_\_\_  
 3. \_\_\_\_\_  
 4. \_\_\_\_\_

1. \_\_\_\_\_  
 2. \_\_\_\_\_  
 3. \_\_\_\_\_  
 4. \_\_\_\_\_  
 5. \_\_\_\_\_

Sapling/Shrub Stratum

Total Cover: \_\_\_\_\_

- 12' 1. MYRICA CALIFORNICA FACW 20\*  
 8' to 32' 2. VACCINIUM OVATUM UPL 40\*  
 3. GAUTHIERIA SHALLOW 15  
 4. ARCTOSTAPHYLOS COLUMBIANA 25\*  
 5. \_\_\_\_\_

6. \_\_\_\_\_  
 7. \_\_\_\_\_  
 8. \_\_\_\_\_  
 9. \_\_\_\_\_  
 10. \_\_\_\_\_

Percent Dominant Species that are OBL, FACW, and/or FAC 100 0 \* = Dominants 0 of 4

Criteria Met? Yes  No  Other Notable Species: \_\_\_\_\_

**SOILS**

Map Unit Name: WALDPORT FINE SAND Drainage Class: EXCESSIVELY DRAINED

Is the soil on hydric soils list: Yes  No  Undetermined

Soil is a histosol? Yes  No  Histic epipedon? Yes  No  Gleyed? Yes  No

Depth Matrix Color Redox Concentrations\* Redox Depletions\* Texture Structure

3" to 6" ORL/RGTS/DIBBS \_\_\_\_\_ \_\_\_\_\_ \_\_\_\_\_ \_\_\_\_\_

6" to 12" 10YR 3/1 \_\_\_\_\_ \_\_\_\_\_ FS GRANULAR-ROOTS

2" to 14" 10YR 5/4-4/3 \_\_\_\_\_ \_\_\_\_\_ F.S. GRANULAR-ROOTS

**Hydric Soil Indicators:**

- Sulfidic Odor
- Redox. features (w/in 10")
- High organic content in surface (sandy soils)
- Organic streaking (in Sandy Soils)
- Organic pan ( in sandy soils)
- Listed on Hydric Soils List
- Concretions/ Nodules (w/ in 3"; > 2mm)

Criteria Met? Yes  No  Rationale: SIMILAR TO WALDPORT SERIES.

**HYDROLOGY**

**Recorded data**

- Recorded Data available
- Aerial Photos
- Stream Gauge
- other
- No Recorded Data Available

**Field Data**

Is ground surface inundated? Yes  No  Surface water depth: \_\_\_\_\_

Is the soil saturated? Yes  No  Depth to free standing water in pit/soil probe hole: NONE

Primary Hydrology Indicators: \_\_\_\_\_ Secondary Hydrology Indicators (2 or more required): \_\_\_\_\_

- Inundated
- Saturated in upper 12"
- Water Marks
- Drift Lines
- Sediment Deposits
- Oxidized Root Channels (upper 12")
- Water-stained Leaves
- Local Soil Survey
- FAC-Neutral test
- Drainage Patterns
- Moist

Criteria Met? Yes  No

Jurisdictional Determination : Is this a wetland? Yes  No  Rationale: THE THREE WETLAND

CRITERIA HAVE NOT BEEN MET.

\* 4' ELEV. CHANGE

87' ROUTINE ONSITE DETERMINATION METHOD

Wetland # 4

OBS.PT.# 1A

Plant community: WETLAND

Field Investigator(s) Wilbur E. and Matthew J. TERNYK

Project/Site: 18-12-10-40 TL 400 & 401

Date: 5-15-07

Applicant Owner: Julius E. Benedick

State: OR County: LANE

27962 Ward Lane

OBS location: IN WETLAND #4, EAST

Eugene, OR 97402

SEDE OF N.W. PORTCOIN

Do normal environmental conditions exist? Yes  No  (If no, explain)

Has the vegetation, soils, and/or hydrology been significantly disturbed? Yes  No

Explain: \_\_\_\_\_

VEGETATION			5' Rad. <input checked="" type="checkbox"/>	4' <sup>2</sup> <input type="checkbox"/>	M <sup>2</sup> <input type="checkbox"/>
Dominant Species	Status	% Cover	Dominant Species	Status	% Cover
<b>Tree Stratum</b>			<b>Herb Stratum</b>		
Total Cover: _____			Total Cover: <u>70</u>		
1. _____			6' to 1' 1. <u>CAREX OBNOBATA</u>	<u>OBL</u>	<u>71</u> *
2. _____			6' 2. <u>DESCHAMPSIA CESPERSA</u>	<u>FACW</u>	<u>29</u> *
3. _____			3. _____		
4. _____			4. _____		
<b>Sapling/Shrub Stratum</b>			5. _____		
Total Cover: <u>65</u>			6. _____		
2' to 4' 1. <u>SPIRAEA DOUBLASIE</u>	<u>FACW</u>	<u>62</u> *	7. _____		
1' 2. <u>VACCINIUM VITIGENESUM</u>	<u>FACW</u>	<u>38</u> *	8. _____		
3. _____			9. _____		
4. _____			10. _____		
5. _____					

Percent Dominant Species that are OBL, FACW, and/or FAC 100 100 \* = Dominants 4 of 4  
Criteria Met? Yes  No  Other Notable Species: T-MALUS FUSCA (FACW)

SOILS

Map Unit Name: LOAMY FINE SAND Drainage Class: \_\_\_\_\_

Is the soil on hydric soils list: Yes  No  Undetermined

Soil is a histosol? Yes  No  Histic epipedon? Yes  No  Gleyed? Yes  No

Depth	Matrix Color	Redox Concentrations*	Redox Depletions*	Texture	Structure
1" to 0"	<u>ORL/NEEDLES</u>				
0" to 6"	<u>2.5Y 4/1</u>			<u>L, S.S.</u>	<u>GRANULAR - FINE ROOTS / ORL</u>
6" to 9"	<u>2.5Y 3/1</u>	<u>10YR 4/4 (M)</u>		<u>L, S.S.</u>	<u>GRANULAR - ROOTS / ORL ST.</u>
9" to M"	<u>2.5Y 4/3, 4/1</u>			<u>S.S.</u>	<u>GRANULAR - ROOTS / ORL ST.</u>

Hydric Soil Indicators:

- Sulfidic Odor
- Redox. features (w/in 10")
- High organic content in surface (sandy soils)
- Organic streaking (in Sandy Soils)
- Organic pan ( in sandy soils)
- Listed on Hydric Soils List
- Concretions/ Nodules (w/ in 3"; > 2mm)

Criteria Met? Yes  No  Rationale: STRONG HYDRIC SOILS INDICATORS. BPJ

HYDROLOGY

Recorded data

- Recorded Data available
- Aerial Photos
- Stream Gauge
- other
- No Recorded Data Available

Field Data

- Is ground surface inundated? Yes  No  Surface water depth: \_\_\_\_\_
- Is the soil saturated? Yes  No  Depth to free standing water in pit/soil probe hole: \_\_\_\_\_
- Primary Hydrology Indicators:**
  - Inundated
  - Saturated in upper 12"
  - Water Marks
  - Drift Lines
  - Sediment Deposits
- Secondary Hydrology Indicators (2 or more required):**
  - Oxidized Root Channels (upper 12")
  - Water-stained Leaves
  - Local Soil Survey
  - FAC-Neutral test
  - Moist
- Drainage Patterns

Criteria Met? Yes  No

Jurisdictional Determination : Is this a wetland? Yes  No  Rationale: THE THREE WETLANDS CRITERIA HAVE BEEN MET.

87' ROUTINE ONSITE DETERMINATION METHOD

Wetland # 4

OBS.PT.# 2

Plant community: UPLAND

Field investigator(s) Wilbur E. and Matthew J. TERNYK

Project/Site: 18-12-10-40 TL 400 & 401

Date: 5-15-07

Applicant Owner: Julius E. Benedick

State: OR County: LANE

27962 Ward Lane

OBS location: UPLAND RISE WEST OF

Eugene, OR 97402

MID. WEST PORTLAND WETLAND #4

Do normal environmental conditions exist? Yes  No  (If no, explain)

Has the vegetation, soils, and /or hydrology been significantly disturbed? Yes  No

Explain: \_\_\_\_\_

**VEGETATION**

5' Rad.  4'  M<sup>2</sup> \_\_\_\_\_

Dominant Species Status % Cover Dominant Species Status % Cover

Tree Stratum

Herb Stratum

Total Cover: 20

Total Cover: \_\_\_\_\_

- 50' 1. PSUEDOTSUGA MENZIESII FACU 100 \*
- 2. \_\_\_\_\_
- 3. \_\_\_\_\_
- 4. \_\_\_\_\_

- 1. \_\_\_\_\_
- 2. \_\_\_\_\_
- 3. \_\_\_\_\_
- 4. \_\_\_\_\_

Sapling/Shrub Stratum

Total Cover: 100

- 15' to 20' 1. RHODODENDRON MACHROPHYLLUM FACU 50 \*
- 20' 2. MYRTICA CALIFORNICA FACW 20 \*
- 4' to 8' 3. LANATHERIA SHALLEN FACU 10
- 12' 4. VACCINIUM OVATUM WPL 20 \*
- 5. \_\_\_\_\_

- 5. \_\_\_\_\_
- 6. \_\_\_\_\_
- 7. \_\_\_\_\_
- 8. \_\_\_\_\_
- 9. \_\_\_\_\_
- 10. \_\_\_\_\_

Percent Dominant Species that are OBL, FACW, and/or FAC 100 25 \* = Dominants 1 of 4

Criteria Met? Yes  No  Other Notable Species: \_\_\_\_\_

**SOILS**

Map Unit Name: WALDPORT FINE SAND Drainage Class: EXCESSIVELY DRAINED

Is the soil on hydric soils list: Yes  No  Undetermined \_\_\_\_\_

Soil is a histosol? Yes  No  Histic epipedon? Yes  No  Gleyed? Yes  No

Depth Matrix Color Redox Concentrations\* Redox Depletions\* Texture Structure

Depth	Matrix Color	Redox Concentrations*	Redox Depletions*	Texture	Structure
0 to 0	Duff				
0 to 2"	10YR 3/1			f.s.	GRANULAR - ROOTS/ORG.
2 to 12"	10YR 5/3, 4/4			f.s.	GRANULAR - ROOTS

**Hydric Soil Indicators:**

- Sulfidic Odor
- Redox. features (w/in 10")
- High organic content in surface (sandy soils)
- Organic streaking (in Sandy Soils)
- Organic pan ( in sandy soils)
- Listed on Hydric Soils List
- Concretions/ Nodules (w/ in 3"; > 2mm)

Criteria Met? Yes  No  Rationale: SIMILAR TO WALDPORT SERIES.

**HYDROLOGY**

**Recorded data**

- Recorded Data available
- Aerial Photos
- Stream Gauge
- other
- No Recorded Data Available

**Field Data**

Is ground surface inundated? Yes  No  Surface water depth: \_\_\_\_\_

Is the soil saturated? Yes  No  Depth to free standing water in pit/soil probe hole: NONE

Primary Hydrology Indicators: \_\_\_\_\_ Secondary Hydrology Indicators (2 or more required): \_\_\_\_\_

- Inundated
- Saturated in upper 12"
- Water Marks
- Drift Lines
- Sediment Deposits
- Oxidized Root Channels (upper 12")
- Water-stained Leaves
- Local Soil Survey
- FAC-Neutral test
- Drainage Patterns
- Moist

Criteria Met? Yes  No

Jurisdictional Determination : Is this a wetland? Yes  No  Rationale: THE THREE WETLAND CRITERIA HAVE NOT BEEN MET.

87' ROUTINE ONSITE DETERMINATION METHOD

Wetland # 4

OBS.PT.# 2A

Plant community: WETLAND

Field investigator(s) Wilbur E. and Matthew J. TERNYK

Project/Site: 18-12-10-40 TL 400 & 401

Date: 11-27-07

Applicant Owner: Julius E. Benedick

State: OR County: LANE

27962 Ward Lane  
Eugene, OR 97402

OBS location: IN WETLAND #4 MED  
SOUTHWEST PORTION.

Do normal environmental conditions exist? Yes  No  (If no, explain) \_\_\_\_\_

Has the vegetation, soils, and /or hydrology been significantly disturbed? Yes  No

Explain: \_\_\_\_\_

**VEGETATION**

5' Rad.  4'  M<sup>2</sup>

Dominant Species Status % Cover Dominant Species Status % Cover

Tree Stratum

Herb Stratum

Total Cover: \_\_\_\_\_

Total Cover: 70

- 1. \_\_\_\_\_
- 2. \_\_\_\_\_
- 3. \_\_\_\_\_
- 4. \_\_\_\_\_

- 3' to 4'. CAREX SETCHESIS OBL 71 \*
- 1' 2. DESCHAMPSEA CESPITOSA FACW 29 \*
- 3. \_\_\_\_\_
- 4. \_\_\_\_\_

Sapling/Shrub Stratum

Total Cover: 30

- 8' 1. SPERMOPHYTES DOUBLASII FACW 100 \*
- 2. \_\_\_\_\_
- 3. \_\_\_\_\_
- 4. \_\_\_\_\_
- 5. \_\_\_\_\_

- 5. \_\_\_\_\_
- 6. \_\_\_\_\_
- 7. \_\_\_\_\_
- 8. \_\_\_\_\_
- 9. \_\_\_\_\_
- 10. \_\_\_\_\_

Percent Dominant Species that are OBL, FACW, and/or FAC 100 100 \* = Dominants 3 of 3

Criteria Met? Yes  No  Other Notable Species: T. Polyanthum SSP

**SOILS**

Map Unit Name: YAGUENA LOAMY FINE SAND Drainage Class: SOMEWHAT POORLY DRAINED

Is the soil on hydric soils list: Yes  No  Undetermined

Soil is a histosol? Yes  No  Histic epipedon? Yes  No  Gleyed? Yes  No

Depth Matrix Color Redox Concentrations\* Redox Depletions\* Texture Structure

Depth	Matrix Color	Redox Concentrations*	Redox Depletions*	Texture	Structure
<u>0-100</u>	<u>LEAVES</u>				
<u>0 to 2"</u>	<u>10YR 3/1</u>			<u>L, FS.</u>	<u>GRANULAR - FINE ROOTS / GR L.</u>
<u>2" to 16"</u>	<u>2.5Y 4/2</u>	<u>10YR 4/4 CMD</u>		<u>F.S.</u>	<u>GRANULAR - FINE ROOTS / ORG. ST.</u>

Hydric Soil Indicators:

- Sulfidic Odor  Listed on Hydric Soils List
- Redox. features (w/in 10")  Concretions/ Nodules (w/ in 3"; > 2mm)
- High organic content in surface (sandy soils)
- Organic streaking (in Sandy Soils)
- Organic pan ( in sandy soils)

Criteria Met? Yes  No  Rationale: SIMILAR TO YAGUENA SERIES.

**HYDROLOGY**

Recorded data

- Recorded Data available  Aerial Photos  Stream Gauge  other
- No Recorded Data Available

Field Data

Is ground surface inundated? Yes  No  Surface water depth: \_\_\_\_\_

Is the soil saturated? Yes  No  Depth to free standing water in pit/soil probe hole: NONE

Primary Hydrology Indicators:

Secondary Hydrology Indicators (2 or more required):

- Inundated  Oxidized Root Channels (upper 12")
- Saturated in upper 12"  Water-stained Leaves
- Water Marks  Local Soil Survey
- Drift Lines  FAC-Neutral test
- Sediment Deposits  Drainage Patterns  Moist  SEASONAL

Criteria Met? Yes  No

Jurisdictional Determination : Is this a wetland? Yes  No  Rationale: THE THREE WETLAND CRITERIA HAVE BEEN MET.

87' ROUTINE ONSITE DETERMINATION METHOD

Wetland # 4

OBS.PT.# 3

Plant community: UPLAND

Field investigator(s) Wilbur E. and Matthew J. TERNYK

Project/Site: 18-12-10-40 TL 400 & 401

Date: 11-27-07

Applicant Owner: Julius E. Benedick

State: OR County: LANE

27962 Ward Lane

OBS location: UPLAND RISE WEST

Eugene, OR 97402

OF S.W. PORTION OF WETLAND #4

Do normal environmental conditions exist? Yes  No  (If no, explain) \_\_\_\_\_

Has the vegetation, soils, and /or hydrology been significantly disturbed? Yes  No

Explain: \_\_\_\_\_

VEGETATION 5' Rad.  4'  M<sup>2</sup>

Dominant Species Status % Cover Dominant Species Status % Cover

Tree Stratum Herb Stratum

Total Cover: \_\_\_\_\_ Total Cover: \_\_\_\_\_

- |          |          |
|----------|----------|
| 1. _____ | 1. _____ |
| 2. _____ | 2. _____ |
| 3. _____ | 3. _____ |
| 4. _____ | 4. _____ |

Sapling/Shrub Stratum

Total Cover: 100

- 12' 1. RHODODENDRON MACHROPHYLLUM FACW 40 \*  
 10' 2. VACCINIUM OVATUM WPL 30 \*  
 10' 3. LEWISIA SALLICIFLORA FACW 30 \*

5. \_\_\_\_\_  
 6. \_\_\_\_\_  
 7. \_\_\_\_\_  
 8. \_\_\_\_\_  
 9. \_\_\_\_\_  
 10. \_\_\_\_\_

Percent Dominant Species that are OBL, FACW, and/or FAC 100 \_\_\_\_\_ \* = Dominants 0 of 3

Criteria Met? Yes  No  Other Notable Species: \_\_\_\_\_

SOILS

Map Unit Name: WALDPART FINE SAND Drainage Class: EXCESSIVELY DRAINED

Is the soil on hydric soils list: Yes  No  Undetermined \_\_\_\_\_

Soil is a histosol? Yes  No  Histic epipedon? Yes  No  Gleyed? Yes  No

Depth	Matrix Color	Redox Concentrations*	Redox Depletions*	Texture	Structure
10" to 2"	Duff				
0 to 2"	10YR 3/1			F.S.	CRANULAR - ROOTS 100%
2 to 8"	10YR 4/2			F.S.	CRANULAR - ROOTS
8 to 16"	10YR 5/3			F.S.	CRANULAR

- Hydric Soil Indicators:
- Sulfidic Odor
  - Redox. features (w/in 10")
  - High organic content in surface (sandy soils)
  - Organic streaking (In Sandy Soils)
  - Organic pan ( In sandy soils)

- Listed on Hydric Soils List
- Concretions/ Nodules (w/ in 3"; > 2mm)

Criteria Met? Yes  No  Rationale: SIMILAR TO WALDPART SERIES.

HYDROLOGY

Recorded data  
 Recorded Data available  Aerial Photos  Stream Gauge  other  
 No Recorded Data Available

- Field Data
- Is ground surface inundated? Yes  No  Surface water depth: \_\_\_\_\_
- Is the soil saturated? Yes  No  Depth to free standing water in pit/soil probe hole: NONE
- Primary Hydrology Indicators:
- Inundated
  - Saturated in upper 12"
  - Water Marks
  - Drift Lines
  - Sediment Deposits
- Secondary Hydrology Indicators (2 or more required):
- Oxidized Root Channels (upper 12")
  - Water-stained Leaves
  - Local Soil Survey
  - FAC-Neutral test
  - Drainage Patterns
  - Moist

\* 5' ELEV. CHANGE

Criteria Met? Yes  No

Jurisdictional Determination : Is this a wetland? Yes  No  Rationale: THE THREE WETLAND CRITERIA HAVE NOT BEEN MET.

87' ROUTINE ORSITE DETERMINATION METHOD

Wetland # 4

OBS.PT.# 3A

Plant community: WETLAND

Field Investigator(s) Wilbur E. and Matthew J. TERNYK

Project/Site: 18-12-10-40 TL 400 & 401

Date: 11-27-07

Applicant Owner: Julius E. Benedick

State: OR County: LANE

27962 Ward Lane

OBS location: IN WETLAND #4

Eugene, OR 97402

SOUTHWEST PORTCOY

Do normal environmental conditions exist? Yes  No  (If no, explain) \_\_\_\_\_

Has the vegetation, soils, and /or hydrology been significantly disturbed? Yes  No

Explain: \_\_\_\_\_

\*\*\*\*\*  
 VEGETATION 5' Rad.  4'  M<sup>2</sup> \_\_\_\_\_  
 Dominant Species Status % Cover Dominant Species Status % Cover

\*OVER HANGING UPLAND VEG.

Tree Stratum

Herb Stratum

Total Cover: \_\_\_\_\_

Total Cover: 30

1. \_\_\_\_\_

1' to 3' 1. CAREX OIBNUPA OBL 33

2. \_\_\_\_\_

8" 2. DESCHAMPSIA CESPITOSA FACW 67 \*

3. \_\_\_\_\_

3. \_\_\_\_\_

4. \_\_\_\_\_

4. \_\_\_\_\_

Sapling/Shrub Stratum

5. \_\_\_\_\_

Total Cover: 70

6. \_\_\_\_\_

2' to 3' 1. VACCINIUM ULTRINOSUM FACW 57 \*

7. \_\_\_\_\_

3' to 6' 2. SPIRAEA DOUGLASSI FACW 43 \*

8. \_\_\_\_\_

3. \_\_\_\_\_

9. \_\_\_\_\_

4. \_\_\_\_\_

10. \_\_\_\_\_

5. \_\_\_\_\_

Percent Dominant Species that are OBL, FACW, and/or FAC 100 100 \* = Dominants 3 of 3

Criteria Met? Yes  No  Other Notable Species: T-MYRICA CALIFORNICA (FACW)

SOILS

Map Unit Name: YAGUENA LOAMY FINE SAND Drainage Class: SOMEWHAT POORLY DRAINED

Is the soil on hydric soils list: Yes  No  Undetermined

Soil is a histosol? Yes  No  Histic epipedon? Yes  No  Gleyed? Yes  No

Depth Matrix Color Redox Concentrations\* Redox Depletions\* Texture Structure

0-5 TO 0 LETTER/LEAVES

0 TO 2" 10YR 5/1 L.S.S. GRANULAR - FINE ROOTS/ORG.

2" TO 16" 2.5Y 4/2 10YR 4/4 CMID F.S. GRANULAR - FINE ROOTS/ORG ST

Hydric Soil Indicators:

- Sulfidic Odor
- Redox. features (w/in 10")
- High organic content in surface (sandy soils)
- Organic streaking (In Sandy Soils)
- Organic pan ( in sandy soils)
- Listed on Hydric Soils List
- Concretions/ Nodules (w/ in 3"; > 2mm)

Criteria Met? Yes  No  Rationale: SIMILAR TO YAGUENA SERIES.

HYDROLOGY

Recorded data

- Recorded Data available
- Aerial Photos
- Stream Gauge
- other
- No Recorded Data Available

Field Data

Is ground surface inundated? Yes  No  Surface water depth: \_\_\_\_\_

Is the soil saturated? Yes  No  Depth to free standing water in pit/soil probe hole: NONE

Primary Hydrology Indicators: \_\_\_\_\_ Secondary Hydrology Indicators (2 or more required): \_\_\_\_\_

Inundated  Oxidized Root Channels (upper 12")

Saturated in upper 12"  Water-stained Leaves

Water Marks  Local Soil Survey

Drift Lines  FAC-Neutral test

Sediment Deposits  Drainage Patterns  Moist \*SEASONAL

Criteria Met? Yes  No

Jurisdictional Determination : Is this a wetland? Yes  No  Rationale: THE THREE WETLAND CRITERIA HAVE BEEN MET.

87' ROUTINE ONSITE DETERMINATION METHOD

Wetland # 4

OBS.PT.# 4

Plant community: upland

Field investigator(s) Wilbur E. and Matthew J. TERNYK

Project/Site: 18-12-10-40 TL 400 & 401

Date: 11-27-07

Applicant Owner: Julius E. Benedick

State: OR County: LANE

27962 Ward Lane

OBS location: UPLAND RISE EAST OF

Eugene, OR 97402

WETLAND #4 M2D: N.W. PORTCOU

Do normal environmental conditions exist? Yes  No  (If no, explain)

Has the vegetation, soils, and /or hydrology been significantly disturbed? Yes  No

Explain: \_\_\_\_\_

**VEGETATION**      5' Rad.  4'  M<sup>2</sup>

<b>Dominant Species</b>	<b>Status</b>	<b>% Cover</b>	<b>Dominant Species</b>	<b>Status</b>	<b>% Cover</b>
-------------------------	---------------	----------------	-------------------------	---------------	----------------

**Tree Stratum**

**Herb Stratum**

Total Cover: 40

Total Cover: \_\_\_\_\_

- 40' 1. PINUS CONTORTA    FAC    100 \*  
 2. \_\_\_\_\_  
 3. \_\_\_\_\_  
 4. \_\_\_\_\_

1. \_\_\_\_\_  
 2. \_\_\_\_\_  
 3. \_\_\_\_\_  
 4. \_\_\_\_\_  
 5. \_\_\_\_\_  
 6. \_\_\_\_\_  
 7. \_\_\_\_\_  
 8. \_\_\_\_\_  
 9. \_\_\_\_\_  
 10. \_\_\_\_\_

**Sapling/Shrub Stratum**

Total Cover: 80

- 10' 1. VACCINIUM OVATUM    LPL    38 \*  
 2 to 5' 2. LAWTHERIA SHALON    FACW    38 \*  
 13' 3. RHODODENDRON MACRAPHYLLUM    FACW    25 \*  
 4. \_\_\_\_\_  
 5. \_\_\_\_\_

Percent Dominant Species that are OBL, FACW, and/or FAC 100 25 \* = Dominants 1 of 4

Criteria Met? Yes  No  Other Notable Species: T-PSUEDOTSUGA MENZIEFFI (FACW)

**SOILS**

Map Unit Name: FINE SAND      Drainage Class: \_\_\_\_\_

Is the soil on hydric soils list: Yes  No  Undetermined

Soil is a histosol? Yes  No  Histic epipedon? Yes  No  Gleyed? Yes  No

Depth	Matrix Color	Redox Concentrations*	Redox Depletions*	Texture	Structure
2" TO 6"	<u>LTTR/NEEDLES</u>	_____	_____	_____	_____
0 TO 1"	<u>10YR 4/2</u>	_____	_____	<u>S.S.</u>	<u>GRANULAR-ROOTS</u>
1" TO 16"	<u>10YR 5/2</u>	_____	_____	<u>S.S.</u>	<u>GRANULAR-ROOTS</u>

**Hydric Soil Indicators:**

- |  |   |
|--|---|
| <input type="checkbox"/> Sulfidic Odor                                 | <input type="checkbox"/> Listed on Hydric Soils List            |
| <input type="checkbox"/> Redox. features (w/in 10")                    | <input type="checkbox"/> Concretions/ Nodules (w/ in 3"; > 2mm) |
| <input type="checkbox"/> High organic content in surface (sandy soils) |   |
| <input type="checkbox"/> Organic streaking (in Sandy Soils)            |   |
| <input type="checkbox"/> Organic pan ( in sandy soils)                 |   |

Criteria Met? Yes  No  Rationale: LACKING HYDRIC SOIL INDICATORS, BPJ

**HYDROLOGY**

**Recorded data**

- Recorded Data available     Aerial Photos     Stream Gauge     other  
 No Recorded Data Available

**Field Data**

Is ground surface inundated? Yes  No  Surface water depth: \_\_\_\_\_

Is the soil saturated? Yes  No  Depth to free standing water in pit/soil probe hole: NONE

**Primary Hydrology Indicators:**

**Secondary Hydrology Indicators (2 or more required):**

- |   |   |
|---|---|
| <input type="checkbox"/> Inundated              | <input type="checkbox"/> Oxidized Root Channels (upper 12") |
| <input type="checkbox"/> Saturated in upper 12" | <input type="checkbox"/> Water-stained Leaves               |
| <input type="checkbox"/> Water Marks            | <input type="checkbox"/> Local Soil Survey                  |
| <input type="checkbox"/> Drift Lines            | <input type="checkbox"/> FAC-Neutral test                   |
| <input type="checkbox"/> Sediment Deposits      | <input type="checkbox"/> Drainage Patterns                  |
| <input type="checkbox"/> Moist                  |   |

\* 4' ELEV. CHANGE

Criteria Met? Yes  No

Jurisdictional Determination : Is this a wetland? Yes  No  Rationale: THE THREE WETLANDS

CRITERIA HAVE NOT BEEN MET.

87' ROUTINE ONSITE DETERMINATION METHOD

Wetland # 4

OBS.PT.# 4A

Plant community: WETLAND

Field Investigator(s) Wilbur E. and Matthew J. Ternyk

Project/Site: 18-12-10-40 TL 400 & 401

Date: 11-27-07

Applicant Owner: Julius E. Benedick

State: OR County: LANE

27962 Ward Lane

OBS location: IN WETLAND #4 NORTH,

Eugene, OR 97402

MED. EAST PUGETSON

Do normal environmental conditions exist? Yes  No  (If no, explain) \_\_\_\_\_

Has the vegetation, soils, and /or hydrology been significantly disturbed? Yes  No

Explain: \_\_\_\_\_

VEGETATION

5' Rad. 4' x M<sup>2</sup> \_\_\_\_\_

Dominant Species Status % Cover Dominant Species Status % Cover

Tree Stratum

Herb Stratum

Total Cover: 30

Total Cover: 100

40 1. PINUS CONTORTA FAC 100 \*

1 To 2 1. CAREX OBNOBTA OBL 100 \*

2. \_\_\_\_\_

2. \_\_\_\_\_

3. \_\_\_\_\_

3. \_\_\_\_\_

4. \_\_\_\_\_

4. \_\_\_\_\_

Sapling/Shrub Stratum

5. \_\_\_\_\_

Total Cover: \_\_\_\_\_

6. \_\_\_\_\_

1. \_\_\_\_\_

7. \_\_\_\_\_

2. \_\_\_\_\_

8. \_\_\_\_\_

3. \_\_\_\_\_

9. \_\_\_\_\_

4. \_\_\_\_\_

10. \_\_\_\_\_

5. \_\_\_\_\_

Percent Dominant Species that are OBL, FACW, and/or FAC 100 100 \* = Dominants 2 of 2

Criteria Met? Yes  No  Other Notable Species: \_\_\_\_\_

SOILS

Map Unit Name: YAGUENA LOAMY FINE SAND Drainage Class: SOMEWHAT POORLY DRAINED

Is the soil on hydric soils list? Yes  No  Undetermined

Soil is a histosol? Yes  No  Histic epipedon? Yes  No  Gleyed? Yes  No

Depth	Matrix Color	Redox Concentrations*	Redox Depletions*	Texture	Structure
<u>0 to .5"</u>	<u>10YR 2/2</u>			<u>L.F.S.</u>	<u>GRANULAR - FEWE ROOTS</u>
<u>.5" to 10"</u>	<u>10YR 4/1</u>	<u>10YR 4/3 CMF</u>		<u>F.S.</u>	<u>GRANULAR - FEWE ROOTS / ORG. ST.</u>
<u>10" to 16"</u>	<u>10YR 5/4</u>	<u>10YR 4/6 CMD</u>		<u>F.S.</u>	<u>GRANULAR - FEWE ROOTS</u>
_____	_____	_____	_____	_____	_____

Hydric Soil Indicators:

- Sulfitic Odor  Listed on Hydric Soils List
- Redox. features (w/in 10")  Concretions/ Nodules (w/ in 3"; > 2mm)
- High organic content in surface (sandy soils)
- Organic streaking (in Sandy Soils)
- Organic pan ( in sandy soils)

Criteria Met? Yes  No  Rationale: SIMILAR TO YAGUENA SERIES.

HYDROLOGY

Recorded data

- Recorded Data available  Aerial Photos  Stream Gauge  other
- No Recorded Data Available

Field Data

Is ground surface inundated? Yes  No  Surface water depth: \_\_\_\_\_

Is the soil saturated? Yes  No  Depth to free standing water in pit/soil probe hole: NONE

Primary Hydrology Indicators:

Secondary Hydrology Indicators (2 or more required):

- Inundated  Oxidized Root Channels (upper 12")
- Saturated in upper 12"  Water-stained Leaves NEEDLES
- Water Marks  Local Soil Survey
- Drift Lines  FAC-Neutral test
- Sediment Deposits  Drainage Patterns  Moist \*SEASONAL

Criteria Met? Yes  No

Jurisdictional Determination : Is this a wetland? Yes  No  Rationale: THE THREE WETLAND CRITERIA HAVE BEEN MET.

87' ROUTINE ONSITE DETERMINATION METHOD

Wetland # 4

OBS.PT.# 5

Plant community: UPLAND

Field investigator(s) Wilbur E. and Matthew J. TERNYK

Project/Site: 18-12-10-40 TL 400 & 401

Date: 11-27-07

Applicant Owner: Julius E. Benedick

State: OR County: LANE

27962 Ward Lane

OBS location: UPLAND AREA WEST OF

Eugene, OR 97402

N.E. EAST PORTION OF WETLAND #4

Do normal environmental conditions exist? Yes  No  (If no, explain)

Has the vegetation, soils, and /or hydrology been significantly disturbed? Yes  No

Explain: \_\_\_\_\_

**VEGETATION**

5' Rad.  4'  M<sup>2</sup>

Dominant Species Status % Cover Dominant Species Status % Cover

Tree Stratum

Herb Stratum

Total Cover: 10

Total Cover: \_\_\_\_\_

- 5' to 16'  
1. PENNS CONTORTA FAC 100  
2. \_\_\_\_\_  
3. \_\_\_\_\_  
4. \_\_\_\_\_

1. \_\_\_\_\_  
2. \_\_\_\_\_  
3. \_\_\_\_\_  
4. \_\_\_\_\_

Sapling/Shrub Stratum

Total Cover: 90

1. ARCTOSTAPHYLOS UVA-URSI FACW - 22 \*  
2' to 4' 2. GAUATHEREA SHALLOU FACW 44 \*  
3' to 8' 3. VACCINIUM QUARTUM UPL 33 \*  
4. \_\_\_\_\_  
5. \_\_\_\_\_

5. \_\_\_\_\_  
6. \_\_\_\_\_  
7. \_\_\_\_\_  
8. \_\_\_\_\_  
9. \_\_\_\_\_  
10. \_\_\_\_\_

Percent Dominant Species that are OBL, FACW, and/or FAC 100 0 \* = Dominants 0 of 3

Criteria Met? Yes  No  Other Notable Species: \_\_\_\_\_

**SOILS**

Map Unit Name: FINE SAND Drainage Class: \_\_\_\_\_

Is the soil on hydric soils list: Yes  No  Undetermined

Soil is a histosol? Yes  No  Histic epipedon? Yes  No  Gleyed? Yes  No

Depth Matrix Color Redox Concentrations\* Redox Depletions\* Texture Structure

Depth	Matrix Color	Redox Concentrations*	Redox Depletions*	Texture	Structure
5" TO 10"	NEEDLES/DARK				
0 TO 2"	10YR 4/2			F.S.	GRANULAR-ROOTS
2" TO 16"	10YR 5/3			F.S.	GRANULAR-ROOTS

**Hydric Soil Indicators:**

- Sulfidic Odor  Listed on Hydric Soils List  
 Redox. features (w/in 10")  Concretions/ Nodules (w/ in 3"; > 2mm)  
 High organic content in surface (sandy soils)  
 Organic streaking (In Sandy Soils)  
 Organic pan ( In sandy soils)

Criteria Met? Yes  No  Rationale: LACKING HYDRIC SOIL INDICATORS. BPJ

**HYDROLOGY**

**Recorded data**

- Recorded Data available  Aerial Photos  Stream Gauge  other  
 No Recorded Data Available

**Field Data**

Is ground surface inundated? Yes  No  Surface water depth: \_\_\_\_\_

Is the soil saturated? Yes  No  Depth to free standing water in pit/soil probe hole: NONE

**Primary Hydrology Indicators:**

**Secondary Hydrology Indicators (2 or more required):**

- Inundated  Oxidized Root Channels (upper 12")  
 Saturated in upper 12"  Water-stained Leaves  
 Water Marks  Local Soil Survey  
 Drift Lines  FAC-Neutral test  
 Sediment Deposits  Drainage Patterns  Moist

\* 4' ELEV. CHANGE

Criteria Met? Yes  No

Jurisdictional Determination : Is this a wetland? Yes  No  Rationale: THE THREE WETLAND CRITERIA HAVE NOT BEEN MET.

87' ROUTINE ONSITE DETERMINATION METHOD

Wetland # 4

OBS.PT.# 5A

Plant community: WETLAND

Field investigator(s) Wilbur E. and Matthew J. TERNYK

Project/Site: 18-12-10-40 TL 400 & 401

Date: 11-27-07

Applicant Owner: Julius E. Benedick

State: OR County: LANE

27962 Ward Lane  
Eugene, OR 97402

OBS location: IN WETLAND #4 MID  
SOUTH EASTERN PORTION

Do normal environmental conditions exist? Yes  No  (If no, explain)

Has the vegetation, soils, and /or hydrology been significantly disturbed? Yes  No

Explain: \_\_\_\_\_

VEGETATION			5' Rad. <input checked="" type="checkbox"/> 4' <input type="checkbox"/>	M <sup>2</sup>
Dominant Species	Status	% Cover	Dominant Species	Status % Cover
Tree Stratum			Herb Stratum	
Total Cover: _____			Total Cover: <u>50</u>	
1. _____			2' 1. <u>CAREX OBVAPIA</u>	<u>OBL</u> 40 *
2. _____			6" 2. <u>DESCHAMPSIA CESPITOSA</u>	<u>FACW</u> 60 *
3. _____			3. _____	
4. _____			4. _____	
Sapling/Shrub Stratum			5. _____	
Total Cover: <u>70</u>			6. _____	
1' 1. <u>SPIRAEA DOUGLASEE</u>	<u>FACW</u>	<u>57 *</u>	7. _____	
2' 2. <u>VACCINIUM LILLINGHAMII</u>	<u>FACW</u>	<u>43 *</u>	8. _____	
3. _____			9. _____	
4. _____			10. _____	
5. _____				

Percent Dominant Species that are OBL, FACW, and/or FAC 100 100 \* = Dominants 4 of 4

Criteria Met? Yes  No  Other Notable Species: T-SPIRALUM CAPELLIFLORA

SOILS

Map Unit Name: VACQUINA LOAMY FINE SAND Drainage Class: SOMEWHAT POORLY DRAINED

Is the soil on hydric soils list: Yes  No  Undetermined

Soil is a histosol? Yes  No  Histic epipedon? Yes  No  Gleyed? Yes  No

Depth	Matrix Color	Redox Concentrations*	Redox Depletions*	Texture	Structure
0-5" to 0	<u>small LEAVES/ORG.</u>				
6" to 2"	<u>10YR 2/1</u>			<u>L.S.S.</u>	<u>GRANULAR-ROOTS/ORG.</u>
2" to 6"	<u>10YR 4/2</u>	<u>10YR 5/4 CFF</u>		<u>S.S.</u>	<u>GRANULAR-ROOTS/ORG. ST</u>
6" to 16"	<u>10YR 5/2</u>	<u>10YR 4/4 CMD</u>		<u>S.S.</u>	<u>GRANULAR-ROOTS</u>

Hydric Soil Indicators:

- Sulfidic Odor  Listed on Hydric Soils List
- Redox. features (w/in 10")  Concretions/ Nodules (w/ in 3"; > 2mm)
- High organic content in surface (sandy soils)
- Organic streaking (in Sandy Soils)
- Organic pan ( in sandy soils)

Criteria Met? Yes  No  Rationale: SIMILAR TO VACQUINA SERIES.

HYDROLOGY

Recorded data

- Recorded Data available  Aerial Photos  Stream Gauge  other
- No Recorded Data Available

Field Data

Is ground surface inundated? Yes  No  Surface water depth: \_\_\_\_\_

Is the soil saturated? Yes  No  Depth to free standing water in pit/soil probe hole: NONE

Primary Hydrology Indicators:

Secondary Hydrology Indicators (2 or more required):

- Inundated  Oxidized Root Channels (upper 12")
- Saturated in upper 12"  Water-stained Leaves
- Water Marks  Local Soil Survey
- Drift Lines  FAC-Neutral test
- Sediment Deposits  Drainage Patterns  Moist \*SEASONAL

Criteria Met? Yes  No

Jurisdictional Determination : Is this a wetland? Yes  No  Rationale: THE THREE WETLAND CRITERIA HAVE BEEN MET.

87' ROUTINE ONSITE DETERMINATION METHOD

Wetland # 4

OBS.PT.# 6

Plant community: UPLAND

Field Investigator(s) Wilbur E. and Matthew J. Terynik

Project/Site: 18-12-10-40 TL 400 & 401

Date: 11-27-07

Applicant Owner: Julius E. Benedick

State: OR County: LANE

27962 Ward Lane

OBS location: UPLAND RESE EAST OF

Eugene, OR 97402

WESTGAST PORTERS OF WETLAND #4

Do normal environmental conditions exist? Yes  No  (If no, explain)

Has the vegetation, soils, and /or hydrology been significantly disturbed? Yes  No

Explain: \_\_\_\_\_

**VEGETATION**

5' Rad.  4'  M<sup>2</sup>

Dominant Species Status % Cover Dominant Species Status % Cover

Tree Stratum

Herb Stratum

Total Cover: 20

Total Cover: \_\_\_\_\_

- 40' 1. PENUS CONTORTA FAC 100 \*
- 2. \_\_\_\_\_
- 3. \_\_\_\_\_
- 4. \_\_\_\_\_

- 1. \_\_\_\_\_
- 2. \_\_\_\_\_
- 3. \_\_\_\_\_
- 4. \_\_\_\_\_
- 5. \_\_\_\_\_

Sapling/Shrub Stratum

Total Cover: 100

- 10' 1. VACCINIUM OVATUM UPL 40 \*
- 10' 2. GAUATHERIA SHALLOV FACW 30 \*
- 15' 10' 3. RHODODENDRON MACLEODII FACW 30 \*
- 4. \_\_\_\_\_
- 5. \_\_\_\_\_

- 6. \_\_\_\_\_
- 7. \_\_\_\_\_
- 8. \_\_\_\_\_
- 9. \_\_\_\_\_
- 10. \_\_\_\_\_

Percent Dominant Species that are OBL, FACW, and/or FAC 100 25 \* = Dominants 1 of 4

Criteria Met? Yes  No  Other Notable Species: \_\_\_\_\_

**SOILS**

Map Unit Name: FINE SAND Drainage Class: \_\_\_\_\_

Is the soil on hydric soils list: Yes  No  Undetermined

Soil is a histosol? Yes  No  Histic epipedon? Yes  No  Gleyed? Yes  No

Depth Matrix Color Redox Concentrations\* Redox Depletions\* Texture Structure

0" TO 0" DUFF / LEAVES \_\_\_\_\_ \_\_\_\_\_ \_\_\_\_\_ \_\_\_\_\_

0 TO 2" 10YR 3/1 \_\_\_\_\_ \_\_\_\_\_ F.S GRANULAR-ROOTS

2 TO 14" 10YR 4/2 \_\_\_\_\_ \_\_\_\_\_ F.S. GRANULAR-ROOTS

**Hydric Soil Indicators:**

- Sulfidic Odor  Listed on Hydric Soils List
- Redox. features (w/in 10")  Concretions/ Nodules (w/ in 3"; > 2mm)
- High organic content in surface (sandy soils)
- Organic streaking (In Sandy Soils)
- Organic pan ( in sandy soils)

Criteria Met? Yes  No  Rationale: LACKING HYDRIC SOIL INDICATORS. BFI

**HYDROLOGY**

**Recorded data**

- Recorded Data available  Aerial Photos  Stream Gauge  other
- No Recorded Data Available

**Field Data**

Is ground surface inundated? Yes  No  Surface water depth: \_\_\_\_\_

Is the soil saturated? Yes  No  Depth to free standing water in pit/soil probe hole: NONE

Primary Hydrology Indicators: \_\_\_\_\_ Secondary Hydrology Indicators (2 or more required): \_\_\_\_\_

- Inundated  Oxidized Root Channels (upper 12")
- Saturated in upper 12"  Water-stained Leaves
- Water Marks  Local Soil Survey
- Drift Lines  FAC-Neutral test
- Sediment Deposits  Drainage Patterns  Moist

Criteria Met? Yes  No

Jurisdictional Determination : Is this a wetland? Yes  No  Rationale: THE THREE WETLAND

CRITERIA HAVE NOT BEEN MET.

\* 4' ELEV. CHANGE

87' ROUTINE ONSITE DETERMINATION METHOD

Wetland # 4

OBS.PT.# 6A

Plant community: WETLAND

Field Investigator(s) Wilbur E. and Matthew J. TERNYK

Project/Site: 18-12-10-40 TL 400 & 401

Date: 11-27-07

Applicant Owner: Julius E. Benedick

State: OR County: LANE

27962 Ward Lane

OBS location: IN WETLAND #4

Eugene, OR 97402

NORTH EAST PORTION

Do normal environmental conditions exist? Yes  No  (If no, explain)

Has the vegetation, soils, and /or hydrology been significantly disturbed? Yes  No

Explain: \_\_\_\_\_

VEGETATION 5' Rad.  4'  M<sup>2</sup> \_\_\_\_\_

Dominant Species Status % Cover Dominant Species Status % Cover

Tree Stratum

Herb Stratum

Total Cover: \_\_\_\_\_

Total Cover: 30

- 1. \_\_\_\_\_
- 2. \_\_\_\_\_
- 3. \_\_\_\_\_
- 4. \_\_\_\_\_

- 1. DESCHAMPSIA CESPITOSA FACW 100 \*
- 2. \_\_\_\_\_
- 3. \_\_\_\_\_
- 4. \_\_\_\_\_

Sapling/Shrub Stratum

Total Cover: 90

- 3' 1. SPIRAEA DOUGLASSII FACW 78 \*
- 2' 2. VACCINIUM ULLIGINOSUM FACW + 22 \*
- 3. \_\_\_\_\_
- 4. \_\_\_\_\_
- 5. \_\_\_\_\_

- 5. \_\_\_\_\_
- 6. \_\_\_\_\_
- 7. \_\_\_\_\_
- 8. \_\_\_\_\_
- 9. \_\_\_\_\_
- 10. \_\_\_\_\_

Percent Dominant Species that are OBL, FACW, and/or FAC 100 100 \* = Dominants 3 of 3

Criteria Met? Yes  No  Other Notable Species: T-CAREX OBNIPTA (OBL)

SOILS

Map Unit Name: HECETA FINE SANDS Drainage Class: POORLY DRAINED

Is the soil on hydric soils list? Yes  No  Undetermined \_\_\_\_\_

Soil is a histosol? Yes  No  Histic epipedon? Yes  No  Gleyed? Yes  No

Depth	Matrix Color	Redox Concentrations*	Redox Depletions*	Texture	Structure
2" TOC	<u>LETTER/ORK.</u>	_____	_____	_____	_____
0 TO 1"	<u>10YR 4/1</u>	_____	_____	<u>S.S.</u>	<u>GRANULAR - FINE ROOTS</u>
1" TO 2"	<u>2.5Y 4/2</u>	_____	_____	<u>S.S.</u>	<u>GRANULAR - FINE ROOTS / ORZ'S</u>
3" TO 14"	<u>10YR 5/3</u>	<u>7.5YR 4/4 MMP</u>	_____	<u>S.S.</u>	<u>GRANULAR - FINE ROOTS ORZ'S</u>

Hydric Soil Indicators:

- Sulfidic Odor  Listed on Hydric Soils List
- Redox. features (w/in 10")  Concretions/ Nodules (w/ in 3"; > 2mm)
- High organic content in surface (sandy soils)
- Organic streaking (in Sandy Soils)
- Organic pan ( in sandy soils)

Criteria Met? Yes  No  Rationale: SIMILAR TO HECETA SERIES.

HYDROLOGY

Recorded data

- Recorded Data available  Aerial Photos  Stream Gauge  other
- No Recorded Data Available

Field Data

Is ground surface inundated? Yes  No  Surface water depth: \_\_\_\_\_

Is the soil saturated? Yes  No  Depth to free standing water in pit/soil probe hole: NONE

Primary Hydrology Indicators:

Secondary Hydrology Indicators (2 or more required):

- Inundated  Oxidized Root Channels (upper 12")
- Saturated in upper 12"  Water-stained Leaves
- Water Marks  Local Soil Survey
- Drift Lines  FAC-Neutral test
- Sediment Deposits  Drainage Patterns  Moist

Criteria Met? Yes  No  \* SEASONAL

Jurisdictional Determination : Is this a wetland? Yes  No  Rationale: THE THREE WETLANDS CRITERIA HAVE BEEN MET.

87' ROUTINE ONSITE DETERMINATION METHOD

Wetland # 4

OBS.PT.# 7

Plant community: UPLAND

Field investigator(s) Wilbur E. and Matthew J. TERNYK

Project/Site: 18-12-10-40 TL 400 & 401

Date: 11-27-07

Applicant Owner: Julius E. Benedick

State: OR County: LANE

27962 Ward Lane  
Eugene, OR 97402

OBS location: UPLAND RISE EAST  
OF SOUTHEAST PORTION OF WETLAND #4

Do normal environmental conditions exist? Yes  No  (If no, explain) \_\_\_\_\_

Has the vegetation, soils, and /or hydrology been significantly disturbed? Yes  No

Explain: \_\_\_\_\_

VEGETATION			5' Rad. <input checked="" type="checkbox"/>	4' <sup>2</sup> <input type="checkbox"/>	M <sup>2</sup> <input type="checkbox"/>
Dominant Species	Status	% Cover	Dominant Species	Status	% Cover
Tree Stratum			Herb Stratum		
Total Cover: _____			Total Cover: _____		
1. _____			1. _____		
2. _____			2. _____		
3. _____			3. _____		
4. _____			4. _____		
Sapling/Shrub Stratum			5. _____		
Total Cover: <u>100</u>			6. _____		
<u>6'</u> 1. <u>VACCINIUM OVATUM LPL</u>		<u>50 *</u>	7. _____		
<u>3' to 5'</u> 2. <u>LAWTHEREA SHALLOW FACU</u>		<u>40 *</u>	8. _____		
<u>15'</u> 3. <u>MYRICA CALIFORNICA FACW</u>		<u>10</u>	9. _____		
4. _____			10. _____		
5. _____					

Percent Dominant Species that are OBL, FACW, and/or FAC 100 0 \* = Dominants 0 of 2

Criteria Met? Yes  No  Other Notable Species: \_\_\_\_\_

SOILS

Map Unit Name: FINE SAND Drainage Class: \_\_\_\_\_

Is the soil on hydric soils list: Yes  No  Undetermined

Soil is a histosol? Yes  No  Histic epipedon? Yes  No  Gleyed? Yes  No

Depth	Matrix Color	Redox Concentrations*	Redox Depletions*	Texture	Structure
<u>12" to 0</u>	<u>Duff</u>				
<u>0 to 5"</u>	<u>10YR 4/1</u>			<u>F.S.</u>	<u>GRANULAR - ROOTS</u>
<u>5" to 16"</u>	<u>10YR 5/2</u>	<u>10YR 4/3 fff</u>		<u>f.S.</u>	<u>GRANULAR - ROOTS</u>

- Hydric Soil Indicators:
- Sulfidic Odor
  - Redox. features (w/in 10")
  - High organic content in surface (sandy soils)
  - Organic streaking (in Sandy Soils)
  - Organic pan ( in sandy soils)
  - Listed on Hydric Soils List
  - Concretions/ Nodules (w/ in 3"; > 2mm)

Criteria Met? Yes  No  Rationale: LACKEN U STABIL-HYDRIC SOIL INDICATORS, BPI

HYDROLOGY

Recorded data  
 Recorded Data available  Aerial Photos  Stream Gauge  other  
 No Recorded Data Available

Field Data  
Is ground surface inundated? Yes  No  Surface water depth: \_\_\_\_\_  
Is the soil saturated? Yes  No  Depth to free standing water in pit/soil probe hole: NOUVE

- Primary Hydrology Indicators:  Inundated  Saturated in upper 12"  Water Marks  Drift Lines  Sediment Deposits
- Secondary Hydrology Indicators (2 or more required):  Oxidized Root Channels (upper 12")  Water-stained Leaves  Local Soil Survey  FAC-Neutral test  Drainage Patterns  Moist

\* 6' ELEV. CHANGE

Criteria Met? Yes  No

Jurisdictional Determination : Is this a wetland? Yes  No  Rationale: THE THREE WETLAND CRITERIA HAVE NOT BEEN MET.

**87' ROUTINE ONSITE DETERMINATION METHOD**

Wetland # 4

OBS.PT.# 7A

Plant community: WETLAND

Field investigator(s) Wilbur E. and Matthew J. TERNYK

Project/Site: 18-12-10-40 TL 400 & 401

Date: 11-27-07

Applicant Owner: Julius E. Benedick

State: OR County: LANE

27962 Ward Lane

OBS location: IN WETLAND #4

Eugene, OR 97402

SOUTHWEST PORTION

Do normal environmental conditions exist? Yes  No  (If no, explain)

Has the vegetation, soils, and /or hydrology been significantly disturbed? Yes  No

Explain: \_\_\_\_\_

**VEGETATION**

5' Rad.  4'  M<sup>2</sup>

**Dominant Species**      **Status**    **% Cover**      **Dominant Species**      **Status**    **% Cover**

**Tree Stratum**

**Herb Stratum**

Total Cover: \_\_\_\_\_

Total Cover: 60

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_
4. \_\_\_\_\_

- 5" 1. DESCHAMPSIA GESPETOSA FACW      67 \*
- 2' 2. CAREX OBVINGTA OBL                      33 \*
3. \_\_\_\_\_
4. \_\_\_\_\_

**Sapling/Shrub Stratum**

Total Cover: 75

- 3' 1. VACCINIUM ULLIENSIUM FACW 80 \*
- 3' to 4' 2. SPIRAEA DOWLINGII FACW      20
3. \_\_\_\_\_
4. \_\_\_\_\_
5. \_\_\_\_\_

5. \_\_\_\_\_
6. \_\_\_\_\_
7. \_\_\_\_\_
8. \_\_\_\_\_
9. \_\_\_\_\_
10. \_\_\_\_\_

Percent Dominant Species that are OBL, FACW, and/or FAC 100 100 \* = Dominants 3 of 3

Criteria Met? Yes  No  Other Notable Species: \_\_\_\_\_

**SOILS**

Map Unit Name: YACQUENA LOAMY FINE SAND Drainage Class: SOMEWHAT POORLY DRAINED

Is the soil on hydric soils list: Yes  No  Undetermined

Soil is a histosol? Yes  No  Histic epipedon? Yes  No  Gleyed? Yes  No

Depth	Matrix Color	Redox Concentrations*	Redox Depletions*	Texture	Structure
0" to 1"	<u>10YR 2/2</u>			<u>L</u>	<u>GRANULAR - FINE ROOTS / ORG.</u>
1" to 2"	<u>10YR 3/2</u>			<u>L.F.S.</u>	<u>GRANULAR - FINE ROOTS / ORG.</u>
2" to 5"	<u>10YR 4/2</u>			<u>L</u>	<u>GRANULAR - FINE ROOTS / ORG. ST.</u>
5" to 10"	<u>10YR 5/2</u>			<u>F.S.</u>	<u>GRANULAR - FINE ROOTS / ORG. ST.</u>
10" to 16"	<u>10YR 5/2</u>	<u>10YR 4/6 c.m.d</u>		<u>F.S.</u>	<u>GRANULAR</u>

**Hydric Soil Indicators:**

- Sulfidic Odor
- Redox. features (w/in 10")
- High organic content in surface (sandy soils)
- Organic streaking (in Sandy Soils)
- Organic pan ( in sandy soils)
- Listed on Hydric Soils List
- Concretions/ Nodules (w/ in 3"; > 2mm)

Criteria Met? Yes  No  Rationale: SIMILAR TO YACQUENA SERIES.

**HYDROLOGY**

**Recorded data**

- Recorded Data available
- Aerial Photos
- Stream Gauge
- other
- No Recorded Data Available

**Field Data**

Is ground surface inundated? Yes  No  Surface water depth: \_\_\_\_\_

Is the soil saturated? Yes  No  Depth to free standing water in pit/soil probe hole: NONE

**Primary Hydrology Indicators:**

**Secondary Hydrology Indicators (2 or more required):**

- Inundated
- Saturated in upper 12"
- Water Marks
- Drift Lines
- Sediment Deposits
- Oxidized Root Channels (upper 12")
- Water-stained Leaves
- Local Soil Survey
- FAC-Neutral test
- Drainage Patterns
- Moist
- \*SEASONAL

Criteria Met? Yes  No

Jurisdictional Determination : Is this a wetland? Yes  No  Rationale: THE THREE WETLANDS CRITERIA HAVE BEEN MET.

87' ROUTINE ONSITE DETERMINATION METHOD

Wetland # 5

OBS.PT.# 1

Plant community: LPLAND

Field investigator(s) Wilbur E. and Matthew J. TERNYK

Project/Site: 18-12-10-40 TL 400 & 401

Date: 11-28-07

Applicant Owner: Julius E. Benedick

State: OR County: LANE

27962 Ward Lane

OBS location: LPLAND BASE WEST

Eugene, OR 97402

OF WETLAND #5, NORTHWEST PORTION

Do normal environmental conditions exist? Yes  No  (If no, explain)

Has the vegetation, soils, and/or hydrology been significantly disturbed? Yes  No

Explain: \_\_\_\_\_

VEGETATION

5' Rad.  4'  M<sup>2</sup> \_\_\_\_\_

Dominant Species      Status    % Cover      Dominant Species      Status    % Cover

Tree Stratum

Herb Stratum

Total Cover: \_\_\_\_\_

Total Cover: \_\_\_\_\_

1. \_\_\_\_\_

1. \_\_\_\_\_

2. \_\_\_\_\_

2. \_\_\_\_\_

3. \_\_\_\_\_

3. \_\_\_\_\_

4. \_\_\_\_\_

4. \_\_\_\_\_

Sapling/Shrub Stratum

5. \_\_\_\_\_

Total Cover: 70

6. \_\_\_\_\_

10' to 15' 1. RHODODENDRON MACHROPHYLLUM FACU 43 \*

7. \_\_\_\_\_

8' 2. VACCINIUM OVATUM WPL 29 \*

8. \_\_\_\_\_

4' to 6' 3. GAULTHERIA SHALLOW FACU 29 \*

9. \_\_\_\_\_

4. \_\_\_\_\_

10. \_\_\_\_\_

5. \_\_\_\_\_

Percent Dominant Species that are OBL, FACW, and/or FAC 100 \_\_\_\_\_ \* = Dominants 0 of 3

Criteria Met? Yes  No  Other Notable Species: T-RHAMNUS PURSHIANA (FAC-) SPEREA DOUGLSEI (FACW)

SOILS

Map Unit Name: WALDFORT FINE SAND

Drainage Class: EXCESSIVELY DRAINED

Is the soil on hydric soils list: Yes  No  Undetermined \_\_\_\_\_

Soil is a histosol? Yes  No  Histic epipedon? Yes  No  Gleyed? Yes  No

\* Fluffy Day

Depth	Matrix Color	Redox Concentrations*	Redox Depletions*	Texture	Structure
8" TO 10"	Duff				
10 TO 11"	10YR 3/1			F.S.	GRANULAR-ROOTS/OAB.
11 TO 13"	10YR 3/2			S.S.	GRANULAR-ROOTS
13 TO 16"	10YR 5/3			S.S.	GRANULAR-ROOTS

Hydric Soil Indicators:

- Sulfidic Odor
- Redox. features (w/in 10")
- High organic content in surface (sandy soils)
- Organic streaking (in Sandy Soils)
- Organic pan ( in sandy soils)
- Listed on Hydric Soils List
- Concretions/ Nodules (w/ in 3"; > 2mm)

Criteria Met? Yes  No  Rationale: SEMI-LAR TO WALDFORT SERIES.

HYDROLOGY

Recorded data

- Recorded Data available
- Aerial Photos
- Stream Gauge
- other
- No Recorded Data Available

Field Data

Is ground surface inundated? Yes  No  Surface water depth: \_\_\_\_\_

Is the soil saturated? Yes  No  Depth to free standing water in pit/soil probe hole: NONE

Primary Hydrology Indicators:

Secondary Hydrology Indicators (2 or more required):

- Inundated
- Saturated in upper 12"
- Water Marks
- Drift Lines
- Sediment Deposits
- Oxidized Root Channels (upper 12")
- Water-stained Leaves
- Local Soil Survey
- FAC-Neutral test
- Drainage Patterns
- Moist

\* 7' ELEV. CHANGE

Criteria Met? Yes  No

Jurisdictional Determination : Is this a wetland? Yes  No  Rationale: THE THREE WETLAND CRITERIA HAVE NOT BEEN MET.

87' ROUTINE ONSITE DETERMINATION METHOD

Wetland # 5

OBS.PT.# 1A

Plant community: WETLANDS

Field investigator(s) Wilbur E. and Matthew J. Terylk

Project/Site: 18-12-10-40 TL 400 & 401

Date: 11-28-07

Applicant Owner: Julius E. Benedick

State: OR County: LANE

27962 Ward Lane

OBS location: IN WETLAND #5

Eugene, OR 97402

NORTHWEST PORTION

Do normal environmental conditions exist? Yes  No  (If no, explain)

Has the vegetation, soils, and /or hydrology been significantly disturbed? Yes  No

Explain: \_\_\_\_\_

VEGETATION

5' Rad.  4'  M<sup>2</sup>

Dominant Species Status % Cover Dominant Species Status % Cover

Tree Stratum

Herb Stratum

Total Cover: \_\_\_\_\_

Total Cover: 20

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_
4. \_\_\_\_\_

- 1' to 3' 1. CAREX OBNUPIA OBL 100
2. \_\_\_\_\_
3. \_\_\_\_\_
4. \_\_\_\_\_

Sapling/Shrub Stratum

Total Cover: 90

- 3' to 6' 1. SPIRAEA DOUGLASEI FACW 100 \*
2. \_\_\_\_\_
3. \_\_\_\_\_
4. \_\_\_\_\_
5. \_\_\_\_\_

5. \_\_\_\_\_
6. \_\_\_\_\_
7. \_\_\_\_\_
8. \_\_\_\_\_
9. \_\_\_\_\_
10. \_\_\_\_\_

Percent Dominant Species that are OBL, FACW, and/or FAC 100 100 \* = Dominants 2 of 2

Criteria Met? Yes  No  Other Notable Species: \_\_\_\_\_

SOILS

Map Unit Name: YAGUINA LOAMY FINE SAND Drainage Class: SOMEWHAT POORLY DRAINED

Is the soil on hydric soils list? Yes  No  Undetermined

Soil is a histosol? Yes  No  Histic epipedon? Yes  No  Gleyed? Yes  No

Depth Matrix Color Redox Concentrations\* Redox Depletions\* Texture Structure

Depth	Matrix Color	Redox Concentrations*	Redox Depletions*	Texture	Structure
3" TO 0	LETTER/ORL/LEAVES				
0 TO 5"	10YR 3/1			L.S.S.	GRANULAR - SEMI ROOTS / ORL
5" TO 8"	10YR 5/2			F.S.	GRANULAR - SEMI ROOTS / ORL
8" TO 16"	2.5YR 4/2	10YR 3/4 CMDS		F.S.	GRANULAR - ORL ST.

Hydric Soil Indicators:

- Sulfidic Odor
- Redox. features (w/in 10")
- High organic content in surface (sandy soils)
- Organic streaking (in Sandy Soils)
- Organic pan ( in sandy soils)
- Listed on Hydric Soils List
- Concretions/ Nodules (w/ in 3"; > 2mm)

Criteria Met? Yes  No  Rationale: SIMILAR TO YAGUINA SERIES.

HYDROLOGY

Recorded data

- Recorded Data available
- Aerial Photos
- Stream Gauge
- other
- No Recorded Data Available

Field Data

Is ground surface inundated? Yes  No  Surface water depth: \_\_\_\_\_

Is the soil saturated? Yes  No  Depth to free standing water in pit/soil probe hole: NOVE

Primary Hydrology Indicators:

Secondary Hydrology Indicators (2 or more required):

- Inundated
- Saturated in upper 12"
- Water Marks
- Drift Lines
- Sediment Deposits
- Drainage Patterns
- Oxidized Root Channels (upper 12")
- Water-stained Leaves
- Local Soil Survey
- FAC-Neutral test
- Moist

Criteria Met? Yes  No  \*SEASONAL

Jurisdictional Determination : Is this a wetland? Yes  No  Rationale: THE THREE WETLAND

CRITERIA HAVE BEEN MET.

87' ROUTINE ONSITE DETERMINATION METHOD

Wetland # 5

OBS.PT.# 2

Plant community: UPLAND

Field investigator(s) Wilbur E. and Matthew J. TERNYK

Project/Site: 18-12-10-40 TL 400 & 401

Date: 11-28-07

Applicant Owner: Julius E. Benedick  
27962 Ward Lane  
Eugene, OR 97402

State: OR County: LANE

OBS location: UPLAND RISE EAST OF WETLAND #5, NORTHEAST PORTCOY

Do normal environmental conditions exist? Yes  No  (If no, explain)

Has the vegetation, soils, and /or hydrology been significantly disturbed? Yes  No

Explain: \_\_\_\_\_

**VEGETATION**

5' Rad.  4'  M<sup>2</sup>

Dominant Species Status % Cover Dominant Species Status % Cover

Tree Stratum

Herb Stratum

Total Cover: 10

Total Cover: \_\_\_\_\_

- 30' 1. PINUS LONTATA FAC 100
- 2. \_\_\_\_\_
- 3. \_\_\_\_\_
- 4. \_\_\_\_\_

- 1. \_\_\_\_\_
- 2. \_\_\_\_\_
- 3. \_\_\_\_\_
- 4. \_\_\_\_\_

Sapling/Shrub Stratum

Total Cover: 100

5. \_\_\_\_\_

6. \_\_\_\_\_

- 8' 1. GAMITHEA SHALLOX FACU 50 \*
- 6' 2. VACCINIUM OVATUM UPL 20 \*
- 10' 3. RHODEDENDRON MACHROPHYLLUM FACW 20 \*
- 10' 4. MYRICA CALIFORNICA FACW 10
- 5. \_\_\_\_\_

7. \_\_\_\_\_

8. \_\_\_\_\_

9. \_\_\_\_\_

10. \_\_\_\_\_

Percent Dominant Species that are OBL, FACW, and/or FAC 100  \* = Dominants  of 3

Criteria Met? Yes  No  Other Notable Species: \_\_\_\_\_

**SOILS**

Map Unit Name: FINE SAND Drainage Class: \_\_\_\_\_

Is the soil on the hydric soils list: Yes  No  Undetermined

Soil is a histosol? Yes  No  Histic epipedon? Yes  No  Gleyed? Yes  No

Depth Matrix Color Redox Concentrations\* Redox Depletions\* Texture Structure

6" to 1" Duff \_\_\_\_\_ \_\_\_\_\_ \_\_\_\_\_ \_\_\_\_\_

0 to 1" 10YR 3/2 \_\_\_\_\_ \_\_\_\_\_ S.S. LANULAR-ROOTS

1" to 1 1/2" 10YR 4/3 10YR 4/4 cmf \_\_\_\_\_ \_\_\_\_\_ S.S. LANULAR-ROOTS

**Hydric Soil Indicators:**

- Sulfidic Odor  Listed on Hydric Soils List
- Redox. features (w/in 10")  Concretions/ Nodules (w/ in 3"; > 2mm)
- High organic content in surface (sandy soils)
- Organic streaking (in Sandy Soils)
- Organic pan ( in sandy soils)

Criteria Met? Yes  No  Rationale: LACKING STRONG HYDRIC SOIL INDICATORS. BPI

**HYDROLOGY**

**Recorded data**

- Recorded Data available  Aerial Photos  Stream Gauge  other
- No Recorded Data Available

**Field Data**

Is ground surface inundated? Yes  No  Surface water depth: \_\_\_\_\_

Is the soil saturated? Yes  No  Depth to free standing water in pit/soil probe hole: NONE

Primary Hydrology Indicators: \_\_\_\_\_ Secondary Hydrology Indicators (2 or more required): \_\_\_\_\_

- Inundated  Oxidized Root Channels (upper 12")
- Saturated in upper 12"  Water-stained Leaves
- Water Marks  Local Soil Survey
- Drift Lines  FAC-Neutral test
- Sediment Deposits  Drainage Patterns  Moist

Criteria Met? Yes  No

Jurisdictional Determination : Is this a wetland? Yes  No  Rationale: THE THREE WETLAND CRITERIA HAVE NOT BEEN MET.

\*6' ELEV. CHANGE

87' ROUTINE ONSITE DETERMINATION METHOD

Wetland # 5

OBS.PT.# 2A

Plant community: WETLAND

Field Investigator(s) Wilbur E. and Matthew J. TERNYK

Project/Site: 18-12-10-40 TL 400 & 401

Date: 11-28-07

Applicant Owner: Julius E. Benedick

State: OR County: LANE

27962 Ward Lane

OBS location: IN WETLAND #5

Eugene, OR 97402

NORTHEAST PORTION

Do normal environmental conditions exist? Yes  No  (If no, explain)

Has the vegetation, soils, and/or hydrology been significantly disturbed? Yes  No

Explain:

**VEGETATION**      5' Rad.  4'  M<sup>2</sup>

<b>Dominant Species</b>	<b>Status</b>	<b>% Cover</b>	<b>Dominant Species</b>	<b>Status</b>	<b>% Cover</b>
-------------------------	---------------	----------------	-------------------------	---------------	----------------

Tree Stratum

Herb Stratum

Total Cover:     

Total Cover: 90

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_
4. \_\_\_\_\_

- 2' 1. DESCHAMPSA CESPITOSA FACW 100 \*
2. \_\_\_\_\_
3. \_\_\_\_\_
4. \_\_\_\_\_

Sapling/Shrub Stratum

Total Cover: 25

- 1' 1. SPRAEA DOWLINGII FACW 60
- 1' 2. VACCINIUM ULLERNOSEUM 40
3. \_\_\_\_\_
4. \_\_\_\_\_
5. \_\_\_\_\_

5. \_\_\_\_\_
6. \_\_\_\_\_
7. \_\_\_\_\_
8. \_\_\_\_\_
9. \_\_\_\_\_
10. \_\_\_\_\_

Percent Dominant Species that are OBL, FACW, and/or FAC 100 100 \* = Dominants 1 of 1

Criteria Met? Yes  No  Other Notable Species:

**SOILS**

Map Unit Name: YAQUINA LOAMY FINE SAND Drainage Class: SOMEWHAT POORLY DRAINED

Is the soil on hydric soils list: Yes  No  Undetermined

Soil is a histosol? Yes  No  Histic epipedon? Yes  No  Gleyed? Yes  No

Depth	Matrix Color	Redox Concentrations*	Redox Depletions*	Texture	Structure
<u>0 to 2"</u>	<u>10YR 3/1</u>			<u>L, FS.</u>	<u>GRANULAR - FINE ROOTS / ORG / FINE FRAG.</u>
<u>2" to 10"</u>	<u>2.5Y 5/2</u>	<u>2.5Y 4/4 CFF</u>		<u>F.S</u>	<u>GRANULAR - FINE ROOTS / ORG. ST.</u>
<u>10" to 16"</u>	<u>2.5Y 4/2</u>			<u>F.S</u>	<u>GRANULAR - ORG. ST.</u>

Hydric Soil Indicators:

- Sulfidic Odor  Listed on Hydric Soils List
- Redox. features (w/in 10")  Concretions/ Nodules (w/ in 3"; > 2mm)
- High organic content in surface (sandy soils)
- Organic streaking (in Sandy Soils)
- Organic pan ( in sandy soils)

Criteria Met? Yes  No  Rationale: SIMILAR TO YAQUINA SERIES.

**HYDROLOGY**

Recorded data

- Recorded Data available  Aerial Photos  Stream Gauge  other
- No Recorded Data Available

Field Data

Is ground surface inundated? Yes  No  Surface water depth:     

Is the soil saturated? Yes  No  Depth to free standing water in pit/soil probe hole: NONE

Primary Hydrology Indicators:

Secondary Hydrology Indicators (2 or more required):

- Inundated  Oxidized Root Channels (upper 12")
- Saturated in upper 12"  Water-stained Leaves
- Water Marks  Local Soil Survey
- Drift Lines  FAC-Neutral test
- Sediment Deposits  Drainage Patterns  Moist \* SEASONAL

Criteria Met? Yes  No

Jurisdictional Determination : Is this a wetland? Yes  No  Rationale: THE THREE WETLAND CRITERIA HAVE BEEN MET.

87' ROUTINE ONSITE DETERMINATION METHOD

Wetland # 5

OBS.PT.# 3

Plant community: UPLAND

Field investigator(s) Wilbur E. and Matthew J. TERNYK

Project/Site: 18-12-10-40 TL 400 & 401

Date: 11-25-07

Applicant Owner: Julius E. Benedick

State: OR County: LANE

27962 Ward Lane

OBS location: UPLAND RISE WEST

Eugene, OR 97402

OF WETLAND # 5, SOUTH WEST PORTCOON

Do normal environmental conditions exist? Yes  No  (If no, explain)

Has the vegetation, soils, and /or hydrology been significantly disturbed? Yes  No

Explain: \_\_\_\_\_

**VEGETATION** 5' Rad.  4'  M<sup>2</sup> \_\_\_\_\_

Dominant Species Status % Cover Dominant Species Status % Cover

Tree Stratum

Herb Stratum

Total Cover: 20

Total Cover: \_\_\_\_\_

15' to 40' 1. Pinus contorta FAC 100

1. \_\_\_\_\_

2. \_\_\_\_\_

2. \_\_\_\_\_

3. \_\_\_\_\_

3. \_\_\_\_\_

4. \_\_\_\_\_

4. \_\_\_\_\_

Sapling/Shrub Stratum

5. \_\_\_\_\_

Total Cover: 100

6. \_\_\_\_\_

8' 1. Vaccinium cereum UPL 40 \*

7. \_\_\_\_\_

8' 2. Galium aparine FACU 40 \*

8. \_\_\_\_\_

12' 3. Rhodoendron macrophyllum FACU 20 \*

9. \_\_\_\_\_

4. \_\_\_\_\_

10. \_\_\_\_\_

5. \_\_\_\_\_

Percent Dominant Species that are OBL, FACW, and/or FAC 100 25 \* = Dominants 1 of 4

Criteria Met? Yes  No  Other Notable Species: \_\_\_\_\_

**SOILS**

Map Unit Name: FINE SAND Drainage Class: \_\_\_\_\_

Is the soil on hydric soils list: Yes  No  Undetermined

Soil is a histosol? Yes  No  Histic epipedon? Yes  No  Gleyed? Yes  No

Depth Matrix Color Redox Concentrations\* Redox Depletions\* Texture Structure

13" to 0 Duff \_\_\_\_\_

0 to 3" 10YR 4/1 \_\_\_\_\_ F.S. GRANULAR - ROOTS

3" to 14" 10YR 6/1 10YR 4/3 CFF \_\_\_\_\_ S.S. GRANULAR - ROOTS

**Hydric Soil Indicators:**

- Sulfidic Odor  Listed on Hydric Soils List
- Redox. features (w/in 10")  Concretions/ Nodules (w/ in 3"; > 2mm)
- High organic content in surface (sandy soils)
- Organic streaking (In Sandy Soils)
- Organic pan ( In sandy soils)

Criteria Met? Yes  No  Rationale: LACKING STRONG HYDRIC SOIL INDICATORS. BPJ

**HYDROLOGY**

**Recorded data**

Recorded Data available  Aerial Photos  Stream Gauge  other  
 No Recorded Data Available

**Field Data**

Is ground surface inundated? Yes  No  Surface water depth: \_\_\_\_\_

Is the soil saturated? Yes  No  Depth to free standing water in pit/soil probe hole: NONE

Primary Hydrology Indicators: \_\_\_\_\_ Secondary Hydrology Indicators (2 or more required): \_\_\_\_\_

Inundated  Oxidized Root Channels (upper 12")

Saturated in upper 12"  Water-stained Leaves

Water Marks  Local Soil Survey

Drift Lines  FAC-Neutral test

Sediment Deposits  Drainage Patterns  Moist

Criteria Met? Yes  No

\* 6' ELEV. CHANGE

Jurisdictional Determination : Is this a wetland? Yes  No  Rationale: THE THREE WETLAND CRITERIA HAVE NOT BEEN MET.

87' ROUTINE ONSITE DETERMINATION METHOD

Wetland # 5

OBS.PT.# 3A

Plant community: WETLAND

Field investigator(s) Wilbur E. and Matthew J. TERNYK

Project/Site: 18-12-10-40 TL 400 & 401

Date: 11-28-07

Applicant Owner: Julius E. Benedick

State: OR County: LANE

27962 Ward Lane

OBS location: IN WETLAND #5

Eugene, OR 97402

SOUTHWEST PORTER

Do normal environmental conditions exist? Yes  No  (If no, explain)

Has the vegetation, soils, and /or hydrology been significantly disturbed? Yes  No

Explain: \_\_\_\_\_

**VEGETATION**      5' Rad.  4'       M<sup>2</sup> \_\_\_\_\_

<b>Dominant Species</b>	<b>Status</b>	<b>% Cover</b>	<b>Dominant Species</b>	<b>Status</b>	<b>% Cover</b>
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**Tree Stratum**

**Herb Stratum**

Total Cover: \_\_\_\_\_

Total Cover: 70

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_
4. \_\_\_\_\_

1. DESCHAMPSIA CESPITOSA FACW 43 \*
2. CAREX OBNOBATA OBL 29 \*
3. CAREX ROSTRATA OBL 29 \*
4. \_\_\_\_\_

**Sapling/Shrub Stratum**

Total Cover: 30

- 4' 1. SPIRAEA DOUBLASII FACW 100 \*
2. \_\_\_\_\_
3. \_\_\_\_\_
4. \_\_\_\_\_
5. \_\_\_\_\_

5. \_\_\_\_\_
6. \_\_\_\_\_
7. \_\_\_\_\_
8. \_\_\_\_\_
9. \_\_\_\_\_
10. \_\_\_\_\_

Percent Dominant Species that are OBL, FACW, and/or FAC 100 100 \* = Dominants 4 of 4

Criteria Met? Yes  No  Other Notable Species: \_\_\_\_\_

**SOILS**

Map Unit Name: VACUENA LOAMY FINE SAND Drainage Class: SOMEWHAT POORLY DRAINED

Is the soil on hydric soils list: Yes  No  Undetermined

Soil is a histosol? Yes  No  Histic epipedon? Yes  No  Gleyed? Yes  No

Depth	Matrix Color	Redox Concentrations*	Redox Depletions*	Texture	Structure
<u>0 to 3"</u>	<u>10YR 3/1</u>			<u>L.F.S.</u>	<u>GRANULAR - FINE ROOTS 50% 6:</u>
<u>3 to 9"</u>	<u>10YR 5/2</u>	<u>10YR 4/4 CFS</u>		<u>S.S.</u>	<u>GRANULAR - FINE ROOTS / ORG. ST.</u>
<u>9 to 16"</u>	<u>2.5Y 4/4</u>			<u>S.S.</u>	<u>GRANULAR</u>

**Hydric Soil Indicators:**

- Sulfidic Odor
- Listed on Hydric Soils List
- Redox. features (w/in 10")
- Concretions/ Nodules (w/ in 3"; > 2mm)
- High organic content in surface (sandy soils)
- Organic streaking (in Sandy Soils)
- Organic pan ( in sandy soils)

Criteria Met? Yes  No  Rationale: SIMILAR TO VACUENA SERIES

**HYDROLOGY**

**Recorded data**

- Recorded Data available       Aerial Photos       Stream Gauge       other
- No Recorded Data Available

**Field Data**

Is ground surface inundated? Yes  No  Surface water depth: \_\_\_\_\_

Is the soil saturated? Yes  No  Depth to free standing water in pit/soil probe hole: NONE

**Primary Hydrology Indicators:**

**Secondary Hydrology Indicators (2 or more required):**

- Inundated
- Saturated in upper 12"
- Water Marks
- Drift Lines
- Sediment Deposits
- Drainage Patterns
- Moist
- Oxidized Root Channels (upper 12")
- Water-stained Leaves
- Local Soil Survey
- FAC-Neutral test

Criteria Met? Yes  No

Jurisdictional Determination : Is this a wetland? Yes  No  Rationale: THE THREE WETLAND CRITERIA HAVE BEEN MET.

87' ROUTINE ONSITE DETERMINATION METHOD

Wetland # 5

OBS.PT.# 4

Plant community: UPLAND

Field investigator(s) Wilbur E. and Matthew J. Terynik

Project/Site: 18-12-10-40 TL 400 & 401

Date: 11-28-07

Applicant Owner: Julius E. Benedict

State: OR County: LANE

27962 Ward Lane

OBS location: UPLAND RISE EAST OF

Eugene, OR 97402

WETLAND #5, SOUTHEAST PORTCOU

Do normal environmental conditions exist? Yes  No  (If no, explain)

Has the vegetation, soils, and /or hydrology been significantly disturbed? Yes  No

Explain: \_\_\_\_\_

VEGETATION

5' Rad.  4'  M<sup>2</sup>

Dominant Species Status % Cover Dominant Species Status % Cover

Tree Stratum

Herb Stratum

Total Cover: 20

Total Cover: \_\_\_\_\_

- 40' 1. PINUS CONTORTA FAC 100 \*
- 2. \_\_\_\_\_
- 3. \_\_\_\_\_
- 4. \_\_\_\_\_

- 1. \_\_\_\_\_
- 2. \_\_\_\_\_
- 3. \_\_\_\_\_
- 4. \_\_\_\_\_

Sapling/Shrub Stratum

Total Cover: 90

- 10' 1. VACCINIUM QUINNUM UPL 44 \*
- 4' to 8' 2. GAUATHERIA SHALLOW FACU 33 \*
- 8' to 15' 3. RHOBIODENDRON MACHAONIFOLIUM FACU 22 \*
- 4. \_\_\_\_\_
- 5. \_\_\_\_\_

- 5. \_\_\_\_\_
- 6. \_\_\_\_\_
- 7. \_\_\_\_\_
- 8. \_\_\_\_\_
- 9. \_\_\_\_\_
- 10. \_\_\_\_\_

Percent Dominant Species that are OBL, FACW, and/or FAC 100 25 \* = Dominants 1 of 4

Criteria Met? Yes  No  Other Notable Species: \_\_\_\_\_

SOILS

Map Unit Name: FINE SAND Drainage Class: \_\_\_\_\_

Is the soil on hydric soils list: Yes  No  Undetermined

Soil is a histosol? Yes  No  Histic epipedon? Yes  No  Gleyed? Yes  No

Depth Matrix Color Redox Concentrations\* Redox Depletions\* Texture Structure

12" to 0 10" Duff \_\_\_\_\_ \_\_\_\_\_ \_\_\_\_\_ \_\_\_\_\_

0" to 3" 10YR 4/1 \_\_\_\_\_ \_\_\_\_\_ \_\_\_\_\_ F.S. GRAANULAR - ROOTS/OAB

3" to 16" 10YR 4/2 \_\_\_\_\_ \_\_\_\_\_ \_\_\_\_\_ F.S. GRAANULAR - ROOTS

Hydric Soil Indicators:

- Sulfidic Odor  Listed on Hydric Soils List
- Redox. features (w/in 10")  Concretions/ Nodules (w/ in 3"; > 2mm)
- High organic content in surface (sandy soils)
- Organic streaking (in Sandy Soils)
- Organic pan ( in sandy soils)

Criteria Met? Yes  No  Rationale: LACKENLY HYDRIC SOIL INDICATORS. BPJ

HYDROLOGY

Recorded data

- Recorded Data available  Aerial Photos  Stream Gauge  other
- No Recorded Data Available

Field Data

Is ground surface inundated? Yes  No  Surface water depth: \_\_\_\_\_

Is the soil saturated? Yes  No  Depth to free standing water in pit/soil probe hole: NONE

Primary Hydrology Indicators: \_\_\_\_\_ Secondary Hydrology Indicators (2 or more required): \_\_\_\_\_

- Inundated  Oxidized Root Channels (upper 12")
- Saturated in upper 12"  Water-stained Leaves
- Water Marks  Local Soil Survey
- Drift Lines  FAC-Neutral test
- Sediment Deposits  Drainage Patterns  Moist

\* 7' ELEV. CHANGE

Criteria Met? Yes  No

Jurisdictional Determination : Is this a wetland? Yes  No  Rationale: THE THREE WETLAND

CRITERIA HAVE NOT BEEN MET.

87' ROUTINE ONSITE DETERMINATION METHOD

Wetland # 5

OBS.PT.# 4A

Plant community: WETLAND

Field investigator(s) Wilbur E. and Matthew J. Terynik

Project/Site: 18-12-10-40 TL 400 & 401

Date: 11-28-07

Applicant Owner: Julius E. Benedick

State: OR County: LANE

27962 Ward Lane

OBS location: EN WETLAND #5

Eugene, OR 97402

SOUTHEAST PORTION

Do normal environmental conditions exist? Yes  No  (If no, explain)

Has the vegetation, soils, and /or hydrology been significantly disturbed? Yes  No

Explain: \_\_\_\_\_

VEGETATION			5' Rad. <input checked="" type="checkbox"/>	4' <sup>2</sup>	M <sup>2</sup>
Dominant Species	Status	% Cover	Dominant Species	Status	% Cover
<b>Tree Stratum</b>			<b>Herb Stratum</b>		
Total Cover: _____			Total Cover: <u>80</u>		
1. _____			1. <u>DESCHAMPSIA CESPITOSA FACW</u>	<u>100*</u>	
2. _____			2. _____		
3. _____			3. _____		
4. _____			4. _____		
<b>Sapling/Shrub Stratum</b>			5. _____		
Total Cover: <u>30</u>			6. _____		
2' to 3' 1. <u>VACCINIUM ULLIENSIUM FACW</u>		<u>100*</u>	7. _____		
2. _____			8. _____		
3. _____			9. _____		
4. _____			10. _____		
5. _____					

Percent Dominant Species that are OBL, FACW, and/or FAC 100 100\* = Dominants 2 of 2

Criteria Met? Yes  No  Other Notable Species: T-CAREX OBNUPTA (OBL) SPIRAEA DOWNINGII (FACW)

SOILS

Map Unit Name: YAQUINA LOAMY FINE SAND Drainage Class: SOMEWHAT POORLY DRAINED

Is the soil on hydric soils list: Yes  No  Undetermined

Soil is a histosol? Yes  No  Histic epipedon? Yes  No  Gleyed? Yes  No

Depth	Matrix Color	Redox Concentrations*	Redox Depletions*	Texture	Structure
<u>0 to 3"</u>	<u>10YR 2/1</u>			<u>L, S.S.</u>	<u>GRANULAR - FINE ROOTS / ORZ.</u>
<u>3 to 4"</u>	<u>10YR 3/1</u>			<u>L, S.S.</u>	<u>GRANULAR - FINE ROOTS / ORZ.</u>
<u>4 to 16"</u>	<u>2.5Y 5/2</u>	<u>2.5Y 5/4 CFF</u>		<u>S.S.</u>	<u>GRANULAR - FINE ROOTS / ORZ'S ORZ. ST.</u>

Hydric Soil Indicators:

- Sulfidic Odor  Listed on Hydric Soils List
- Redox. features (w/in 10") WEAK  Concretions/ Nodules (w/ in 3"; > 2mm)
- High organic content in surface (sandy soils)
- Organic streaking (in Sandy Soils)
- Organic pan ( in sandy soils)

Criteria Met? Yes  No  Rationale: SIMILAR TO YAQUINA SERIES.

HYDROLOGY

Recorded data

- Recorded Data available  Aerial Photos  Stream Gauge  other
- No Recorded Data Available

Field Data

Is ground surface inundated? Yes  No  Surface water depth: \_\_\_\_\_

Is the soil saturated? Yes  No  Depth to free standing water in pit/soil probe hole: NONE

Primary Hydrology Indicators:

Secondary Hydrology Indicators (2 or more required):

- Inundated  Oxidized Root Channels (upper 12")
- Saturated in upper 12"  Water-stained Leaves
- Water Marks  Local Soil Survey
- Drift Lines  FAC-Neutral test
- Sediment Deposits  Drainage Patterns  Moist \*SEASONAL

Criteria Met? Yes  No

Jurisdictional Determination : Is this a wetland? Yes  No  Rationale: THE THREE WETLAND CRITERIA HAVE BEEN MET.

87' ROUTINE ONSITE DETERMINATION METHOD

Wetland # 6

OBS.PT.# 1

Plant community: inland

Field investigator(s) Wilbur E. and Matthew J. Terynik

Project/Site: 18-12-10-40 TL 400 & 401

Date: 11-27-07

Applicant Owner: Julius E. Benedick

State: OR County: LANE

27962 Ward Lane  
Eugene, OR 97402

OBS location: UPLAND RISE SOUTH  
OF WETLAND # 6, NORTHWEST PARTEN

Do normal environmental conditions exist? Yes  No  (If no, explain)

Has the vegetation, soils, and /or hydrology been significantly disturbed? Yes  No

Explain: \_\_\_\_\_

**VEGETATION**

5' Rad.  4'  M<sup>2</sup>

Dominant Species Status % Cover Dominant Species Status % Cover

Tree Stratum

Herb Stratum

Total Cover: 10

Total Cover: \_\_\_\_\_

- 40' 1. PSUEDOTSUGA MENZIESII FACU 100
- 2. \_\_\_\_\_
- 3. \_\_\_\_\_
- 4. \_\_\_\_\_

- 1. \_\_\_\_\_
- 2. \_\_\_\_\_
- 3. \_\_\_\_\_
- 4. \_\_\_\_\_

Sapling/Shrub Stratum

Total Cover: 100

- 6' to 8' 1. VACCINIUM OVATUM WPL 60 \*
- 4' to 6' 2. LAWITHEA SHALLON FACU 20 \*
- 15' 3. MYRICA CALIFORNICA FACU 20 \*
- 4. \_\_\_\_\_
- 5. \_\_\_\_\_

- 5. \_\_\_\_\_
- 6. \_\_\_\_\_
- 7. \_\_\_\_\_
- 8. \_\_\_\_\_
- 9. \_\_\_\_\_
- 10. \_\_\_\_\_

Percent Dominant Species that are OBL, FACW, and/or FAC 100 33 1/3 \* = Dominants 1 of 3

Criteria Met? Yes  No  Other Notable Species: T-SPIRAEA DOUGLASSII (FACW)

**SOILS**

Map Unit Name: FINE SAND Drainage Class: \_\_\_\_\_

Is the soil on hydric soils list: Yes  No  Undetermined

Soil is a histosol? Yes  No  Histic epipedon? Yes  No  Gleyed? Yes  No

\* fluffy  
DRY

Depth Matrix Color Redox Concentrations\* Redox Depletions\* Texture Structure

Depth	Matrix Color	Redox Concentrations*	Redox Depletions*	Texture	Structure
6" to 0	Duff				
0 to 1"	10YR 3/2			f.s.	GRANULAR-ROOTS
1" to 6"	10YR 4/3			f.s.	GRANULAR-ROOTS

Hydric Soil Indicators:

- Sulfidic Odor
- Redox. features (w/in 10")
- High organic content in surface (sandy soils)
- Organic streaking (in Sandy Soils)
- Organic pan ( in sandy soils)
- Listed on Hydric Soils List
- Concretions/ Nodules (w/ in 3"; > 2mm)

Criteria Met? Yes  No  Rationale: LACKING HYDRIC SOIL INDICATORS. BRJ.

**HYDROLOGY**

Recorded data

- Recorded Data available
- Aerial Photos
- Stream Gauge
- other
- No Recorded Data Available

Field Data

Is ground surface inundated? Yes  No  Surface water depth: \_\_\_\_\_

Is the soil saturated? Yes  No  Depth to free standing water in pit/soil probe hole: NONE

Primary Hydrology Indicators: \_\_\_\_\_ Secondary Hydrology Indicators (2 or more required): \_\_\_\_\_

- Inundated
- Saturated in upper 12"
- Water Marks
- Drift Lines
- Sediment Deposits
- Oxidized Root Channels (upper 12")
- Water-stained Leaves
- Local Soil Survey
- FAC-Neutral test
- Drainage Patterns
- Moist

\* 10' ELEV.  
CHANGE

Criteria Met? Yes  No

Jurisdictional Determination : Is this a wetland? Yes  No  Rationale: THE THREE WETLAND CRITERIA HAVE NOT BEEN MET.

87' ROUTINE ONSITE DETERMINATION METHOD

Wetland # 6

OBS.PT.# 1A

Plant community: WETLAND

Field investigator(s) Wilbur E. and Matthew J. TERNYK

Project/Site: 18-12-10-40 TL 400 & 401

Date: 11-27-07

Applicant Owner: Julius E. Benedick

State: OR County: LANE

27962 Ward Lane

OBS location: IN WETLAND #6

Eugene, OR 97402

NORTHWEST PORTION

Do normal environmental conditions exist? Yes  No  (If no, explain)

Has the vegetation, soils, and /or hydrology been significantly disturbed? Yes  No

Explain: \_\_\_\_\_

VEGETATION			5' Rad. <input checked="" type="checkbox"/> 4' <input type="checkbox"/>	M <sup>2</sup>			
Dominant Species	Status	% Cover	Dominant Species	Status	% Cover		
Tree Stratum			Herb Stratum				
Total Cover: _____			Total Cover: _____				
1. _____			1. _____				
2. _____			2. _____				
3. _____			3. _____				
4. _____			4. _____				
Sapling/Shrub Stratum			5. _____				
Total Cover: <u>90</u>			6. _____				
6' 1. <u>SPIRAEA DOUGLASSII FACW</u>		<u>89</u> *	7. _____				
10' 2. <u>MYRICA CALIFORNICA FACW</u>		<u>11</u>	8. _____				
3. _____			9. _____				
4. _____			10. _____				
5. _____							

\* OVERHANGING WETLAND VEGETATION

Percent Dominant Species that are OBL, FACW, and/or FAC 100 100 \* = Dominants 1 of 1

Criteria Met? Yes  No  Other Notable Species: \_\_\_\_\_

SOILS

Map Unit Name: LOAMY FINE SAND Drainage Class: \_\_\_\_\_

Is the soil on hydric soils list: Yes  No  Undetermined

Soil is a histosol? Yes  No  Histic epipedon? Yes  No  Gleyed? Yes  No

Depth	Matrix Color	Redox Concentrations*	Redox Depletions*	Texture	Structure
5" TO 10"	<u>LETTER/DRL</u>				
0 TO 1"	<u>10YR 3/1</u>			<u>L, FS</u>	<u>LAANLAD - FINE ROOTS / ORG</u>
1" TO 16"	<u>2.5Y 3/1</u>		<u>10YR 4/2 CMD</u>	<u>L, SS</u>	<u>LAANLAD - FINE ROOTS / ORG. ST.</u>

Hydric Soil Indicators:

- Sulfidic Odor
- Redox. features (w/in 10")
- High organic in surface (sandy soils)
- Organic streaking (In Sandy Soils)
- Organic pan ( in sandy soils)
- Listed on Hydric Soils List
- Concretions/ Nodules (w/ in 3"; > 2mm)

Criteria Met? Yes  No  Rationale: STRONG HYDRIC SOIL INDICATORS. BPL.

HYDROLOGY

Recorded data

- Recorded Data available
- Aerial Photos
- Stream Gauge
- other
- No Recorded Data Available

Field Data

Is ground surface inundated? Yes  No  Surface water depth: \_\_\_\_\_

Is the soil saturated? Yes  No  Depth to free standing water in pit/soil probe hole: NONE

Primary Hydrology Indicators: \_\_\_\_\_ Secondary Hydrology Indicators (2 or more required): \_\_\_\_\_

- Inundated
- Saturated in upper 12"
- Water Marks
- Drift Lines
- Sediment Deposits
- Drainage Patterns
- Moist
- Oxidized Root Channels (upper 12")
- Water-stained Leaves
- Local Soil Survey
- FAC-Neutral test

\* SEASONAL

Criteria Met? Yes  No

Jurisdictional Determination : Is this a wetland? Yes  No  Rationale: THE THREE WETLAND CRITERIA HAVE BEEN MET.

**87' ROUTINE ONSITE DETERMINATION METHOD**

Wetland # 6

OBS.PT.# 2

Plant community: UPLAND

Field investigator(s) Wilbur E. and Matthew J. TERNYK

Project/Site: 18-12-10-40 TL 400 & 401

Date: 11-27-07

Applicant Owner: Jullus E. Benedick

State: OR County: LANE

27962 Ward Lane

OBS location: UPLAND RISE

Eugene, OR 97402

SOUTH WEST OF WETLAND #6, MIDWEST PORTION

Do normal environmental conditions exist? Yes  No  (if no, explain) \_\_\_\_\_

Has the vegetation, soils, and /or hydrology been significantly disturbed? Yes  No

Explain: \_\_\_\_\_

<u>VEGETATION</u>			5' Rad. <u>X</u>	4' <sup>2</sup>	M <sup>2</sup>
<u>Dominant Species</u>	<u>Status</u>	<u>% Cover</u>	<u>Dominant Species</u>	<u>Status</u>	<u>% Cover</u>
<u>Tree Stratum</u>			<u>Herb Stratum</u>		
Total Cover: _____			Total Cover: _____		
1. _____			1. _____		
2. _____			2. _____		
3. _____			3. _____		
4. _____			4. _____		
<u>Sapling/Shrub Stratum</u>			5. _____		
Total Cover: <u>100</u>			6. _____		
8' 1. <u>GALWITHERIA SHALLOV FACU</u>		<u>30 *</u>	7. _____		
10' 2. <u>VACCINIUM OVATUM UPL</u>		<u>30 *</u>	8. _____		
6' tac 3. <u>RHODOCHRYSON MACRORHYZUM FACU</u>		<u>40 *</u>	9. _____		
4. _____			10. _____		
5. _____					

Percent Dominant Species that are OBL, FACW, and/or FAC 100 0 \* = Dominants 0 of 3

Criteria Met? Yes  No  Other Notable Species: \_\_\_\_\_

**SOILS**

Map Unit Name: WALDPORT FINE SAND Drainage Class: EXCESSIVELY DRAINED

Is the soil on hydric soils list: Yes  No  Undetermined

Soil is a histosol? Yes  No  Histic epipedon? Yes  No  Gleyed? Yes  No

<u>Depth</u>	<u>Matrix Color</u>	<u>Redox Concentrations*</u>	<u>Redox Depletions*</u>	<u>Texture</u>	<u>Structure</u>
<u>5" TO 0"</u>	<u>DWSS</u>				
<u>0 TO 2"</u>	<u>10YR 3/1</u>			<u>F.S.</u>	<u>GRANULAR-ROOTS</u>
<u>2" TO 8"</u>	<u>10YR 3/2</u>			<u>F.S.</u>	<u>GRANULAR-ROOTS</u>
<u>8" TO 16"</u>	<u>10YR 5/3</u>			<u>F.S.</u>	<u>GRANULAR-ROOTS</u>

- Hydric Soil Indicators:**
- Sulfitic Odor
  - Redox. features (w/in 10")
  - High organic content in surface (sandy soils)
  - Organic streaking (In Sandy Soils)
  - Organic pan ( in sandy soils)
  - Listed on Hydric Soils List
  - Concretions/ Nodules (w/ in 3"; > 2mm)

Criteria Met? Yes  No  Rationale: SIMILAR TO WALDPORT SANDS.

**HYDROLOGY**

**Recorded data**  
 Recorded Data available  Aerial Photos  Stream Gauge  other  
 No Recorded Data Available

**Field Data**  
 Is ground surface inundated? Yes  No  Surface water depth: \_\_\_\_\_  
 Is the soil saturated? Yes  No  Depth to free standing water in pit/soil probe hole: NONE  
**Primary Hydrology Indicators:**  Inundated  Saturated in upper 12"  Water Marks  Drift Lines  Sediment Deposits  Drainage Patterns  Moist  
**Secondary Hydrology Indicators (2 or more required):**  Oxidized Root Channels (upper 12")  Water-stained Leaves  Local Soil Survey  FAC-Neutral test

\* 4' ELEV. CHANGE

Jurisdictional Determination : Is this a wetland? Yes  No  Rationale: THE THREE WETLAND CRITERIA HAVE NOT BEEN MET.

87' ROUTINE ONSITE DETERMINATION METHOD

Wetland # 6

OBS.PT.# 2A

Plant community: WETLAND

Field investigator(s) Wilbur E. and Matthew J. Terynik

Project/Site: 18-12-10-40 TL 400 & 401

Date: 11-27-07

Applicant Owner: Julius E. Benedick

State: OR County: LANE

27962 Ward Lane

OBS location: IN WETLAND

Eugene, OR 97402

NEAR WEST PORTON

Do normal environmental conditions exist? Yes  No  (If no, explain) \_\_\_\_\_

Has the vegetation, soils, and /or hydrology been significantly disturbed? Yes  No

Explain: \_\_\_\_\_

VEGETATION			5' Rad. <input checked="" type="checkbox"/>	4' <sup>2</sup>	M <sup>2</sup>			
Dominant Species	Status	% Cover	Dominant Species	Status	% Cover			
<b>Tree Stratum</b>			<b>Herb Stratum</b>					
Total Cover: <u>20</u>			Total Cover: <u>100</u>					
20'	1.	<u>Pinus contorta FAC</u>	100*	1'	1.	<u>Deschampsia cespitosa FACW</u>	20*	
	2.			2'	2.	<u>Eleocharis ovata OBL</u>	25*	
	3.			3'	3.	<u>Carex obnupta OBL</u>	30*	
	4.			4.	4.	<u>Potentilla anserina OBL</u>	25*	
<b>Sapling/Shrub Stratum</b>								
Total Cover: <u>20</u>								
4'	1.	<u>Speraea douglasii FACW</u>	100*	5.				
	2.			6.				
	3.			7.				
	4.			8.				
	5.			9.				
				10.				

\*OVER HANGING WETLAND VEGETATION

Percent Dominant Species that are OBL, FACW, and/or FAC 100 100 \* = Dominants 6 of 6

Criteria Met? Yes  No  Other Notable Species: \_\_\_\_\_

SOILS

Map Unit Name: YACQUINA LOAMY FINE SAND Drainage Class: SOMEWHAT POORLY DRAINED

Is the soil on hydric soils list: Yes  No  Undetermined

Soil is a histosol? Yes  No  Histic epipedon? Yes  No  Gleyed? Yes  No

Depth	Matrix Color	Redox Concentrations*	Redox Depletions*	Texture	Structure
3" to 10"	<u>LITTA/ORG</u>				
0 to 1"	<u>10YR 3/2</u>			<u>L, S.S.</u>	<u>GRANULAR - FINE ROOTS/ORG.</u>
1 to 5"	<u>10YR 4/1</u>			<u>S.S.</u>	<u>GRANULAR - FINE ROOTS/ORG. ST.</u>
5 to 10"	<u>10YR 5/3</u>			<u>S.S.</u>	<u>GRANULAR - FINE ROOTS</u>
10 to 16"	<u>7.5YR 4/3</u>	<u>7.5YR 3/4 mmp</u>		<u>S.S.</u>	<u>GRANULAR - WEAK CEMENTED</u>

Hydric Soil Indicators:

Sulfitic Odor  Listed on Hydric Soils List

Redox. features (w/in 10")  Concretions/ Nodules (w/ in 3"; > 2mm)

High organic content in surface (sandy soils)

Organic streaking (in Sandy Soils)

Organic pan ( in sandy soils)

Criteria Met? Yes  No  Rationale: SIMILAR TO YACQUINA SERIES.

HYDROLOGY

Recorded data

Recorded Data available  Aerial Photos  Stream Gauge  other

No Recorded Data Available

Field Data

Is ground surface inundated? Yes  No  Surface water depth: \_\_\_\_\_

Is the soil saturated? Yes  No  Depth to free standing water in pit/soil probe hole: NONE

Primary Hydrology Indicators:

Inundated  Oxidized Root Channels (upper 12")

Saturated in upper 12"  Water-stained Leaves

Water Marks  Local Soil Survey

Drift Lines  FAC-Neutral test

Sediment Deposits  Drainage Patterns  Moist

\* SEASONAL

Criteria Met? Yes  No

Jurisdictional Determination : Is this a wetland? Yes  No  Rationale: THE THREE WETLAND CRITERIA HAVE BEEN MET.

87' ROUTINE ON-SITE DETERMINATION METHOD

Wetland # 6

OBS.PT.# 3

Plant community: UPLAND

Field investigator(s) Wilbur E. and Matthew J. TERNYK

Project/Site: 18-12-10-40 TL 400 & 401

Date: 11-28-07

Applicant Owner: Julius E. Benedick

State: OR County: LANE

27962 Ward Lane

OBS location: UPLAND RISE WEST OF

Eugene, OR 97402

WETLAND #6, MED SOUTHWEST PORTION

Do normal environmental conditions exist? Yes  No  (If no, explain)

Has the vegetation, soils, and /or hydrology been significantly disturbed? Yes  No

Explain: \_\_\_\_\_

**VEGETATION**

5' Rad.  4'  M<sup>2</sup> \_\_\_\_\_

**Dominant Species**      **Status**      **% Cover**      **Dominant Species**      **Status**      **% Cover**

**Tree Stratum**

**Herb Stratum**

Total Cover: \_\_\_\_\_

Total Cover: \_\_\_\_\_

- 1. \_\_\_\_\_
- 2. \_\_\_\_\_
- 3. \_\_\_\_\_
- 4. \_\_\_\_\_

- 1. \_\_\_\_\_
- 2. \_\_\_\_\_
- 3. \_\_\_\_\_
- 4. \_\_\_\_\_

**Sapling/Shrub Stratum**

Total Cover: 100

- 5. \_\_\_\_\_
- 6. \_\_\_\_\_

15' 1. RHODODENDRON MACROPHYLLUM FACW 30

6' 2. GALLIHERIA SHALLEN FACW 30

8' 3. VALLENZUM QUATUM UPL 40

- 7. \_\_\_\_\_
- 8. \_\_\_\_\_
- 9. \_\_\_\_\_
- 10. \_\_\_\_\_

Percent Dominant Species that are OBL, FACW, and/or FAC 100 0 \* = Dominants 0 of 3

Criteria Met? Yes  No  Other Notable Species: T-SPERAEA DOUGLASSII (FACW)

**SOILS**

Map Unit Name: FINE SAND Drainage Class: \_\_\_\_\_

Is the soil on hydric soils list: Yes  No  Undetermined

Soil is a histosol? Yes  No  Histic epipedon? Yes  No  Gleyed? Yes  No

Depth	Matrix Color	Redox Concentrations*	Redox Depletions*	Texture	Structure
0" to 10"	Duff/orb.				
0" to 3"	10YR 3/2			F.S.	CLANULAR-ROOTS
3" to 10"	10YR 4/3			F.S.	CLANULAR-ROOTS
10" to 16"	10YR 5/3	7.5YR 3/3 CFF		F.S.	CLANULAR-ROOTS

**Hydric Soil Indicators:**

- Sulfidic Odor
- Redox features (w/in 10")
- High organic content in surface (sandy soils)
- Organic streaking (in Sandy Soils)
- Organic pan ( in sandy soils)
- Listed on Hydric Soils List
- Concretions/ Nodules (w/ in 3"; > 2mm)

Criteria Met? Yes  No  Rationale: LACKING STRONG-HYDRIC SOIL INDICATORS. BPL.

**HYDROLOGY**

**Recorded data**

- Recorded Data available
- Aerial Photos
- Stream Gauge
- other
- No Recorded Data Available

**Field Data**

Is ground surface inundated? Yes  No  Surface water depth: \_\_\_\_\_

Is the soil saturated? Yes  No  Depth to free standing water in pit/soil probe hole: None

**Primary Hydrology Indicators:**

**Secondary Hydrology Indicators (2 or more required):**

- Inundated
- Saturated in upper 12"
- Water Marks
- Drift Lines
- Sediment Deposits
- Oxidized Root Channels (upper 12")
- Water-stained Leaves
- Local Soil Survey
- FAC-Neutral test
- Drainage Patterns
- Moist

\* 5' ELEV. CHANGE

Criteria Met? Yes  No

Jurisdictional Determination : Is this a wetland? Yes  No  Rationale: THE THREE WETLAND CRITERIA HAVE NOT BEEN MET.

87' ROUTINE ON-SITE DETERMINATION METHOD

Wetland # 6

OBS.PT.# 3A

Plant community: WETLAND

Field investigator(s) Wilbur E. and Matthew J. TERNYK

Project/Site: 18-12-10-40 TL 400 & 401

Date: 11-28-07

Applicant Owner: Julius E. Benedick

State: OR County: LANE

27962 Ward Lane

OBS location: IN WETLAND #6

Eugene, OR 97402

MED SOUTH WEST PORTION

Do normal environmental conditions exist? Yes  No  (If no, explain)

Has the vegetation, soils, and /or hydrology been significantly disturbed? Yes  No

Explain:

VEGETATION			5' Rad. <input checked="" type="checkbox"/> 4' <input type="checkbox"/>	M <sup>2</sup>	
Dominant Species	Status	% Cover	Dominant Species	Status	% Cover
<b>Tree Stratum</b>			<b>Herb Stratum</b>		
Total Cover: <u>10</u>			Total Cover: <u>90</u>		
10' 1. <u>PENUS CONTORTA</u>	<u>FAC</u>	<u>100</u>	1' 1. <u>CAREX OBIVIPITA</u>	<u>OBL</u>	<u>33 *</u>
2. _____			10" 2. <u>DESCHAMPSIA CESPITOSA</u>	<u>FACW</u>	<u>67 *</u>
3. _____			3. _____		
4. _____			4. _____		
<b>Sapling/Shrub Stratum</b>			5. _____		
Total Cover: <u>70</u>			6. _____		
2' to 3' 1. <u>SPIRAEA DOUGLASSII</u>	<u>FACW</u>	<u>57 *</u>	7. _____		
2' 2. <u>VACCINIUM ULLIENKOSUM</u>	<u>FACW</u>	<u>43 *</u>	8. _____		
3. _____			9. _____		
4. _____			10. _____		
5. _____					

Percent Dominant Species that are OBL, FACW, and/or FAC 100 100 \* = Dominants 4 of 4

Criteria Met? Yes  No  Other Notable Species:

SOILS

Map Unit Name: YAGUENA LOAMY FINE SAND Drainage Class: SOMEWHAT POORLY DRAINED

Is the soil on hydric soils list: Yes  No  Undetermined

Soil is a histosol? Yes  No  Histic epipedon? Yes  No  Gleyed? Yes  No

Depth	Matrix Color	Redox Concentrations*	Redox Depletions*	Texture	Structure
0 to 1"	<u>10YR 3/2</u>			<u>L.F.S.</u>	<u>GRANULAR - FINE ROOTS/OBL</u>
1 to 2"	<u>2.5Y 4/1</u>			<u>L.F.S.</u>	<u>GRANULAR - FINE ROOTS/OBL</u>
2 to 4"	<u>2.5Y 4/2</u>			<u>F.S.</u>	<u>GRANULAR - FINE ROOTS</u>
12 to 16"	<u>2.5Y 4/2</u>			<u>F.S.</u>	<u>GRANULAR - OBL. ST.</u>

Hydric Soil Indicators:

- Sulfidic Odor
- Redox. features (w/in 10")
- High organic content in surface (sandy soils)
- Organic streaking (In Sandy Soils)
- Organic pan ( in sandy soils)
- Listed on Hydric Soils List
- Concretions/ Nodules (w/ in 3"; > 2mm)

Criteria Met? Yes  No  Rationale: SIMILAR TO YAGUENA SERIES.

HYDROLOGY

Recorded data

- Recorded Data available
- Aerial Photos
- Stream Gauge
- other
- No Recorded Data Available

Field Data

Is ground surface inundated? Yes  No  Surface water depth: \_\_\_\_\_

Is the soil saturated? Yes  No  Depth to free standing water in pit/soil probe hole: NONE

Primary Hydrology Indicators:

Secondary Hydrology Indicators (2 or more required):

- Inundated
- Saturated in upper 12"
- Water Marks
- Drift Lines
- Sediment Deposits
- Drainage Patterns
- Oxidized Root Channels (upper 12")
- Water-stained Leaves
- Local Soil Survey
- FAC-Neutral test
- Moist

Criteria Met? Yes  No

Jurisdictional Determination : Is this a wetland? Yes  No  Rationale: THE THREE WETLAND CRITERIA HAVE BEEN MET

87' ROUTINE ON-SITE DETERMINATION METHOD

Wetland # 6

OBS.PT.# 4

Plant community: UPLAND

Field investigator(s) Wilbur E. and Matthew J. TERNYK

Project/Site: 18-12-10-40 TL 400 & 401

Date: 11-28-07

Applicant Owner: Julius E. Benedick

State: OR County: LANE

27962 Ward Lane

OBS location: UPLAND RISE WEST

Eugene, OR 97402

OF WETLAND #6, SOUTH, SOUTHWEST PORTION

Do normal environmental conditions exist? Yes no No      (If no, explain)     

Has the vegetation, soils, and /or hydrology been significantly disturbed? Yes      No X

Explain:     

VEGETATION			5' Rad. <u>X</u>	4' <sup>2</sup>	M <sup>2</sup>
Dominant Species	Status	% Cover	Dominant Species	Status	% Cover
Tree Stratum			Herb Stratum		
Total Cover: <u>    </u>			Total Cover: <u>    </u>		
1. <u>    </u>	<u>    </u>	<u>    </u>	1. <u>    </u>	<u>    </u>	<u>    </u>
2. <u>    </u>	<u>    </u>	<u>    </u>	2. <u>    </u>	<u>    </u>	<u>    </u>
3. <u>    </u>	<u>    </u>	<u>    </u>	3. <u>    </u>	<u>    </u>	<u>    </u>
4. <u>    </u>	<u>    </u>	<u>    </u>	4. <u>    </u>	<u>    </u>	<u>    </u>
Sapling/Shrub Stratum			5. <u>    </u>		
Total Cover: <u>100</u>			6. <u>    </u>		
8' to 12'	1. <u>VACCINIUM OVATUM UPL</u>	<u>50 *</u>	7. <u>    </u>	<u>    </u>	<u>    </u>
4' to 6'	2. <u>LANIHERSA SHALLOV FACU</u>	<u>20 *</u>	8. <u>    </u>	<u>    </u>	<u>    </u>
12'	3. <u>RHODODENDRON MACROPHYLLUM FACU</u>	<u>15</u>	9. <u>    </u>	<u>    </u>	<u>    </u>
12'	4. <u>MYRICA CALIFORNICA FACU</u>	<u>15</u>	10. <u>    </u>	<u>    </u>	<u>    </u>
5. <u>    </u>	<u>    </u>	<u>    </u>	<u>    </u>	<u>    </u>	<u>    </u>

Percent Dominant Species that are OBL, FACW, and/or FAC 100 0 \* = Dominants 0 of 2  
 Criteria Met? Yes      No X Other Notable Species:     

SOILS

Map Unit Name: BANDON SANDY LOAM Drainage Class: WELL DRAINED

Is the soil on hydric soils list: Yes      No X Undetermined     

Soil is a histosol? Yes      No X Histic epipedon? Yes      No X Gleyed? Yes      No X

Depth	Matrix Color	Redox Concentrations*	Redox Depletions*	Texture	Structure
10' to 0	<u>DW4F</u>	<u>    </u>	<u>    </u>	<u>    </u>	<u>    </u>
0 to 1"	<u>10YR 4/1</u>	<u>    </u>	<u>    </u>	<u>S, L</u>	<u>GRANULAR - ROOTS</u>
1" to 16"	<u>7.5YR 3/3</u>	<u>    </u>	<u>    </u>	<u>S, L</u>	<u>GRANULAR - ROOTS</u>
<u>    </u>	<u>    </u>	<u>    </u>	<u>    </u>	<u>    </u>	<u>    </u>

Hydric Soil Indicators:  
     Sulfitic Odor      Listed on Hydric Soils List  
     Redox. features (w/in 10")      Concretions/ Nodules (w/ in 3"; > 2mm)  
     High organic content in surface (sandy soils)  
     Organic streaking (In Sandy Soils)  
     Organic pan ( in sandy soils)

Criteria Met? Yes      No X Rationale: SIMILAR TO BANDON SERIES.

HYDROLOGY

Recorded data  
     Recorded Data available      Aerial Photos      Stream Gauge      other  
     No Recorded Data Available

Field Data  
 Is ground surface inundated? Yes      No X Surface water depth:       
 Is the soil saturated? Yes      No X Depth to free standing water in pit/soil probe hole: NONE  
 Primary Hydrology Indicators:      Inundated      Saturated in upper 12"  
     Water Marks      Drift Lines      Sediment Deposits      Drainage Patterns      Moist  
 Secondary Hydrology Indicators (2 or more required):  
     Oxidized Root Channels (upper 12")  
     Water-stained Leaves      Local Soil Survey  
     FAC-Neutral test

\* 4' ELEV. CHANGE

Jurisdictional Determination : Is this a wetland? Yes      No X Rationale: THE THREE WETLAND CRITERIA HAVE NOT BEEN MET.

87' ROUTINE ON-SITE DETERMINATION METHOD

Wetland # 6

OBS.PT.# 4A

Plant community: WETLAND

Field investigator(s) Wilbur E. and Matthew J. TERNYK

Project/Site: 18-12-10-40 TL 400 & 401

Date: 11-28-07

Applicant Owner: Julius E. Benedick

State: OR County: LANE

27962 Ward Lane

OBS location: EN WETLAND #6 SOUTH,

Eugene, OR 97402

SIXTH WEST PARTIAN

Do normal environmental conditions exist? Yes  No  (If no, explain) \_\_\_\_\_

Has the vegetation, soils, and /or hydrology been significantly disturbed? Yes  No

Explain: \_\_\_\_\_

VEGETATION

5' Rad.  4'  M<sup>2</sup> \_\_\_\_\_

Dominant Species Status % Cover Dominant Species Status % Cover

Tree Stratum Herb Stratum

Total Cover: 100 Total Cover: 70

10' 1. Pinus contorta FAC 100 2' to 3' 1. Carex obnuptia OBL 57 \*

2. \_\_\_\_\_ 1' 2. Deschampsia cespitosa FACW 43 \*

3. \_\_\_\_\_ 3. \_\_\_\_\_

4. \_\_\_\_\_ 4. \_\_\_\_\_

Sapling/Shrub Stratum 5. \_\_\_\_\_

Total Cover: 50 6. \_\_\_\_\_

3' to 5' 1. Spiraea douglasii FACW 60 \* 7. \_\_\_\_\_

12' 2. Salix hookeriana FACW 40 \* 8. \_\_\_\_\_

3. \_\_\_\_\_ 9. \_\_\_\_\_

4. \_\_\_\_\_ 10. \_\_\_\_\_

5. \_\_\_\_\_

Percent Dominant Species that are OBL, FACW, and/or FAC 100 100 \* = Dominants 4 of 4

Criteria Met? Yes  No  Other Notable Species: \_\_\_\_\_

SOILS

Map Unit Name: YACQUENA LOAMY FINE SAND Drainage Class: SOMEWHAT POORLY DRAINED

Is the soil on hydric soils list: Yes  No  Undetermined

Soil is a histosol? Yes  No  Histic epipedon? Yes  No  Gleyed? Yes  No

Depth Matrix Color Redox Concentrations\* Redox Depletions\* Texture Structure

0 to 3" 10YR 3/1 \_\_\_\_\_ L.F.S. IRANULAR - FINE ROOTS/ORZ'S

3 to 10" 10YR 5/2 10YR 4/4 CFF S.S. IRANULAR - FINE ROOTS/ORZ'S

10 to 12" 7.5YR 4/4 \_\_\_\_\_ F.S. CEMENTED

\_\_\_\_\_ \_\_\_\_\_ \_\_\_\_\_ \_\_\_\_\_ \_\_\_\_\_

\_\_\_\_\_ \_\_\_\_\_ \_\_\_\_\_ \_\_\_\_\_ \_\_\_\_\_

Hydric Soil Indicators:

\_\_\_\_\_ Sulfitic Odor  Listed on Hydric Soils List

Redox. features (w/in 10") \_\_\_\_\_ Concretions/ Nodules (w/ in 3"; > 2mm)

\_\_\_\_\_ High organic content in surface (sandy soils)

\_\_\_\_\_ Organic streaking (in Sandy Soils)

\_\_\_\_\_ Organic pan ( in sandy soils)

Criteria Met? Yes  No  Rationale: SIMILAR TO YACQUENA SERIES.

HYDROLOGY

Recorded data

\_\_\_\_\_ Recorded Data available \_\_\_\_\_ Aerial Photos \_\_\_\_\_ Stream Gauge \_\_\_\_\_ other

\_\_\_\_\_ No Recorded Data Available

Field Data

Is ground surface inundated? Yes  No  Surface water depth: \_\_\_\_\_

Is the soil saturated? Yes  No  Depth to free standing water in pit/soil probe hole: NONE

Primary Hydrology Indicators: Secondary Hydrology Indicators (2 or more required):

\_\_\_\_\_ Inundated  Oxidized Root Channels (upper 12")

\_\_\_\_\_ Saturated in upper 12"  Water-stained Leaves

Water Marks \_\_\_\_\_ Local Soil Survey

Drift Lines \_\_\_\_\_ FAC-Neutral test

\_\_\_\_\_ Sediment Deposits  Drainage Patterns  Moist \*SEASONAL

Criteria Met? Yes  No

\_\_\_\_\_

Jurisdictional Determination : Is this a wetland? Yes  No  Rationale: THE THREE WETLAND

CRITERIA HAVE BEEN MET.

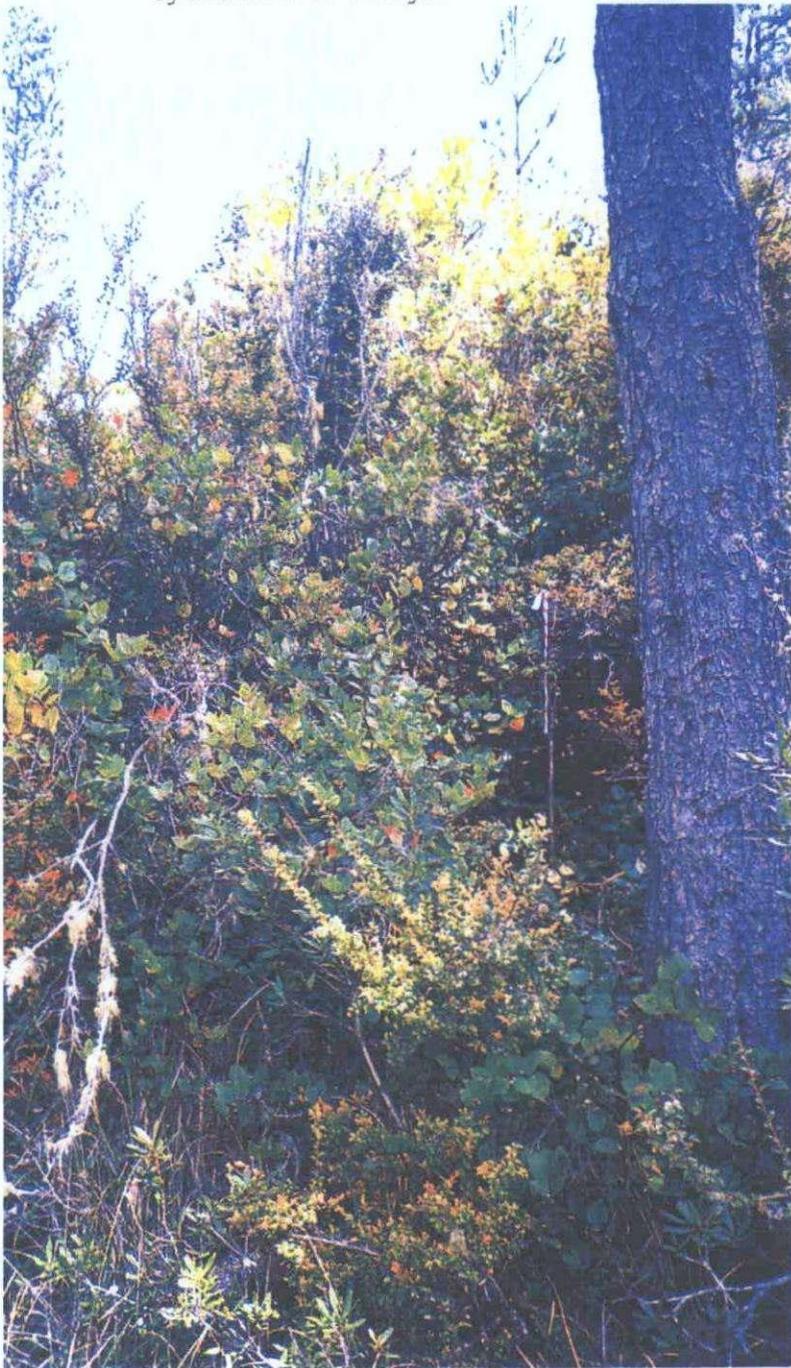
Photo  
Section



Location: Gene Benedict property in Florence, Oregon (UGB).  
 Transitioning from wetland into upland vegetation conditions at Wetland 1, OBS Pt. 1.  
 Dominant species is Salal (*Gaultheria shallon*) and Evergreen  
 huckleberry (*Vaccinium ovatum*).

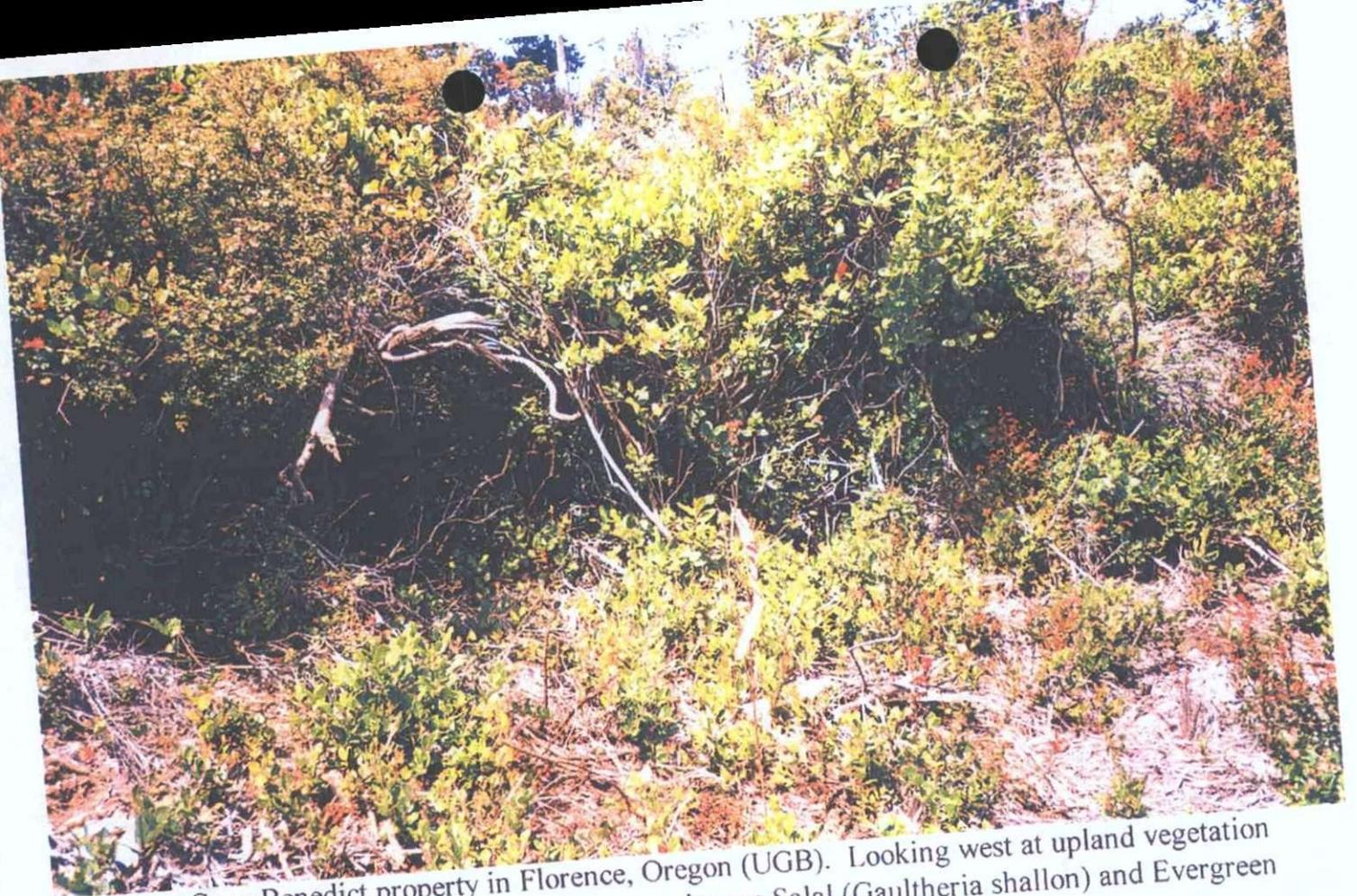


Location: Gene Benedict property in Florence, Oregon (UGB). Looking south at wetland conditions at Wetland 1, OBS Pt. 1a. Note the dominant species is Slough sedge (*Carex obnupta*) and Small moss (*Sphagnum capillifolium*).



Location: Gene Benedict property in Florence, Oregon (UGB). Looking north into a dunal depression wetland Wetland 2, OBS Pt. 1a. Dominant species is Slough sedge (*Carex obnupta*).

: Gene Benedict property in Florence, Oregon (UGB). Looking  
 t at upland vegetation conditions at Wetland 2, OBS Pt. 1.  
 inant species are Salal (*Gaultheria shallon*) and Evergreen  
 rry (*Vaccinium ovatum*).



Location: Gene Benedict property in Florence, Oregon (UGB). Looking west at upland vegetation conditions in Wetland 3, OBS Pt.1. Dominant species are Salal (*Gaultheria shallon*) and Evergreen huckleberry (*Vaccinium ovatum*).

5/14/07

Photo 6

by Matthew J. Ternyik





Gene Benedict property in Florence, Oregon (UGB). Looking north at upland conditions at Wetland 4, OBS Pt.1. Dominant species are Salal (*Gaultheria shallon*) and Evergreen huckleberry (*Immature ovatum*). Both R9-Indicators (UPL).



Location: Gene Benedict property in Florence, Oregon (UGB). Looking south at wetland conditions at Wetland 4, OBS Pt. 1a, dominant species Slough sedge (*Carex obnupta*) OBL.



Location: Gene Benedict property in Florence, Oregon (UGB). Looking east at upland conditions in Wetland 4, OBS Pt. 2. Dominant species is Pacific Rhododendron (*Rhododendron opophyllum*).

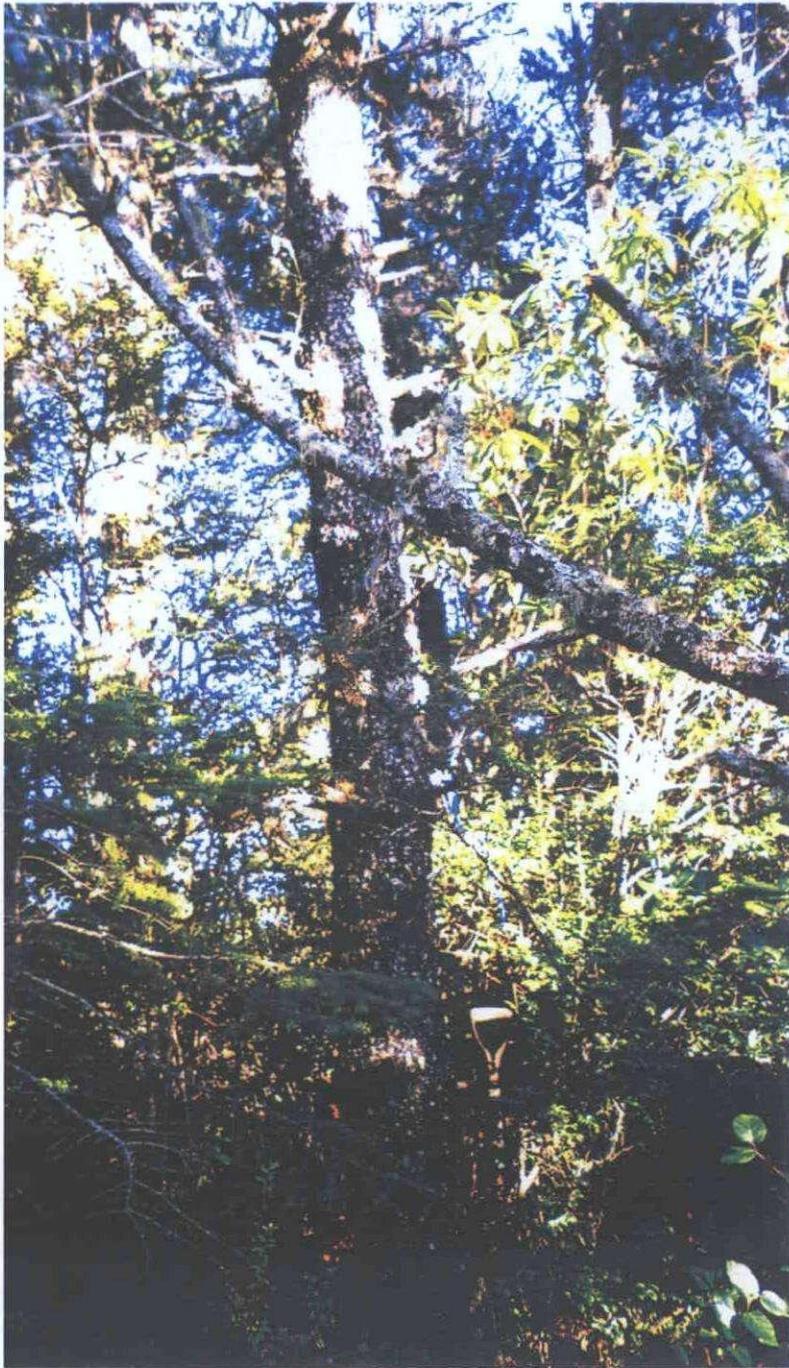


Location: Gene Benedict property in Florence, Oregon (UGB). Looking west at wetland conditions in Wetland 4, OBS Pt.2a. Dominant species are Water sedge (*Carex sitchensis*) and Douglas spirea (*Spiraea douglasii*).



Location: Gene Benedict property in Florence, Oregon (UGB). Looking west at upland condition Wetland 4, OBS Pt. 3a. Dominant species are Bog blueberry (*Vaccinium uliginosum*) and Tufted hairgrass (*Deschampsia cespitosa*).

ion: Gene Benedict property in Florence, Oregon (UGB).  
 rating upland conditions at Wetland 4, OBS Pt. 3, the  
 nant species is Pacific Rhododendron (*Rhododendron*  
*ophyllum*), Salal (*Gaultheria shallon*), and Evergreen  
 eberry (*Vaccinium ovatum*).



Location: Gene Benedict property in Florence, Oregon (UGB). Looking west at upland conditions at Wetland 4, OBS Pt. 4a. Dominant species in this PEM dunal depression is Slough sedge (*Carex obnupta*).

: Gene Benedict property in Florence, Oregon (UGB). Looking east over upland conditions at Wetland 4, OBS Pt. 4. Dominant species are Shorepine (*Pinus contorta*), Evergreen huckleberry (*Vaccinium ovatum*) and Salal (*Gaultheria shallon*).



Location: Gene Benedict property in Florence, Oregon (UGB). Looking north over upland conditions at Wetland 4, OBS Pt.5. Dominant species are Evergreen huckleberry (*Vaccinium ovatum*) and Salal (*Gaultheria shallon*).

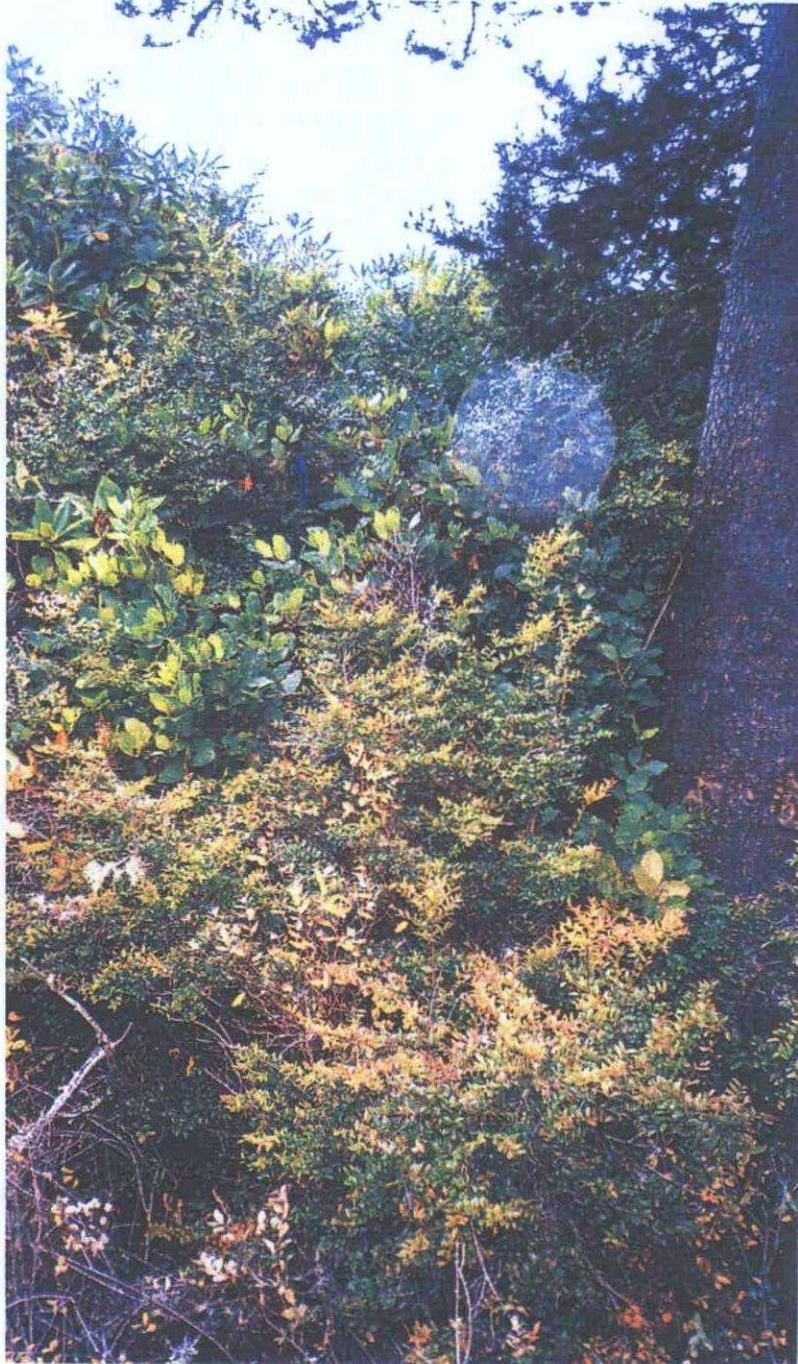
Photo 16

by Matthew J. TERNYIK

11/27/07



2007 11 27



Location: Gene Benedict property in Florence, Oregon (UGB). Looking southeast over wetland conditions at Wetland 4, OBS Pt. 6a. Dominant species are Douglas spirea (*Spiraea douglasii*) and Bog blueberry (*Vaccinium uliginosum*).

Location: Gene Benedict property in Florence, Oregon (UGB). Looking northeast over upland conditions at Wetland 4, OBS Pt. 6a. Dominant species are Evergreen (*Vaccinium ovatum*) and Pacific Rhododendron (*Rhododendron macrophyllum*).



Location: Gene Benedict property in Florence, Oregon (UGB). Looking northeast over upland conditions at Wetland 4, OBS Pt.7. Dominant species is Salal (*Gaultheria shallon*).

Photo 20

by Matthew J. Ternyik

11/27/07





Location: Gene Benedict property in Florence, Oregon (UGB). Looking west over upland conditions at Wetland 5, OBS Pt.1. Dominant species is Salal (*Gaultheria shallon*) and Pacific rhododendron (*Rhododendron macrophyllum*)

Photo 22

by Matthew J. Ternyik

11/27/07





Location: Gene Benedict property in Florence, Oregon (UGB). Looking north over wetland conditions at Wetland 5, OBS Pt. 2a. Dominant species is Tufted hairgrass (*Deschampsia cespitosa*).

Location: Gene Benedict property in Florence, Oregon (UGB). Looking northeast over upland conditions at Wetland 5, OBS Pt. 2a. Dominant species are 8-foot Salal (*Gaultheria shallon*), 10-foot Rhododendron (*Rhododendron macrophyllum*) and 10-foot Myrtle (*Myrica californica*).



Location: Gene Benedict property in Florence, Oregon (UGB). Looking west over upland conditions at Wetland 5, OBS Pt.3. Dominant species is Salal (*Gaultheria shallon*) and Evergreen huckleberry (*Vaccinium ovatum*).

Photo 26

by Matthew J. TERNYIK

11/28/07





Location: Gene Benedict property in Florence, Oregon (UGB). Looking northwest over wetland conditions at Wetland 5, OBS Pt. 4a. Dominant species are Tufted hairgrass (*Deschampsia cespitosa*) and Bog blueberry (*Vaccinium uliginosum*).

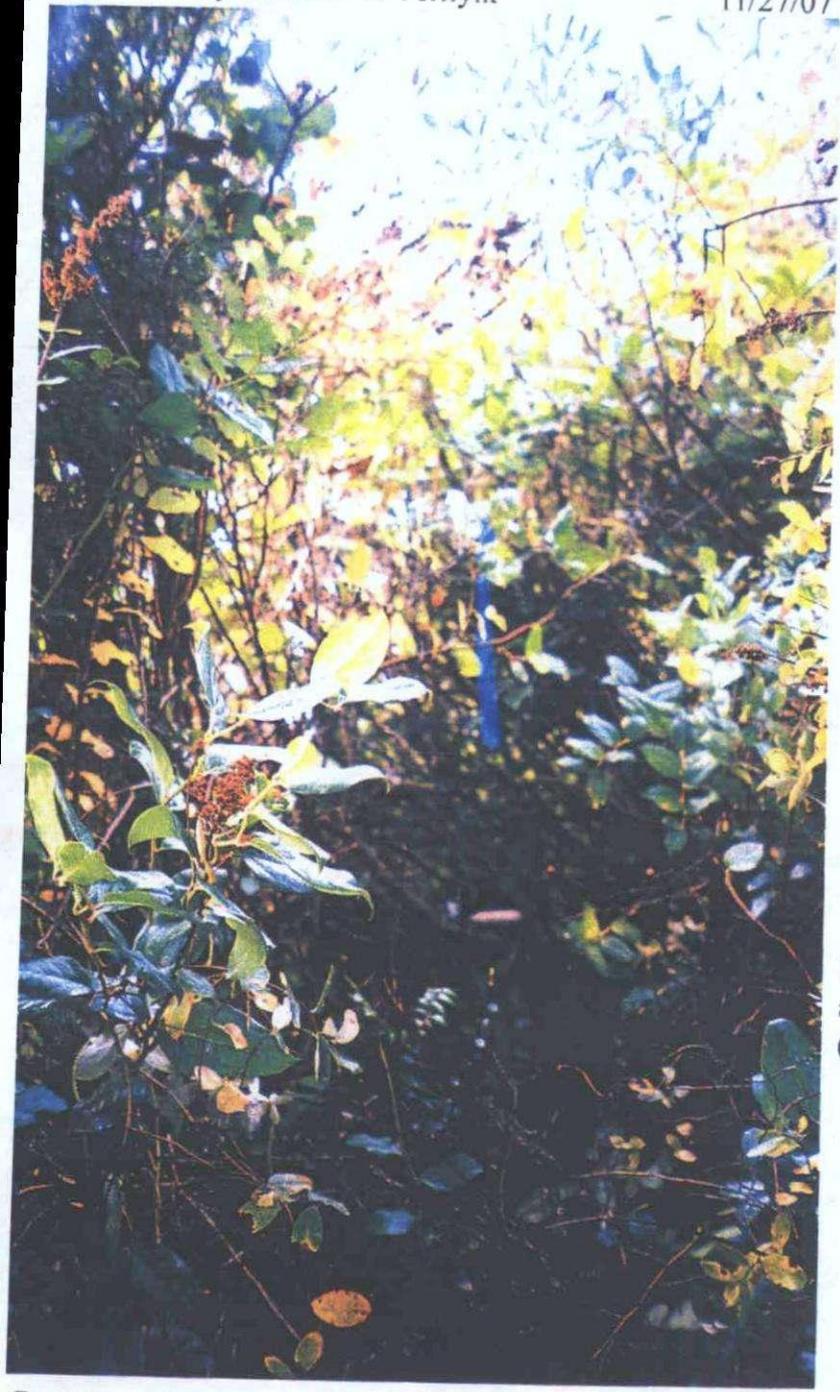
Location: Gene Benedict property in Florence, Oregon (UGB). Looking east over upland conditions at Wetland 5, OBS Pt. 4a. Dominant species are Salal (*Gaultheria shallon*) and Evergreen huckleberry (*Vaccinium ovatum*).



Location: Gene Benedict property in Florence, Oregon (UGB). Looking northwest over upland conditions at Wetland 6, OBS Pt.1. Dominant species are Salal (*Gaultheria shallon*) and Evergreen huckleberry (*Accinium ovatum*).



Location: Gene Benedict property in Florence, Oregon (UGB). Looking northwest over wetland conditions at Wetland 6, OBS Pt. 1a. Dominant species is Douglas spirea (*Spiraea douglasii*).



Gene Benedict property in Florence, Oregon (UGB).  
 Looking west over upland conditions at Wetland 6, OBS Pt. 2.  
 Dominant species are Salal (*Gaultheria shallon*) and Pacific  
 Redwood (*Rhododendron macrophyllum*).



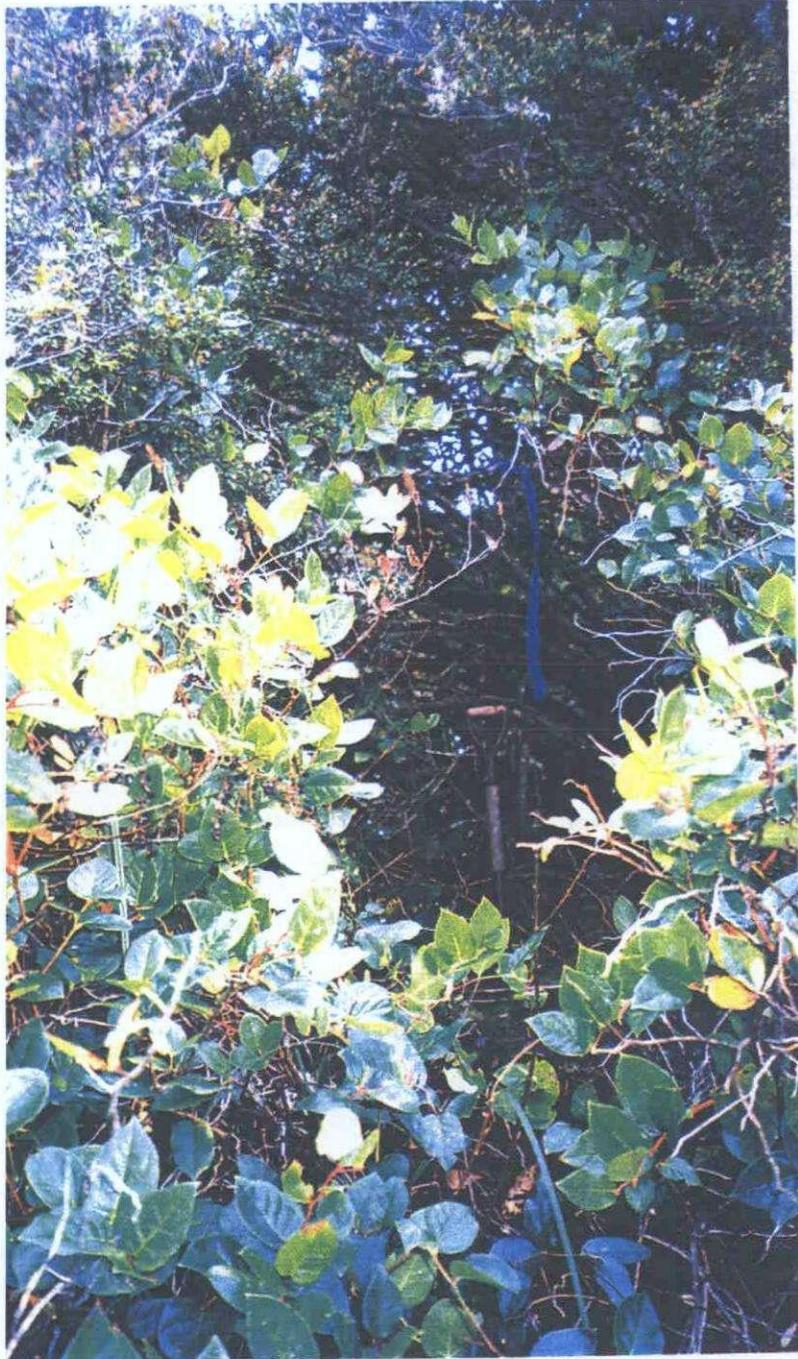
Location: Gene Benedict property in Florence, Oregon (UGB). Looking west over wetland conditions  
 at Wetland 6, OBS Pt. 2a. Dominant species are Slough sedge (*Carex obnupta*) and Creeping sp  
 (*Eleocharis palustris*).



on: Gene Benedict property in Florence, Oregon (UGB).  
 g west over upland vegetation conditions at Wetland 6,  
 t. 3. Dominant species are Salal (*Gaultheria shallon*),  
 een huckleberry (*Vaccinium ovatum*) and Pacific Rhodo-  
 n (*Rhododendron macrophyllum*).



Location: Gene Benedict property in Florence, Oregon (UGB). Looking west over wetland condit  
 at Wetland 6, OBS Pt. 3a. Dominant species are Douglas spirea (*Spiraea douglasii*) and Tufted  
 hairgrass (*Deschampsia cespitosa* ).



Location: Gene Benedict property in Florence, Oregon (UGB). Looking west over wetland conditions at Wetland 6, OBS Pt. 4a. Dominant species are Slough sedge (*Carex obnupta*) and Douglas spirea (*Spiraea douglasii*).

Location: Gene Benedict property in Florence, Oregon (UGB). Looking west over upland conditions at Wetland 6, OBS Pt. 4a. Dominant species are 6-foot Salal (*Gaultheria shallon*) and Evergreen huckleberry (*Vaccinium ovatum*).



Location: Benedict property in Florence, Oregon (UGB). Looking into large seasonally flooded (6 to 8 foot dunal depression Wetland 4, OBS Pt. 2a). Field work difficult due to travel by kayak with life jackets standard

Map  
Section

**LOCATION MAP  
WESTERN LANE COUNTY, OREGON**



Image courtesy of the U.S. Geological survey

**JULIUS E. BENEDICK  
PROPERTY**  
18-12-10-4, TL 400 & 401  
SE 1/4, SEC. 10, T18S, R12W, W.M.  
WESTERN LANE COUNTY, OREGON

SCALE  
1" TO 2,222'

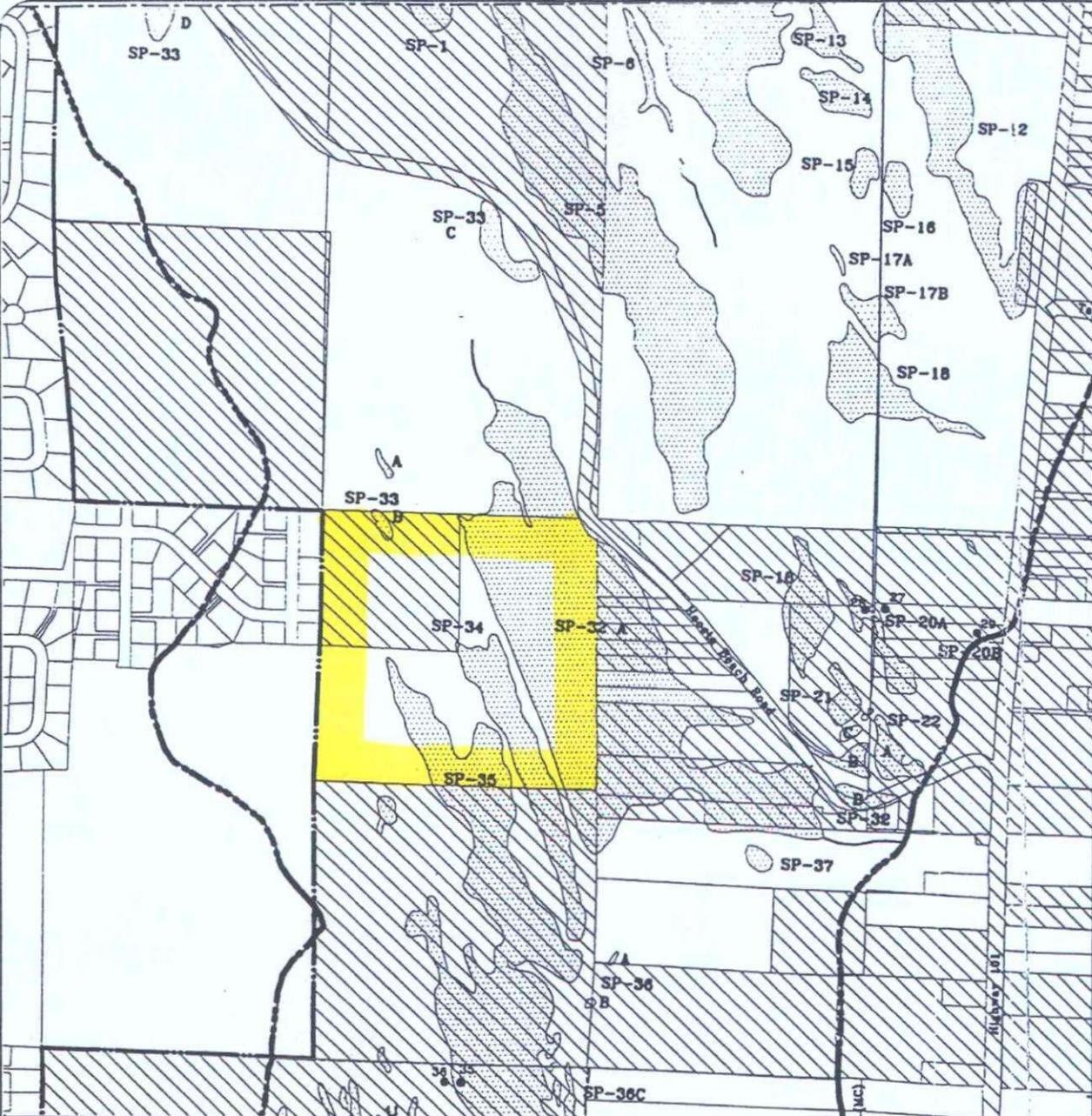




# LOCAL WETLAND INVENTORY MAP

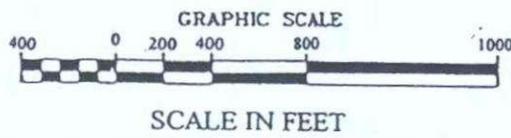
SP - 33 B (SEE ATTACHMENT)

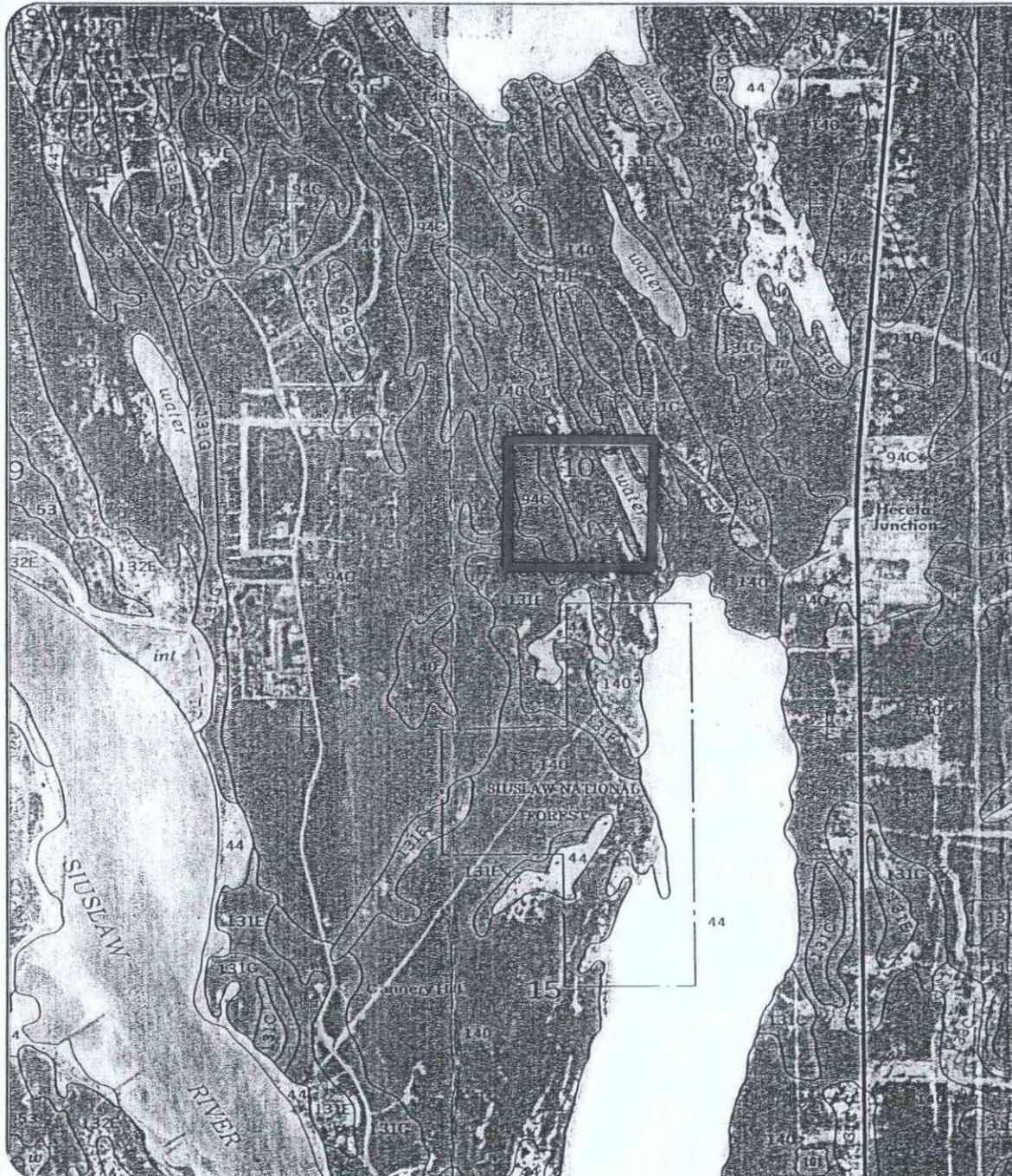
SP - 34 (SEE ATTACHMENT)



JULIUS E. BENEDICK  
 PROPERTY  
 18-12-10-4, TL 400 & 401  
 SE 1/4, SEC. 10, T18S, R12W, W.M.  
 WESTERN LANE COUNTY, OREGON

●	Sample site	[Dotted pattern]	Wetland area
SIL-3	Wetland code	[Diagonal hatching]	On Site Wetland Inventory
[Dashed line]	Watershed boundary	[Cross-hatching]	Prior Wetland Delineation
[Dotted line]	Project boundary	[Wavy line]	Drainage





## SOILS MAP

### Soils

- 94C Netarts fine sand  
0 to 12% slopes
- 131 C Waldport fine sand  
0 to 12% slopes
- 131 E Waldport fine sand  
12 to 30% slopes
- 140 Yaquina loamy fine sand



**JULIUS E. BENEDICK  
PROPERTY**

18-12-10-4, TL 400 & 401  
SE 1/4, SEC. 10, T18S, R12W, W.M.  
WESTERN LANE COUNTY, OREGON

**SCALE**

1" = 1666.67'

This unit can be used for cool-season vegetable crops if drainage and proper amounts of fertilizer and lime are provided. The water table that develops during the rainy period in winter and early in spring generally limits the suitability of the unit for deep-rooted crops. Only those hay and pasture plants that tolerate periodic inundation and a seasonal high water table are suitable for use in undrained areas. Proper stocking rates, pasture rotation, and restricted grazing during wet periods can help to keep the pasture in good condition and to protect soil from erosion and compaction.

If the soil in this unit is plowed in fall, runoff and erosion can be reduced by fertilizing and seeding to a cover crop. Grain and grasses respond to nitrogen; legumes respond to phosphorus, boron, sulfur, and lime; and vegetables and berries respond to nitrogen, phosphorus, potassium, and lime.

If this unit is used for recreational development, the main limitations are wetness and the hazard of flooding. The unit can be used for paths and trails during the drier months in summer and fall.

This unit is poorly suited to homesite development. The main limitations are the hazard of flooding, wetness, the seasonal high water table, moderately slow permeability, and low soil strength. Buildings and roads should be designed to offset the limited ability of the soil in this unit to support a load. Wetness can be reduced by installing drain tile around footings. Roads for year-round use need heavy base rock. Flooding can be controlled only by use of major flood control structures.

This map unit is in capability subclass IIIw.

#### **94C-Netarts fine sand, 3 to 12 percent slopes.**

This deep, well drained soil is on stabilized sand dunes. It formed in eolian sand deposits. Areas are elongated or irregular in shape and are 5 to 200 acres in size. The native vegetation is mainly shore pine, Sitka spruce, salal, Pacific rhododendron, manzanita, evergreen huckleberry, and scattered Douglas-fir and western hemlock. Elevation is 30 to 300 feet. The average annual precipitation is 60 to 80 inches, the average annual air temperature is 51 to 52 degrees F, and the average frost-free period is 180 to 210 days.

Typically, the surface is covered with a mat of leaves, needles, and twigs about 2 inches thick. The surface layer is light gray fine sand about 6 inches thick. The subsoil is variegated fine sand about 41 inches thick. It has weakly cemented to moderately cemented nodules and lenses. The substratum to a depth of 60 inches or more is light yellowish brown fine sand.

Included in this unit are small areas of Heceta, Waldport, and Yaquina soils. Included areas make up about 15 percent of the total acreage.

Permeability of this Netarts soil is moderately rapid except through the cemented lenses. Available water capacity is about 3 to 5 inches. Water supplying capacity is 18 to 24 inches. Effective rooting depth is 60 inches or

more. Runoff is slow, and the hazard of water erosion is slight. The hazard of soil blowing is high when the vegetation is removed.

Most areas of this unit are used for wildlife habitat, recreation, and watershed. A few areas are used as homesites and for hay and pasture and timber production.

If this unit is used for hay and pasture, the main limitations are the low available water capacity, low soil fertility, and the cool, humid summers that inhibit curing of hay crops. Grasses and legumes grow well if adequate fertilizer is used. Proper stocking rates, pasture rotation, and restricted grazing during wet periods help to keep the pasture in good condition and to protect the soil from erosion. In summer, irrigation is needed for maximum production of most crops. Water should be applied in amounts sufficient to wet the root zone but in amounts small enough to minimize the leaching of plant nutrients.

This unit is suited to the production of Douglas-fir in areas that are sheltered from onshore winds. On the basis of a 100-year site curve, the mean site index for Douglas-fir is 80. The potential production per acre is 4,060 cubic feet from an even-aged, fully stocked stand of trees 70 years old or 32,000 board feet (International rule, one-eighth-inch kerf) from an even-aged, fully stocked stand of trees 110 years old.

The main concerns in producing and harvesting timber are the hazards of soil blowing and windthrow, seedling mortality, and plant competition. Because Douglas-fir and western hemlock are more sensitive to the growth-retarding effect of the onshore winds, shore pine and Sitka spruce are more suitable for planting except in the more sheltered areas. Undesirable plants limit natural or artificial reforestation unless site preparation and maintenance are intensive.

If this unit is used for recreational development, the main limitations are slope and the fine sand texture of the soil, which is droughty and subject to blowing. The unit is used for campgrounds, parks, picnic areas, and hiking or nature trails. Areas used for recreation can be protected from soil blowing and dust by maintaining plant cover. Plant cover can be maintained by limiting traffic. Cuts and fills should be seeded or mulched.

If this unit is used for homesite or urban development, the main limitations are droughtiness, slope, and the fine sand texture of the soil, which is very susceptible to blowing and water erosion. Preserving the existing plant cover during construction helps to control erosion. Revegetating disturbed areas around construction sites as soon as possible helps to control soil blowing. Cutbanks are not stable and are subject to slumping. Plant cover can be established and maintained through proper fertilization, seeding, mulching, and shaping of the slopes. In summer, irrigation is needed for lawn grasses, shrubs, vines, shade trees, and ornamental trees.

capacity is 16 to 20 inches. Effective rooting depth is limited by a high water table that is at the surface to a depth of 6 inches from November to May. Runoff is slow, and the hazard of water erosion is slight except when nearby streams overflow. The soil is occasionally flooded for brief periods from January to April.

This unit is used mainly for pasture, hay, and grass seed. Areas that have been drained are also used for small grain and corn.

This unit is suited to shallow-rooted crops. It is limited mainly by wetness and the moderately fine textured surface layer. Lack of adequate outlets and slow permeability are the main limitations for installing an effective drainage system. Where drainage has been established, a winter cover crop is needed to maintain tilth and to help control erosion. Crops respond to lime and nitrogen.

This unit is suited to hay and pasture. Use of lime, nitrogen, and phosphorus promotes good growth of forage plants. Proper stocking rates, pasture rotation, and restricted grazing during wet periods help to keep the pasture in good condition and to protect the soil from erosion and compaction. Proper grazing practices, weed control, and fertilizer are needed to ensure maximum quality of forage. In most years, supplemental irrigation is also needed.

If this unit is used for recreational development, the main limitations are wetness, the hazard of flooding, and the clayey texture of the soil. During the dry months, this unit can be used for picnic areas and paths and trails.

This unit has many natural ponds and areas suitable for developing ponds that can provide habitat for waterfowl, fish, and other wildlife.

If this unit is used for homesite development, the main limitations are the seasonal high water table, the hazard of flooding, the silty clay loam surface layer, slow permeability, wetness, and low soil strength. Flooding can be controlled only by use of major flood control structures. Wetness can be reduced by installing drain tile around footings. Buildings and roads should be designed to offset the limited ability of the soil in this unit to support a load. Roads for year-round use need heavy base rock.

This map unit is in capability subclass IIIw.

### **131C-Waldport fine sand, 0 to 12 percent slopes.**

This deep, excessively drained soil is on stabilized sand dunes. It formed in eolian sand of mixed origin. Areas are irregular in shape and are 3 to 100 acres or more in size. The native vegetation is mainly shore pine, Sitka spruce, salal, evergreen huckleberry, and Pacific rhododendron. Elevation is 10 to 150 feet. The average annual precipitation is 60 to 80 inches, the average annual air temperature is 50 to 52 degrees F, and the average frost-free period is 200 to 250 days.

Typically, the surface is covered with a mat of leaves, needles, and twigs about 3 inches thick. The surface

layer is very dark gray and very dark grayish brown fine sand about 5 inches thick. The substratum to a depth of 60 inches or more is yellowish brown fine sand.

Included in this unit are small areas of Heceta, Netarts, and Yaquina soils and Waldport soils that have slopes of more than 12 percent. Included areas make up about 15 percent of the total acreage.

Permeability of this Waldport soil is very rapid. Available water capacity is about 3 to 4 inches. Water supplying capacity is 18 to 20 inches. Effective rooting depth is 60 inches or more. Runoff is slow, and the hazard of water erosion is low. The hazard of soil blowing is high in areas where vegetation is removed.

This unit is used mainly for wildlife habitat and recreation. It is also used as homesites and for pasture and timber production.

If this unit is used for pasture, the main limitations are droughtiness and the hazards of soil blowing and water erosion. Use of lime and frequent, light applications of mixed fertilizer promotes good growth of forage plants. In summer, irrigation is needed for maximum production of most crops. Water should be applied in amounts sufficient to wet the root zone but in amounts small enough to minimize the leaching of plant nutrients. Because the soil is droughty, applications of irrigation water should be light and frequent. Proper stocking rates, pasture rotation, and restricted grazing periods help to keep the pasture in good condition and to protect the soil from erosion.

This unit generally is poorly suited to the production of shore pine. On the basis of a 100-year site curve, the mean site index for shore pine is 92. The potential production per acre is 1,740 cubic feet from an even-aged, fully stocked stand of trees 60 years old or 13,050 board feet (International rule, one-eighth-inch kerf) from an even-aged, fully stocked stand of trees 80 years old. High winds from the Pacific Ocean may seriously reduce the growth of trees unless they are in a protected area.

The main limitations for the management of timber are the hazard of erosion and seedling mortality. The risk of soil blowing is increased if the timber is harvested or the understory is removed. Conventional methods can be used for harvesting timber, but use of skid trails can accelerate erosion. Cuts and fills need to be seeded to permanent plant cover to reduce the risk of erosion. Reforestation is severely limited because of droughtiness. Seedling mortality can be reduced by providing shade for seedlings. Reforestation can be accomplished by planting shore pine, Sitka spruce, or western hemlock seedlings.

This unit is suited to recreational development. It is limited mainly by slope and the sandy texture of the soil, which is droughty and easily eroded. Recreational uses include campgrounds, parks, and picnic areas. Areas used for recreation can be protected from soil blowing and dustiness by surfacing paths and maintaining plant

cover. Cuts and fills should be seeded or mulched. Plant cover can be maintained by controlling traffic.

If this unit is used for homesite development, the main limitations are slope and the sandy texture of the soil. Preserving the existing plant cover during construction helps to control erosion. Excavation for houses and access roads in places exposes material that is highly susceptible to soil blowing. Revegetating disturbed areas around construction sites as soon as possible helps to control soil blowing. Cutbanks are not stable and are subject to slumping. Plant cover can be established and maintained through proper fertilization, seeding, mulching, and shaping of the slopes. In summer, irrigation is needed for lawn grasses, shrubs, vines, shade trees, and ornamental trees. The potential for pollution of ground water because of the very rapid permeability and low biological activity of the soil limits the use of this unit for septic tank absorption fields.

This map unit is in capability subclass VIe.

### **131E-Waldport fine sand, 12 to 30 percent slopes.**

This deep, excessively drained soil is on stabilized sand dunes. It formed in eolian sand of mixed origin. Areas are irregular in shape and are 3 to 100 acres or more in size. The native vegetation is mainly shore pine, Sitka spruce, salal, evergreen huckleberry, and Pacific rhododendron. Elevation is 10 to 150 feet. The average annual precipitation is 60 to 80 inches, the average annual air temperature is 50 to 52 degrees F, and the average frost-free period is 200 to 250 days.

Typically, the surface is covered with a mat of leaves, needles, and twigs about 3 inches thick. The surface layer is very dark gray and very dark grayish brown fine sand about 5 inches thick. The substratum to a depth of 60 inches or more is yellowish brown fine sand.

Included in this unit are small areas of Heceta, Netarts, and Yaquina soils and Waldport soils that have a thinner surface layer or have slopes of less than 12 percent or more than 30 percent. Included areas make up about 15 percent of the total acreage.

Permeability of this Waldport soil is very rapid. Available water capacity is about 3 to 4 inches. Water supplying capacity is 18 to 20 inches. Effective rooting depth is 60 inches or more. Runoff is slow, and the hazard of water erosion is low. The hazard of soil blowing is high.

This unit is used mainly for wildlife habitat and recreation. It is also used as homesites and for pasture and timber production.

If this unit is used for pasture, the main limitations are droughtiness and the hazards of soil blowing and water erosion. Use of lime and frequent, light applications of mixed fertilizer promotes good growth of forage plants. In summer, irrigation is needed for maximum production of most crops. Water should be applied in amounts sufficient to wet the root zone but in amounts small enough to minimize the leaching of plant nutrients.

Because the soil in this unit is droughty, applications of irrigation water should be light and frequent. Proper stocking rates and pasture rotation help to keep the pasture in good condition and to protect the soil from erosion.

This unit generally is poorly suited to the production of shore pine. On the basis of a 100-year site curve, the mean site index for shore pine is 92. The potential production per acre is 1,740 cubic feet from an even-aged, fully stocked stand of trees 60 years old or 13,050 board feet (International rule, one-eighth-inch kerf) from an even-aged, fully stocked stand of trees 80 years old. High winds from the Pacific Ocean may seriously reduce the growth of trees unless they are in a protected area.

The main limitations for the management of timber are the hazard of erosion and seedling mortality. The risk of soil blowing is increased if the timber is harvested or the understory vegetation is removed. Conventional methods can be used for harvesting timber, but use of skid trails can accelerate erosion. Steep yarding paths, skid trails, and firebreaks are subject to rilling and gullying unless they are provided with adequate water bars or are protected by plant cover, or both. Cuts and fills need to be seeded to permanent plant cover to reduce the risk of erosion.

Reforestation is severely limited because of droughtiness. Seedling mortality can be reduced by providing shade for seedlings. Reforestation should be carefully managed to reduce competition from undesirable understory plants. Competing vegetation can be controlled by properly preparing the site and by spraying, cutting, or girdling to eliminate unwanted weeds, brush, or trees. Hand planting of nursery stock is usually necessary to establish or improve a stand. Among the trees that are suitable for planting are Sitka spruce and shore pine. Douglas-fir and western hemlock can be planted in sheltered areas. Trees commonly are subject to windthrow.

This unit is suited to recreational development. It is limited mainly by slope and the sandy texture of the soil, which is droughty and easily eroded. Recreational uses include campgrounds, parks, and picnic areas. Areas used for recreation can be protected from soil blowing and dustiness by surfacing paths and maintaining plant cover. Cuts and fills should be seeded or mulched. Plant cover can be maintained by controlling traffic.

If this unit is used for homesite development, the main limitations are slope and the sandy texture of the soil. Preserving the existing plant cover during construction helps to control erosion. Excavation for houses and access roads in places exposes material that is highly susceptible to soil blowing. Revegetating disturbed areas around construction sites as soon as possible helps to control soil blowing. Cutbanks are not stable and are subject to slumping. Plant cover can be established and maintained through proper fertilization, seeding, mulching, and shaping of the slopes. In summer,

when wet. Buildings and roads should be designed to offset the limited ability of the soil in this unit to support a load. Wetness can be reduced by installing drain tile around footings.

Septic tank absorption fields on this unit may not function properly during rainy periods because of wetness and slow permeability.

This map unit is in capability subclass IIw.

**140-Yaquina loamy fine sand.** This deep, somewhat poorly drained soil is in low, interdune positions in coastal dune areas. It formed in eolian sand of mixed origin. Slope is 0 to 3 percent. Areas are irregular in shape and are 3 to 100 acres or more in size. The native vegetation is mainly shore pine, scattered Sitka spruce, Pacific rhododendron, salal, and evergreen huckleberry. Elevation is 20 to 130 feet. The average annual precipitation is 70 to 80 inches, the average annual air temperature is 50 to 52 degrees F, and the average frost-free period is 180 to 210 days.

Typically, the surface is covered with a mat of needles, twigs, sedges, and grass about 0.5 inch thick. The surface layer is very dark gray loamy fine sand about 2 inches thick. The subsurface layer is light gray fine sand about 6 inches thick. The next layer is grayish brown fine sand about 5 inches thick. The subsoil is light brownish gray, mottled fine sand about 16 inches thick. The substratum to a depth of 60 inches or more is yellowish brown, pale brown, and grayish brown fine sand. In some areas the soils are poorly drained and have a darker colored surface layer. In some areas organic material and finer textured soil material are below a depth of 40 inches.

Included in this unit are small areas of Bandon, Netarts, and Waldport soils. Included areas make up about 15 percent of the total acreage.

Permeability of this Yaquina soil is moderately rapid. Available water capacity is about 3.5 to 5.0 inches. Water supplying capacity is 20 to 24 inches. Effective rooting depth is limited by a high water table that is 2 feet above the surface to 2 feet below the surface from November to April. Runoff is slow to ponded, and the hazard of water erosion is moderate. The hazard of soil blowing is high if the plant cover is removed.

Most areas of this unit are used for wildlife habitat. A few areas are used for pasture and as homesites.

If this unit is used for pasture, the main limitations are the hazard of soil blowing and wetness. The soil should not be cultivated during dry periods because of the hazard of soil blowing. Wetness limits the choice of plants and the period of cutting or grazing and increases the risk of winterkill. Proper stocking rates, pasture rotation, and restricted grazing during wet periods help to keep the pasture in good condition and to protect the soil from erosion. Annual applications of lime and mixed fertilizer are needed to maintain production of high-quality irrigated pasture.

This unit is suited to wildlife habitat in areas that are under natural vegetation. Soil blowing is a hazard in areas where the soil is barren.

If this unit is used for recreational development, the main limitations are wetness and the sandy texture of the soil. Drainage is needed if roads and building foundations are constructed. Areas used for recreation can be protected from soil blowing and dustiness by maintaining plant cover. Plant cover can be maintained by limiting traffic. Only trees and shrubs that tolerate wetness should be planted.

If this unit is used for homesite development, the main limitations are wetness and corrosivity to steel and concrete. Building materials should be carefully selected to overcome the corrosivity of the soil. Drainage is needed if roads and building foundations are constructed.

Revegetating disturbed areas around construction sites as soon as possible helps to control soil blowing. Plans for homesite development should provide for the preservation of as many trees as possible. Mulch, fertilizer, and irrigation are needed to establish lawn grasses and other small-seeded plants. Drainage is also needed for best results with most lawn grasses, shade trees, ornamental trees, shrubs, vines, and vegetable gardens.

This map unit is in capability subclass IVw.

**141-Yaquina-Urban land complex.** This map unit is in low interdune positions in coastal dune areas. Slope is 0 to 3 percent. Areas are irregular in shape and are 3 to 100 acres or more in size. The native vegetation is mainly shore pine, scattered Sitka spruce, Pacific rhododendron, salal, and evergreen huckleberry. Elevation is 20 to 130 feet. The average annual precipitation is 70 to 80 inches, the average annual air temperature is 50 to 52 degrees F, and the average frost-free period is 180 to 210 days.

This unit is 45 percent relatively undisturbed Yaquina loamy fine sand, 5 percent disturbed Yaquina loamy fine sand, and 40 percent Urban land. The components of this unit are so intricately intermingled that it was not practical to map them separately at the scale used.

Included in this unit are small areas of Bandon, Netarts, and Waldport soils. Included areas make up about 10 percent of the total acreage.

The relatively undisturbed Yaquina soil is deep and somewhat poorly drained. It formed in eolian sand of mixed origin. Typically, the surface is covered with a mat of needles, leaves, sedges, and grasses about 0.5 inch thick. The surface layer is very dark gray loamy fine sand about 2 inches thick. The subsurface layer is light gray fine sand about 6 inches thick. The next layer is grayish brown fine sand about 5 inches thick. The subsoil is light brownish gray, mottled fine sand about 16 inches thick. The substratum to a depth of 60 inches or more is



# Oregon

Theodore R. Kulongoski, Governor

**FILE COPY**

**Department of State Lands**  
775 Summer Street NE, Suite 100  
Salem, OR 97301-1279  
(503) 986-5200  
FAX (503) 378-4844  
www.oregonstatelands.us.

October 21, 2008

**State Land Board**

Gene Benedick  
27962 Ward Lane  
Eugene, Oregon 97402

Theodore R. Kulongoski  
Governor

Bill Bradbury  
Secretary of State

Re: Wetland Delineation Report for Florence, Lane County; T 18S R 12W  
S 10D TL 400 and 401; WD #07-0747; Florence Local Wetlands  
Inventory wetlands SP-32A, SP-33B, SP-34 and SP-35

Randall Edwards  
State Treasurer

Dear Mr. Benedick:

The Department of State Lands has reviewed the wetland delineation report prepared by Wave Beach Grass Nursery for the site referenced above. Based upon our review, we concur with their delineation and conclusions. Based upon the information presented in the report, a site visit on October 9, 2008, and additional information submitted upon request, we concur with the wetland and waterway boundaries as mapped in the report wetland map. Within the study area, six wetlands (totaling approximately 19.47 acres) were identified. The wetlands are subject to the permit requirements of the state Removal-Fill Law. A state permit is required for cumulative fill or annual excavation of 50 cubic yards or more in the wetland (or below the ordinary high water line (OHWL) of a waterway).

This concurrence is for purposes of the state Removal-Fill Law only. Federal or local permit requirements may apply as well. The Army Corps of Engineers will review the report and make a determination of jurisdiction for purposes of the Clean Water Act at the time that a permit application is submitted. We recommend that you attach a copy of this concurrence letter to both copies of any subsequent joint permit application to speed application review.

Please be advised that state law establishes a preference for avoidance of wetland impacts. Because measures to avoid and minimize wetland impacts may include reconfiguring parcel layout and size or development design, we recommend that you work with Department staff on appropriate site design before completing the city or county land use approval process.

This concurrence is based on information provided to the agency. The jurisdictional determination is valid for five years from the date of this letter, unless new information necessitates a revision. Circumstances under which the Department may change a determination and procedures for renewal of an expired determination are found in OAR 141-090-0045 (available on our web site or upon request). The applicant, landowner, or



agent may submit a request for reconsideration of this determination in writing within 60 calendar days of the date of this letter.

Thank you for having the site evaluated. Please phone me at 503-986-5297 if you have any questions.

Sincerely,

*Jevra Brown*

Jevra Brown  
Wetland Specialist

Approved by *Janet C. Morlan*  
Janet C. Morlan, PWS  
Wetlands Program Manager

Enclosures

ec: Matt & Wilbur Ternyik, Wave Beach Grass Nursery  
City of Florence Planning Department (Maps enclosed for updating LWI)  
Benny Dean, Corps of Engineers Eugene office  
Gloria Kiryuta, DSL

**LOCATION MAP  
WESTERN LANE COUNTY, OREGON**



Image courtesy of the U.S. Geological survey

**JULIUS E. BENEDICK  
PROPERTY**

18-12-10-4, TL 400 & 401

SE 1/4, SEC. 10, T18S, R12W, W.M.

DSL WD #07-0747 **WESTERN LANE COUNTY, OREGON**



SCALE  
1" TO 2,222'





DEPARTMENT OF THE ARMY  
CORPS OF ENGINEERS, PORTLAND DISTRICT  
EUGENE FIELD OFFICE  
1600 EXECUTIVE PARKWAY, SUITE 210  
EUGENE, OREGON 97401-2156

REPLY TO  
ATTENTION OF:

January 7, 2010

Operations Division  
Regulatory Branch  
Corps No. NWP-2008-355

Mr. Julius E. Benedick  
27962 Ward Lane  
Eugene, Oregon 97402-9429

Dear Mr. Benedick:

The U.S. Army Corps of Engineers (Corps) has completed our review of your wetland delineation of potentially jurisdictional waters located on your property located west of Highway 101, southwest of Heceta Beach Road and south of the Heceta South Subdivision near Florence, Lane County, Oregon. Your delineation is identified as Corps No. NWP-2008-355. Please refer to the Corps No. in all correspondence.

The Corps under Section 404 of the Clean Water Act has authority to issue permits for the placement of fill or dredged material in waters of the United States. The term "waters of the United States" includes the territorial seas and tidally influenced waters up to the high tide line. "Waters" also include all other waters up to their ordinary high water mark that are part of a surface tributary system to and including navigable (non-tidal) waters of the United States. Wetlands adjacent to these waters are also "waters of the United States."

The wetland delineation prepared by Wetland Consultants and dated 2007, found the site contains approximately 19.48 acres of wetlands. The Corps concurs with the boundaries as shown in the attached drawing (Enclosure 1). A Department of the Army permit will be required if you propose to discharge fill or dredged material into jurisdictional waters.

We have prepared a Preliminary Jurisdictional Determination (JD), which is a written indication that wetlands and waterways within your project area may be waters of the United States (Enclosure 2). Such waters will be treated as jurisdictional waters of the United States for purposes of computation of impacts and compensatory mitigation requirements. If you concur with the findings of the Preliminary JD, please sign it and return it to the letterhead address within two weeks. If you believe the Preliminary JD is inaccurate, you may request an Approved JD, which is an official determination regarding the presence or absence of waters of the United States. If one is requested, you will receive an Approved JD when the permit decision has been made by the Corps.

If you have any questions, please contact Mr. Benny Dean Jr. at the letterhead address, by telephone at (541) 465-6761, or email [Benny.A.Dean@usace.army.mil](mailto:Benny.A.Dean@usace.army.mil).

Sincerely,

Erik S. Petersen  
Chief, Regulatory Branch

Enclosures

Copy Furnished:

Oregon Department of State Lands (Kiryuta)  
Wetland Consultants (Ternyik)

**LOCATION MAP  
WESTERN LANE COUNTY, OREGON**

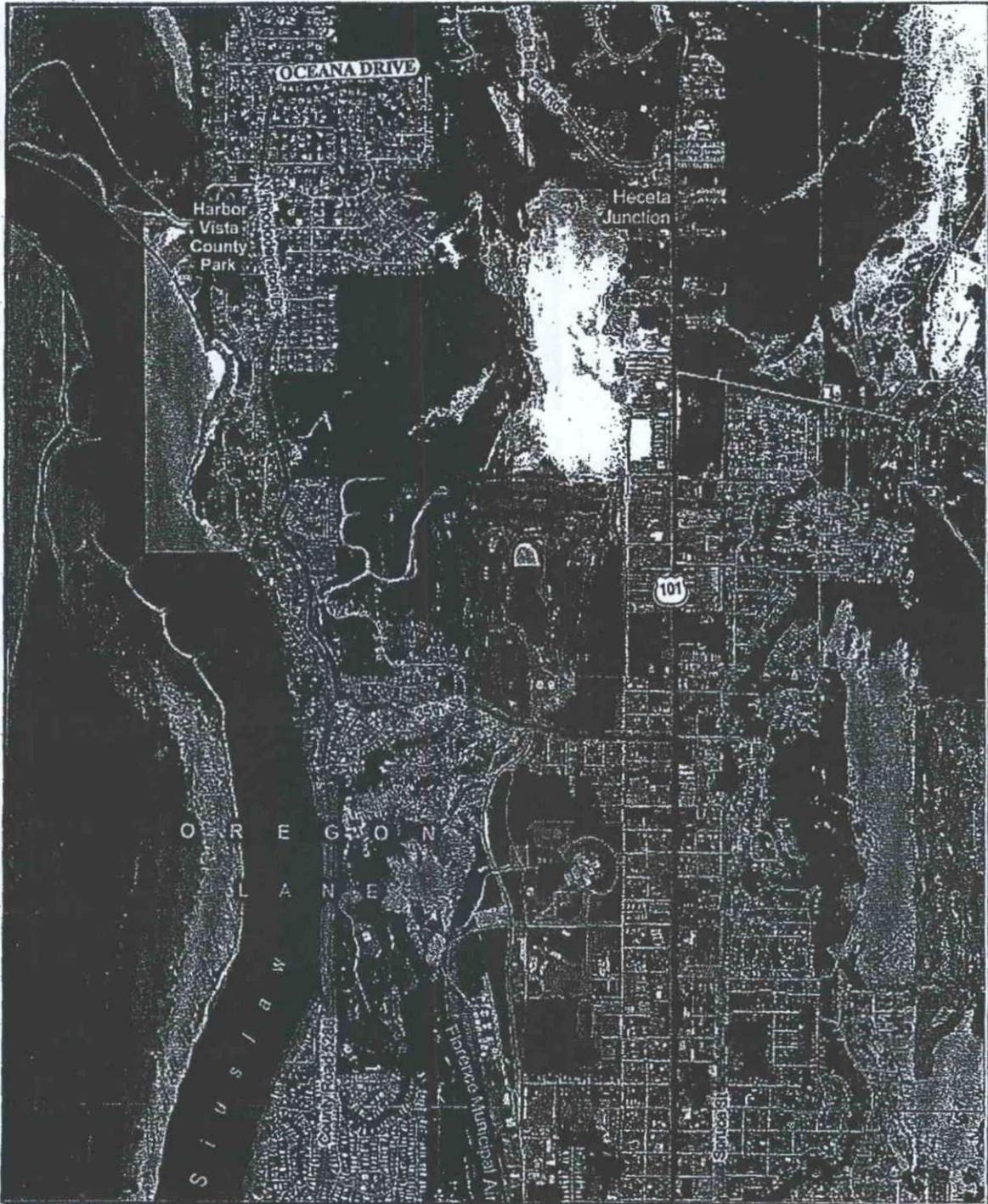


Image courtesy of the U.S. Geological survey

**JULIUS E. BENEDICK  
PROPERTY  
18-12-10-4, TL 400 & 401  
SE 1/4, SEC. 10, T18S, R12W, W.M.  
WESTERN LANE COUNTY, OREGON**



SCALE  
1" TO 2,222'

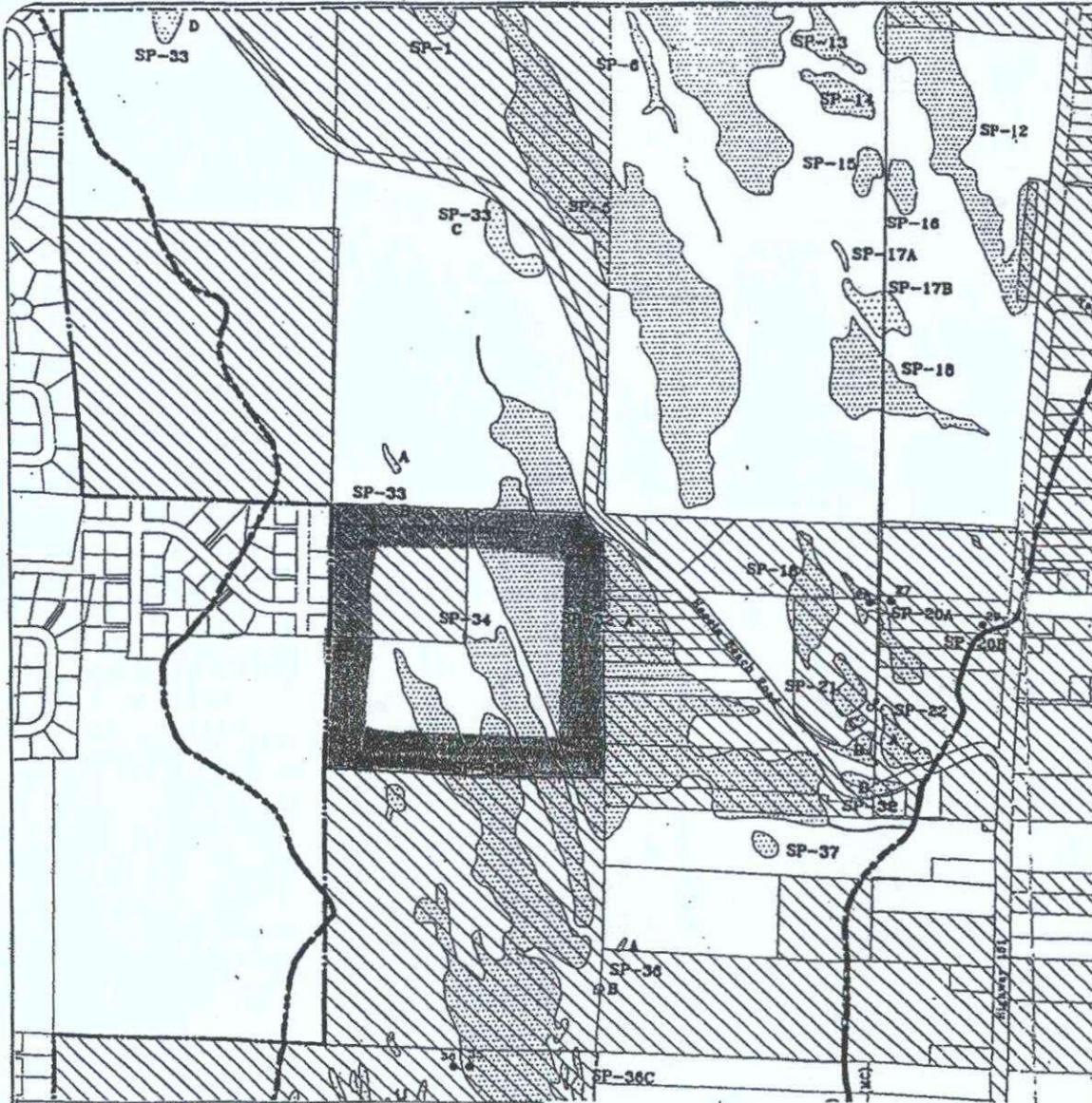
# LOCAL WETLAND INVENTORY MAP

SP - 33 B (SEE ATTACHMENT)

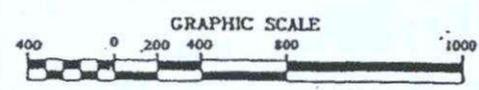
SP - 34 (SEE ATTACHMENT)



JULIUS E. BENEDICK  
PROPERTY  
18-12-10-4, TL 400 & 401  
SE 1/4, SEC. 10, T18S, R12W, W.M.  
WESTERN LANE COUNTY, OREGON



	Sample site		Wetland area
SIL-3	Wetland code		On Site Wetland Inventory
	Watershed boundary		Prior Wetland Delineation
	Project boundary		Drainage



SCALE IN FEET

# WETLAND DELINEATION MAP

GENE BENEDICK  
SE 1/4, SEC. 10, T18S, R12W, W.M.  
LANE COUNTY, OREGON  
DECEMBER 5, 2007

Prepared By: Matthew J. Termyk

**LEGEND**

- ⊙ - PHOTO LOCATION / NUMBER / DIRECTION
- ⊙ OBS "x" - OBSERVATION POINT / LOCATION / NUMBER
- - PROPERTY LINE & STUDY BOUNDARY
- ▨ - WETLAND

**WETLAND CLASSIFICATIONS**

WETLANDS	COWARD/RH	HGM
WETLAND #1	PEM/SS	B1C2P (DEPRESSION, CLOSED, NONPERMANENT)
WETLAND #2	PEM/SS	B1C2P (DEPRESSION, CLOSED, NONPERMANENT)
WETLAND #3	PSS	B1C2P (DEPRESSION, CLOSED, NONPERMANENT)
WETLAND #4	PEM/SS	B1 (DEPRESSION, OUTFLOW)
WETLAND #5	PEM/SS	B1 (DEPRESSION, OUTFLOW)
WETLAND #6	PEM/SS	B1 (DEPRESSION, OUTFLOW)

**WETLAND ACREAGES**

1	0.122 AC ±
2	0.050 AC ±
3	0.006 AC ±
4	3.487 AC ±
5	3.226 AC ±
6	12.576 AC ±
<b>TOTAL WETLAND AREA</b>	<b>18.468 AC ±</b>
<b>TOTAL AREA OF SITE</b>	<b>40.12 AC ±</b>
<b>SIZE OF STUDY AREA</b>	<b>40.12 AC ±</b>

LATITUDE 44°02'00"  
LONGITUDE 124°11'00"



THIS MAP IS FOR THE DETERMINATION OF POSSIBLE WETLANDS LOCATED IN THE STUDY AREA. THERE IS NO INTENT TO PROVIDE DIMENSION OR LOCATIONS OF PROPERTY OWNERSHIP LINES.

18-12-10-4, TL 400 & 401

JOB F8957L

<p>REGISTERED PROFESSIONAL LAND SURVEYOR</p> <p>FOR SIGNATURE SEE PRINTED COPY</p> <p>OREGON MAY 24, 1924 EUGENE M. WOBBE 1083</p> <p><small>P.L.E. EXPIRATION DATE: 6-30-2008</small></p>	<p><b>WOBBE &amp; ASSOCIATES, INC.</b> 610 KINGWOOD ST. / P.O. BOX 3085 FLORENCE, OR 97139</p> <p style="text-align: center;">WETLAND MAP</p> <p style="text-align: center;">WILBUR TERMYK</p> <p style="text-align: center;">SE 1/4, SEC. 10, T18S, R12W, W.M. LANE COUNTY, OREGON</p> <p>DECEMBER 5, 2007      DRAWN: EMW/PSC</p>
--	---

Corps No. NWP-2008-355

Page 3 of 3

ENCL. 1

WETLAND DELINEATED BY  
WILBUR E. AND MATTHEW J. TERMYK  
WETLANDS, BEACHES AND DUNGS CONSULTANTS

1:50000 SCALE AND WETLANDS

## PRELIMINARY JURISDICTIONAL DETERMINATION FORM

This preliminary JD finds that there "may be" waters of the United States on the subject project site, and identifies all aquatic features on the site that could be affected by the proposed activity, based on the following information:

**A. REPORT COMPLETION DATE:**

DECEMBER 30, 2009

**B. NAME AND ADDRESS OF PERSON REQUESTING PRELIMINARY JD:**

Julius E. Benedick  
27962 Ward Lane  
Eugene, Oregon 97402-9429

**C. DISTRICT OFFICE, FILE NAME, AND NUMBER:**

Portland District, Gene Benedick, NWP-2008-355

**D. PROJECT LOCATION(S), BACKGROUND INFORMATION, AND WATERS:**

State: Oregon  
City: Florence  
County: Lane  
Name of nearest waterbody: Unnamed Wetlands.

Identify amount of waters in the review area: A total of 19.48 acres of unnamed wetlands were delineated.

Name of any water bodies on the site that have been identified as Section 10 waters:

Tidal:  
Non-Tidal:

**Waters of the U.S.:**

Waterbody	Latitude (dd.ddd °N)	Longitude (dd.ddd °W)	Cowardin Class	Area (Acres)	Length (Feet)	Width (Feet)
Wetland 1	44.02051	-124.11286	Palustrine	0.12		
Wetland 2	44.01991	-124.11309	Palustrine	0.05		
Wetland 3	44.01928	-124.11322	Palustrine	0.01		
Wetland 4	44.01789	-124.11174	Palustrine	3.49		
Wetland 5	44.01831	-124.11069	Palustrine	3.23		
Wetland 6	44.01949	-124.10993	Palustrine	12.58		

**E. REVIEW PERFORMED FOR SITE EVALUATION (CHECK ALL THAT APPLY):**

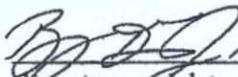
- Office (Desk) Determination. Date: December 30, 2009  
 Field Determination. Date(s):

**F. SUPPORTING DATA:**

Data reviewed for preliminary JD (check all that apply - checked items should be included in case file and, where checked and requested, appropriately reference sources below):

- Maps, plans, plots or plat submitted by or on behalf of the applicant/consultant:
- Data sheets prepared/submitted by or on behalf of the applicant/consultant.
  - Office concurs with data sheets/delineation report.
  - Office does not concur with data sheets/delineation report.
- Data sheets prepared by the Corps: .
- Corps navigable waters' study: .
- U.S. Geological Survey Hydrologic Atlas: HUC #17100206.
  - USGS NHD data.
  - USGS 8 and 12 digit HUC maps.
- U.S. Geological Survey map(s). Cite quad name: Mercer Lake.
- USDA Natural Resources Conservation Service Soil Survey. Citation:
- National wetlands inventory map(s). Cite name:
- State/Local wetland inventory map(s): .
- FEMA/FIRM maps: .
- 100-year Floodplain Elevation is: (National Geodetic Vertical Datum of 1929)
- Photographs:  Aerial (Name & Date): Google Earth 2009.  
or  Other (Name & Date): Applicant Provided 2006.
- Previous determination(s). File no. and date of response letter: .
- Other information (please specify): .

**IMPORTANT NOTE: The information recorded on this form has not necessarily been verified by the Corps and should not be relied upon for later jurisdictional determinations.**

 12/30/2009  
Signature and date of  
Regulatory Project Manager  
(REQUIRED)

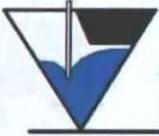
\_\_\_\_\_  
Signature and date of  
person requesting preliminary JD  
(REQUIRED, unless obtaining the signature is  
impracticable)

**G. EXPLANATION OF PRELIMINARY AND APPROVED JURISDICTIONAL DETERMINATIONS:**

1. The Corps of Engineers believes that there may be jurisdictional waters of the United States on the subject site, and the permit applicant or other affected party who requested this preliminary JD is hereby advised of his or her option to request and obtain an approved jurisdictional determination (JD) for that site. Nevertheless, the permit applicant or other person who requested this preliminary JD has declined to exercise the option to obtain an approved JD in this instance and at this time.
  
2. In any circumstance where a permit applicant obtains an individual permit, or a Nationwide General Permit (NWP) or other general permit verification requiring "pre-construction notification" (PCN), or requests verification for a non-reporting NWP or other general permit, and the permit applicant has not requested an approved JD for the activity, the permit applicant is hereby made aware of the following: (1) the permit applicant has elected to seek a permit authorization based on a preliminary JD, which does not make an official determination of jurisdictional waters; (2) that the applicant has the option to request an approved JD before accepting the terms and conditions of the permit authorization, and that basing a permit authorization on an approved JD could possibly result in less compensatory mitigation being required or different special conditions; (3) that the applicant has the right to request an individual permit rather than accepting the terms and conditions of the NWP or other general permit authorization; (4) that the applicant can accept a permit authorization and thereby agree to comply with all the terms and conditions of that permit, including whatever mitigation requirements the Corps has determined to be necessary; (5) that undertaking any activity in reliance upon the subject permit authorization without requesting an approved JD constitutes the applicant's acceptance of the use of the preliminary JD, but that either form of JD will be processed as soon as is practicable; (6) accepting a permit authorization (e.g., signing a proffered individual permit) or undertaking any activity in reliance on any form of Corps permit authorization based on a preliminary JD constitutes agreement that all wetlands and other water bodies on the site affected in any way by that activity are jurisdictional waters of the United States, and precludes any challenge to such jurisdiction in any administrative or judicial compliance or enforcement action, or in any administrative appeal or in any Federal court; and (7) whether the applicant elects to use either an approved JD or a preliminary JD, that JD will be processed as soon as is practicable. Further, an approved JD, a proffered individual permit (and all terms and conditions contained therein), or individual permit denial can be administratively appealed pursuant to 33 C.F.R. Part 331, and that in any administrative appeal, jurisdictional issues can be raised (see 33 C.F.R. 331.5(a)(2)). If, during that administrative appeal, it becomes necessary to make an official determination whether CWA jurisdiction exists over a site, or to provide an official delineation of jurisdictional waters on the site, the Corps will provide an approved JD to accomplish that result, as soon as is practicable.

RECD JAN 05 2011

# LETTER OF TRANSMITTAL



## EGR & Associates, Inc.

Engineers, Geologists and Surveyors

2535B Prairie Road  
Eugene, Oregon 97402

(514) 688-8322  
Fax (541) 688-8087

DATE: 1/3/11	JOB NO: 2080-07-0256
ATTENTION: Jerry Kendall	
RE: Idylewood 4 <sup>th</sup> Addition PA #10-5821	

TO: Lane County  
Attn: Jerry Kendall  
125 E. 8<sup>th</sup> Avenue  
Eugene, OR 97401

WE ARE SENDING YOU:

- |   |  |  |  |                                |
|---|--|--|--|--------------------------------|
| <input type="checkbox"/> Drawings             | <input type="checkbox"/> Report                    | <input type="checkbox"/> Letter          | <input checked="" type="checkbox"/> Copy of Letter | <input type="checkbox"/> Plans |
| <input type="checkbox"/> Specifications       | <input type="checkbox"/> Change Order              | <input type="checkbox"/> _____           |  |                                |
| VIA: <input type="checkbox"/> Fax Transmittal | <input checked="" type="checkbox"/> Postal Service | <input type="checkbox"/> Express Courier | <input type="checkbox"/> Hand Deliver              | <input type="checkbox"/> _____ |

NO.	COPIES	DATE	DESCRIPTION
1	1	1-3-11	Signed Applicant Intent Form
2	1		DSL Wetland Concurrence Letter w/Map

THESE ARE TRANSMITTED AS CHECKED BELOW:

- |  |  |  |   |   |
|--|--|--|---|---|
| <input checked="" type="checkbox"/> As Requested | <input type="checkbox"/> For Your Use          | <input type="checkbox"/> For Approval            | <input type="checkbox"/> For Review and Comment | <input type="checkbox"/> Returned For Corrections |
| <input type="checkbox"/> Approved as Noted       | <input type="checkbox"/> Approved as Submitted | <input type="checkbox"/> Return Corrected Prints | <input type="checkbox"/> Resubmit for Approval  | <input type="checkbox"/> _____                    |

**REMARKS:**

Jerry,

We will provide a copy of the Legal Lot Verification decision when available (PA10-5823). Attached is the DSL concurrence on the wetland delineation.

COPY TO: Gene Benedick

SIGNED: Clint Beecroft

Clint Beecroft, PE



Date: December 15, 2010  
Department File No.: PA10-5821

Received On: 11-18-10

---

In order to help us process your application, please:

1. Check one box;
2. Sign & date at the bottom;
3. Return in enclosed self-addressed stamped envelope.

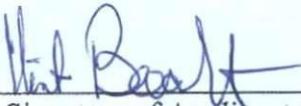
I intend to submit the missing or incomplete materials as identified in the **Incomplete Notice**. I understand that according to State law I have up to 180 days from the date the application was submitted to provide the missing information, and that, on the 181<sup>st</sup> day after first being submitted, the application is void if I have not submitted:

- (a) All of the missing information; or
- (b) Some of the missing information and written notice that no other information will be provided.

I do not intend to submit the missing or incomplete materials as identified in the **Incomplete Notice**. I understand that Lane County will proceed to review the application materials previously submitted. I understand that incomplete applications may not provide the necessary supporting information to demonstrate compliance with applicable criteria and standards and may result in the denial of my application.

I wish to withdraw the application. I understand that Lane County will refund any portion of the application fee that has not been expended in the review of the application.

EGR & ASSOCIATES, INC.

 CLINT BEECROFT  
Signature of Applicant / Agent

1-3-11  
Date



# Oregon

Theodore R. Kulongoski, Governor

**FILE COPY**

## Department of State Lands

775 Summer Street NE, Suite 100

Salem, OR 97301-1279

(503) 986-5200

FAX (503) 378-4844

www.oregonstatelands.us.

October 21, 2008

State Land Board

Gene Benedick  
27962 Ward Lane  
Eugene, Oregon 97402

Theodore R. Kulongoski  
Governor

Bill Bradbury  
Secretary of State

Re: Wetland Delineation Report for Florence, Lane County; T 18S R 12W  
S 10D TL 400 and 401; WD #07-0747; Florence Local Wetlands  
Inventory wetlands SP-32A, SP-33B, SP-34 and SP-35

Randall Edwards  
State Treasurer

Dear Mr. Benedick:

The Department of State Lands has reviewed the wetland delineation report prepared by Wave Beach Grass Nursery for the site referenced above. Based upon our review, we concur with their delineation and conclusions. Based upon the information presented in the report, a site visit on October 9, 2008, and additional information submitted upon request, we concur with the wetland and waterway boundaries as mapped in the report wetland map. Within the study area, six wetlands (totaling approximately 19.47 acres) were identified. The wetlands are subject to the permit requirements of the state Removal-Fill Law. A state permit is required for cumulative fill or annual excavation of 50 cubic yards or more in the wetland (or below the ordinary high water line (OHWL) of a waterway).

This concurrence is for purposes of the state Removal-Fill Law only. Federal or local permit requirements may apply as well. The Army Corps of Engineers will review the report and make a determination of jurisdiction for purposes of the Clean Water Act at the time that a permit application is submitted. We recommend that you attach a copy of this concurrence letter to both copies of any subsequent joint permit application to speed application review.

Please be advised that state law establishes a preference for avoidance of wetland impacts. Because measures to avoid and minimize wetland impacts may include reconfiguring parcel layout and size or development design, we recommend that you work with Department staff on appropriate site design before completing the city or county land use approval process.

This concurrence is based on information provided to the agency. The jurisdictional determination is valid for five years from the date of this letter, unless new information necessitates a revision. Circumstances under which the Department may change a determination and procedures for renewal of an expired determination are found in OAR 141-090-0045 (available on our web site or upon request). The applicant, landowner, or



agent may submit a request for reconsideration of this determination in writing within 60 calendar days of the date of this letter.

Thank you for having the site evaluated. Please phone me at 503-986-5297 if you have any questions.

Sincerely,

*Jevra Brown*

Jevra Brown  
Wetland Specialist

Approved by *Janet C. Morlan*  
Janet C. Morlan, PWS  
Wetlands Program Manager

Enclosures

ec: Matt & Wilbur Ternyik, Wave Beach Grass Nursery  
City of Florence Planning Department (Maps enclosed for updating LWI)  
Benny Dean, Corps of Engineers Eugene office  
Gloria Kiryuta, DSL

LOCATION MAP  
WESTERN LANE COUNTY, OREGON

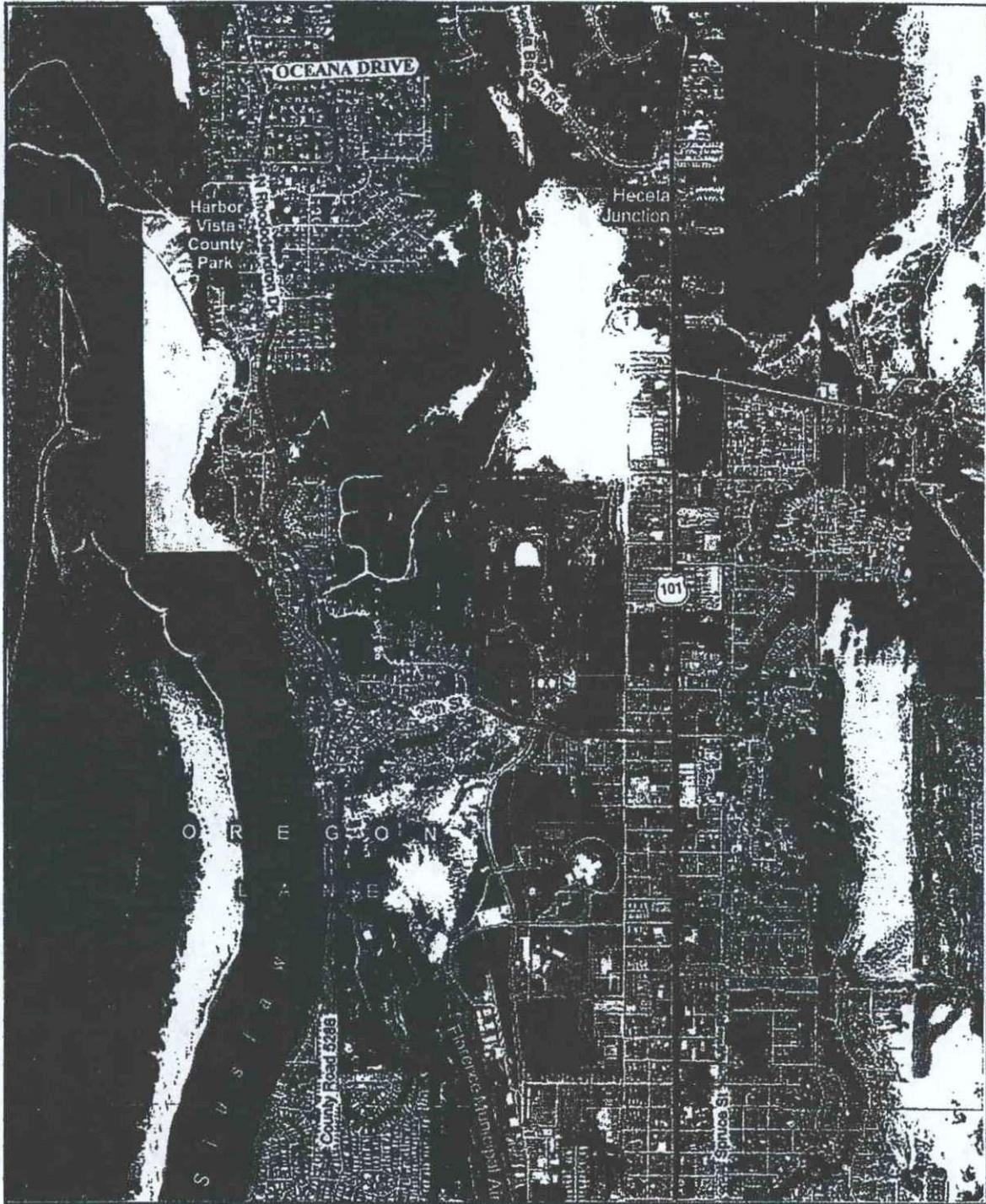


Image courtesy of the U.S. Geological survey

JULIUS E. BENEDICK  
PROPERTY

18-12-10-4, TL 400 & 401

SE 1/4, SEC. 10, T18S, R12W, W.M.

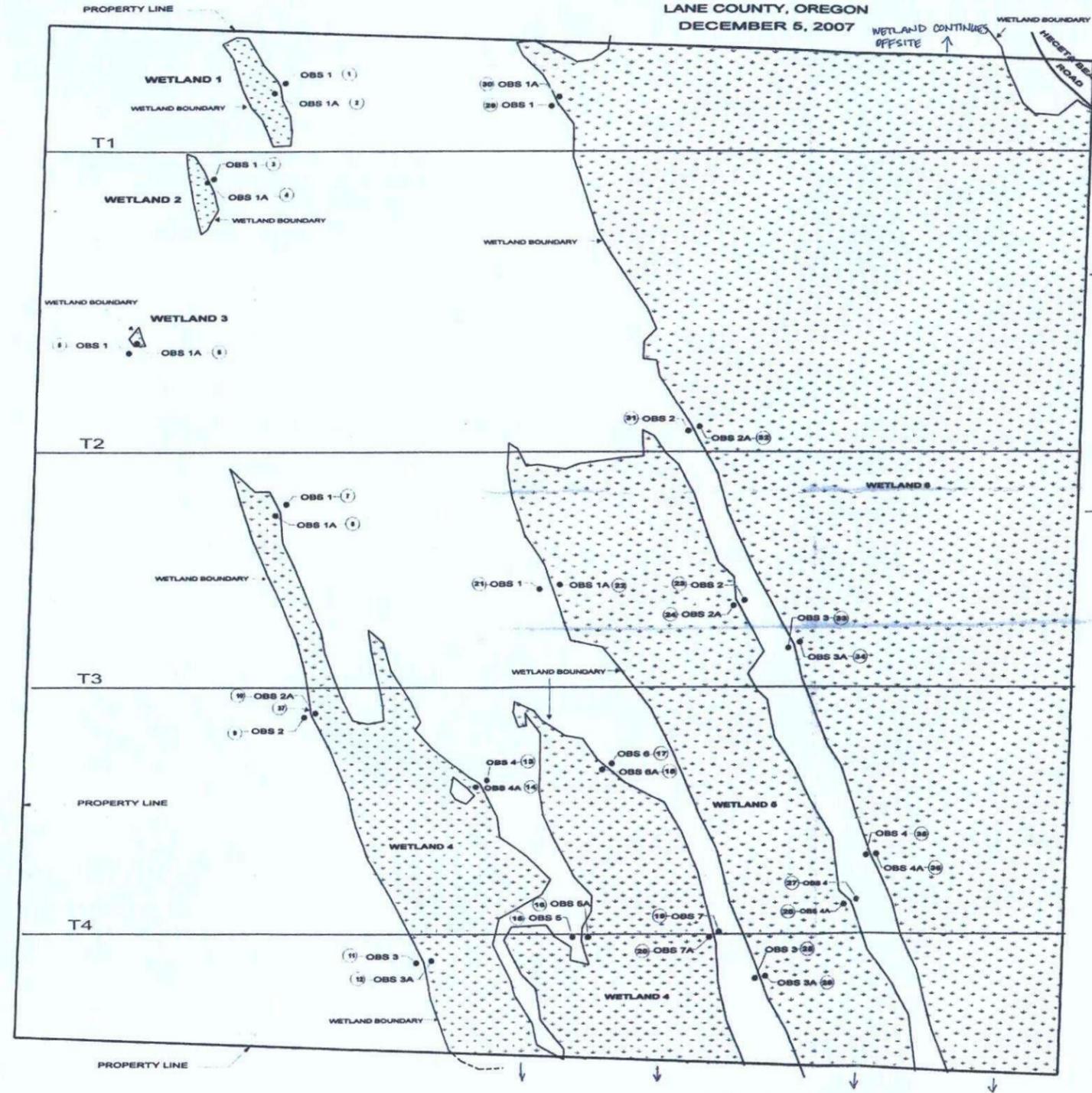
DSL WD # 07-0747 WESTERN LANE COUNTY, OREGON



SCALE  
1" TO 2,222'

**WETLAND DELINEATION MAP**

GENE BENEDICK  
SE 1/4, SEC. 10, T18S, R12W, W.M.  
LANE COUNTY, OREGON  
DECEMBER 5, 2007



Prepared By: Matthew J. Terryik

**LEGEND**

- ⊙ = PHOTO LOCATION / NUMBER / DIRECTION
- = OBSERVATION POINT / LOCATION / NUMBER
- = PROPERTY LINE & STUDY BOUNDARY
- ▨ = WETLAND

**WETLAND CLASSIFICATIONS**

WETLANDS	COWARDIN	HGM
WETLAND #1	PEMBS	SHRP (DEPRESSION CLOSED) NONPERMANENT
WETLAND #2	PEMBS	SHRP (DEPRESSION CLOSED) NONPERMANENT
WETLAND #3	PBS	CR (DEPRESSION CLOSED) NONPERMANENT
WETLAND #4	PEMBS	SHRP (DEPRESSION CLOSED) NONPERMANENT
WETLAND #5	PEMBS	SHRP (DEPRESSION CLOSED) NONPERMANENT
WETLAND #6	PEMBS	SHRP (DEPRESSION CLOSED) NONPERMANENT

**WETLAND ACREAGES**

1	0.122 AC ±
2	0.050 AC ±
3	0.006 AC ±
4	3.487 AC ±
5	3.226 AC ±
6	12.575 AC ±
<b>TOTAL WETLAND AREA</b>	<b>= 19.486 AC ±</b>
<b>TOTAL AREA OF SITE</b>	<b>= 40.12 AC ±</b>
<b>SIZE OF STUDY AREA</b>	<b>= 40.12 AC ±</b>

LATITUDE 44°02'00"  
LONGITUDE 124°11'00"

DSL WD # 07-0747  
Approval Issued 10/21/2008  
Approval Expires 10/21/2013

THIS MAP IS FOR THE DETERMINATION OF POSSIBLE WETLANDS LOCATED IN THE STUDY AREA. THERE IS NO INTENT TO PROVIDE DIMENSION OR LOCATIONS OF PROPERTY OWNERSHIP LINES.

18-12-10-4, TL 400 & 401

REGISTERED PROFESSIONAL LAND SURVEYOR  
JULY 26, 1998  
OREGON  
EUGENE M. WOBBE  
1093  
P.L.S. EXPIRATION DATE: 6-30-2008

**WOBBE & ASSOCIATES, INC.**  
510 KINGWOOD ST. / P.O. BOX 3093  
FLORENCE, OR 97439

WETLAND MAP  
WILBUR TERNYIK  
SE 1/4, SEC. 10, T18S, R12W, W.M.  
LANE COUNTY, OREGON  
DECEMBER 5, 2007  
DRAWN: EMW/PSC

WETLAND DELINEATED BY  
WILBUR E. AND MATTHEW J. TERNYIK  
WETLANDS, BEACHES AND DUNES CONSULTANTS

L:\00000001\001\180 WETLANDS.DWG

**KENDALL Jerry**

---

**From:** KENDALL Jerry  
**Sent:** Wednesday, January 05, 2011 8:23 AM  
**To:** 'Clint Beecroft'  
**Cc:** 'Shane Hughes'  
**Subject:** Benedict Subdiv.

Clint: I followed up on my discussion with Bill Kloos and agree with him that per ORS 215.427(3)(a), the subdivision application is subject to the laws in effect at the time of submittal, provided it is deemed complete within 180 days of the submittal.

Jerry Kendall/Associate Planner/Lane County Oregon  
PSB/LMD  
125 E. 8th Ave.  
Eugene, Or. 97401  
ph: 541-682-4057  
FAX: 541-682-3947  
Jerry.Kendall@co.lane.or.us

FILE # CA  
DATE 11-30

costs incurred in acting upon an appeal from a hearings officer, planning commission or other designated person. The amount of the fee shall be reasonable and shall be no more than the average cost of such appeals or the actual cost of the appeal, excluding the cost of preparation of a written transcript. The governing body may establish a fee for the preparation of a written transcript. The fee shall be reasonable and shall not exceed the actual cost of preparing the transcript up to \$500. In lieu of a transcript prepared by the governing body and the fee therefor, the governing body shall allow any party to an appeal proceeding held on the record to prepare a transcript of relevant portions of the proceedings conducted at a lower level at the party's own expense. If an appellant prevails at a hearing or on appeal, the transcript fee shall be refunded.

(2) A party aggrieved by the final determination may have the determination reviewed in the manner provided in ORS 197.830 to 197.845.

(3) No decision or action of a planning commission or county governing body shall be invalid due to ex parte contact or bias resulting from ex parte contact with a member of the decision-making body, if the member of the decision-making body receiving the contact:

(a) Places on the record the substance of any written or oral ex parte communications concerning the decision or action; and

(b) Has a public announcement of the content of the communication and of the parties' right to rebut the substance of the communication made at the first hearing following the communication where action will be considered or taken on the subject to which the communication related.

(4) A communication between county staff and the planning commission or governing body shall not be considered an ex parte contact for the purposes of subsection (3) of this section.

(5) Subsection (3) of this section does not apply to ex parte contact with a hearings officer approved under ORS 215.406 (1). [1973 c.522 §§17,18; 1977 c.766 §13; 1979 c.772 §11; 1981 c.748 §42; 1983 c.656 §1; 1983 c.827 §21; 1991 c.817 §9]

**215.425 Review of decision relating to aggregate resources.** (1) A decision relating to aggregate resource uses permitted in ORS 215.213 (2)(d) or 215.283 (2)(b) is subject to review solely under the provisions of ORS 197.195 and 197.828 if:

(a) The aggregate resource site is identified as a significant resource site in the acknowledged comprehensive plan;

(b) A program to achieve any statewide goal relating to open spaces, scenic and his-

toric areas, and natural resources has been developed for the aggregate resource site and is included within applicable land use regulations; and

(c) The decision concerns how, but not whether, aggregate resource use occurs.

(2) The provisions of subsection (1) of this section do not apply to mineral and other uses not related to aggregate resources. [1991 c.817 §11]

**215.427 Final action on permit or zone change application; refund of application fees.** (1) Except as provided in subsections (3), (5) and (10) of this section, for land within an urban growth boundary and applications for mineral aggregate extraction, the governing body of a county or its designee shall take final action on an application for a permit, limited land use decision or zone change, including resolution of all appeals under ORS 215.422, within 120 days after the application is deemed complete. The governing body of a county or its designee shall take final action on all other applications for a permit, limited land use decision or zone change, including resolution of all appeals under ORS 215.422, within 150 days after the application is deemed complete, except as provided in subsections (3), (5) and (10) of this section.

(2) If an application for a permit, limited land use decision or zone change is incomplete, the governing body or its designee shall notify the applicant in writing of exactly what information is missing within 30 days of receipt of the application and allow the applicant to submit the missing information. The application shall be deemed complete for the purpose of subsection (1) of this section upon receipt by the governing body or its designee of:

(a) All of the missing information;

(b) Some of the missing information and written notice from the applicant that no other information will be provided; or

(c) Written notice from the applicant that none of the missing information will be provided.

(3)(a) If the application was complete when first submitted or the applicant submits additional information, as described in subsection (2) of this section, within 180 days of the date the application was first submitted and the county has a comprehensive plan and land use regulations acknowledged under ORS 197.251, approval or denial of the application shall be based upon the standards and criteria that were applicable at the time the application was first submitted.

(b) If the application is for industrial or traded sector development of a site identified under section 12, chapter 800, Oregon Laws

2003, and proposes an amendment to the comprehensive plan, approval or denial of the application must be based upon the standards and criteria that were applicable at the time the application was first submitted, provided the application complies with paragraph (a) of this subsection.

(4) On the 181st day after first being submitted, the application is void if the applicant has been notified of the missing information as required under subsection (2) of this section and has not submitted:

(a) All of the missing information;

(b) Some of the missing information and written notice that no other information will be provided; or

(c) Written notice that none of the missing information will be provided.

(5) The period set in subsection (1) of this section may be extended for a specified period of time at the written request of the applicant. The total of all extensions, except as provided in subsection (10) of this section for mediation, may not exceed 215 days.

(6) The period set in subsection (1) of this section applies:

(a) Only to decisions wholly within the authority and control of the governing body of the county; and

(b) Unless the parties have agreed to mediation as described in subsection (10) of this section or ORS 197.319 (2)(b).

(7) Notwithstanding subsection (6) of this section, the period set in subsection (1) of this section does not apply to an amendment to an acknowledged comprehensive plan or land use regulation or adoption of a new land use regulation that was forwarded to the Director of the Department of Land Conservation and Development under ORS 197.610 (1).

(8) Except when an applicant requests an extension under subsection (5) of this section, if the governing body of the county or its designee does not take final action on an application for a permit, limited land use decision or zone change within 120 days or 150 days, as applicable, after the application is deemed complete, the county shall refund to the applicant either the unexpended portion of any application fees or deposits previously paid or 50 percent of the total amount of such fees or deposits, whichever is greater. The applicant is not liable for additional governmental fees incurred subsequent to the payment of such fees or deposits. However, the applicant is responsible for the costs of providing sufficient additional information to address relevant issues identified in the consideration of the application.

(9) A county may not compel an applicant to waive the period set in subsection (1)

of this section or to waive the provisions of subsection (8) of this section or ORS 215.429 as a condition for taking any action on an application for a permit, limited land use decision or zone change except when such applications are filed concurrently and considered jointly with a plan amendment.

(10) The periods set forth in subsection (1) of this section and the period set forth in subsection (5) of this section may be extended by up to 90 additional days, if the applicant and the county agree that a dispute concerning the application will be mediated. [1997 c.414 §2; 1999 c.393 §§3,3a; enacted in lieu of 215.428 in 1999; 2003 c.800 §30; 2007 c.232 §1; 2009 c.873 §15]

**215.428** [1983 c.827 §23; 1989 c.761 §15; 1991 c.817 §14; 1995 c.812 §2; 1997 c.844 §7; repealed by 1999 c.393 §2 (215.427 enacted in lieu of 215.428)]

**215.429 Mandamus proceeding when county fails to take final action on land use application within specified time; jurisdiction; notice; preemptory writ.** (1) Except when an applicant requests an extension under ORS 215.427, if the governing body of the county or its designee does not take final action on an application for a permit, limited land use decision or zone change within 120 days or 150 days, as appropriate, after the application is deemed complete, the applicant may file a petition for a writ of mandamus under ORS 34.130 in the circuit court of the county where the application was submitted to compel the governing body or its designee to issue the approval.

(2) The governing body shall retain jurisdiction to make a land use decision on the application until a petition for a writ of mandamus is filed. Upon filing a petition under ORS 34.130, jurisdiction for all decisions regarding the application, including settlement, shall be with the circuit court.

(3) A person who files a petition for a writ of mandamus under this section shall provide written notice of the filing to all persons who would be entitled to notice under ORS 197.763 and to any person who participated orally or in writing in any evidentiary hearing on the application held prior to the filing of the petition. The notice shall be mailed or hand delivered on the same day the petition is filed.

(4) If the governing body does not take final action on an application within 120 days or 150 days, as appropriate, of the date the application is deemed complete, the applicant may elect to proceed with the application according to the applicable provisions of the county comprehensive plan and land use regulations or to file a petition for a writ of mandamus under this section. If the applicant elects to proceed according to the local plan and regulations, the applicant may not file a petition for a writ of mandamus within

**KENDALL Jerry**

---

**From:** Clint Beecroft [clintbeecroft@egrassoc.com]  
**Sent:** Tuesday, January 04, 2011 7:58 AM  
**To:** KENDALL Jerry  
**Cc:** 'Shane Hughes'  
**Subject:** RE: PA10-5821

Yes.

---

**From:** KENDALL Jerry [mailto:Jerry.KENDALL@co.lane.or.us]  
**Sent:** Monday, January 03, 2011 1:15 PM  
**To:** 'Clint Beecroft'  
**Cc:** 'Shane Hughes'  
**Subject:** RE: PA10-5821

Clint: If what you have marked on the "Preliminary Subdivision Plan" as "Wetland (PER DSL WD# 07-0747)", matches what I asked for below, just reply with a "yes" and leave it at that.

Jerry Kendall/Associate Planner/Lane County Oregon  
PSB/LMD  
125 E. 8th Ave.  
Eugene, Or. 97401  
ph: 541-682-4057  
FAX: 541-682-3947  
Jerry.Kendall@co.lane.or.us

---

**From:** Clint Beecroft [mailto:clintbeecroft@egrassoc.com]  
**Sent:** Monday, January 03, 2011 12:07 PM  
**To:** KENDALL Jerry  
**Cc:** 'Shane Hughes'  
**Subject:** RE: PA10-5821

Jerry,

I will work on getting you a copy of the 'report wetland map'. I do not know if it is the same map as the DSL-approved wetland map that I previously sent you.--Clint

---

**From:** KENDALL Jerry [mailto:Jerry.KENDALL@co.lane.or.us]  
**Sent:** Monday, January 03, 2011 11:57 AM  
**To:** 'Clint Beecroft'  
**Cc:** 'Shane Hughes'  
**Subject:** RE: PA10-5821

Thanks Clint.

FILE # \_\_\_\_\_  
SERIAL # 10-20

Re: wetlands, can you provide me with a copy of the "report wetland map" referred to in paragraph 1, 3rd sentence of the DSL letter dated 10-21-08? I'll need that for the overlay zones (Preliminary Investigations).

Also, I talked to Bill Kloos. He does think the main subdivision application (PA 10-5821) is vested under ORS 215.427(3)(a). I'll be double checking that provision and associated dates for myself later this week.

Jerry Kendall/Associate Planner/Lane County Oregon  
PSB/LMD  
125 E. 8th Ave.  
Eugene, Or. 97401  
ph: 541-682-4057  
FAX: 541-682-3947  
Jerry.Kendall@co.lane.or.us

---

**From:** Clint Beecroft [mailto:clintbeecroft@egrassoc.com]  
**Sent:** Monday, January 03, 2011 11:26 AM  
**To:** KENDALL Jerry  
**Cc:** 'Shane Hughes'  
**Subject:** PA10-5821

Jerry,

Attached is the applicant intent form for the Idylewood Fourth Addition preliminary subdivision application (PA10-5821). A paper copy is being placed in the mail today.

Clint Beecroft

**KENDALL Jerry**

---

**From:** KENDALL Jerry  
**Sent:** Monday, January 03, 2011 11:57 AM  
**To:** 'Clint Beecroft'  
**Cc:** 'Shane Hughes'  
**Subject:** RE: PA10-5821

Thanks Clint.

Re: wetlands, can you provide me with a copy of the "report wetland map" referred to in paragraph 1, 3rd sentence of the DSL letter dated 10-21-08? I'll need that for the overlay zones (Preliminary Investigations).

Also, I talked to Bill Kloos. He does think the main subdivision application (PA 10-5821) is vested under ORS 215.427(3)(a). I'll be double checking that provision and associated dates for myself later this week.

Jerry Kendall/Associate Planner/Lane County Oregon  
PSB/LMD  
125 E. 8th Ave.  
Eugene, Or. 97401  
ph: 541-682-4057  
FAX: 541-682-3947  
Jerry.Kendall@co.lane.or.us

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**Sent:** Monday, January 03, 2011 11:26 AM  
**To:** KENDALL Jerry  
**Cc:** 'Shane Hughes'  
**Subject:** PA10-5821

Jerry,

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Clint Beecroft

9

**KENDALL Jerry**

---

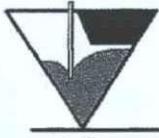
**From:** Clint Beecroft [clintbeecroft@egrassoc.com]  
**Sent:** Monday, January 03, 2011 11:26 AM  
**To:** KENDALL Jerry  
**Cc:** 'Shane Hughes'  
**Subject:** PA10-5821  
**Attachments:** Application Intent 01032011.pdf

Jerry,

Attached is the applicant intent form for the Idylewood Fourth Addition preliminary subdivision application (PA10-5821). A paper copy is being placed in the mail today.

Clint Beecroft

FILE #  
6-5p.



# EGR & Associates, Inc.

Engineers, Geologists and Surveyors

2535B Prairie Road  
Eugene, Oregon 97402

(514) 688-8322  
Fax (541) 688-8087

## LETTER OF TRANSMITTAL

DATE: 1/3/11	JOB NO: 2080-07-0256
ATTENTION: Jerry Kendall	
RE: Idylewood 4 <sup>th</sup> Addition PA #10-5821	

TO: Lane County  
Attn: Jerry Kendall  
125 E. 8<sup>th</sup> Avenue  
Eugene, OR 97401

WE ARE SENDING YOU:

Drawings       Report       Letter       Copy of Letter       Plans

Specifications       Change Order       \_\_\_\_\_

VIA:  Fax Transmittal       Postal Service       Express Courier       Hand Deliver       \_\_\_\_\_

NO.	COPIES	DATE	DESCRIPTION
1	1	1-3-11	Signed Applicant Intent Form
2	1		DSL Wetland Concurrence Letter w/Map

THESE ARE TRANSMITTED AS CHECKED BELOW:

As Requested       For Your Use       For Approval       For Review and Comment       Returned For Corrections  
 Approved as Noted       Approved as Submitted       Return Corrected Prints       Resubmit for Approval       \_\_\_\_\_

**REMARKS:**

Jerry,

We will provide a copy of the Legal Lot Verification decision when available (PA10-5823). Attached is the DSL concurrence on the wetland delineation.

COPY TO: Gene Benedick

SIGNED: Clint Beecroft  
Clint Beecroft, PE

Date: December 15, 2010  
Department File No.: PA10-5821

Received On: 11-18-10

---

In order to help us process your application, please:

1. Check one box;
2. Sign & date at the bottom;
3. Return in enclosed self-addressed stamped envelope.

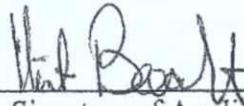
I intend to submit the missing or incomplete materials as identified in the **Incomplete Notice**. I understand that according to State law I have up to 180 days from the date the application was submitted to provide the missing information, and that, on the 181<sup>st</sup> day after first being submitted, the application is void if I have not submitted:

- (a) All of the missing information; or
- (b) Some of the missing information and written notice that no other information will be provided.

I do not intend to submit the missing or incomplete materials as identified in the **Incomplete Notice**. I understand that Lane County will proceed to review the application materials previously submitted. I understand that incomplete applications may not provide the necessary supporting information to demonstrate compliance with applicable criteria and standards and may result in the denial of my application.

I wish to withdraw the application. I understand that Lane County will refund any portion of the application fee that has not been expended in the review of the application.

EGR & ASSOCIATES, INC.

 CLINT BEECROFT  
Signature of Applicant / Agent

1-3-11  
Date



# Oregon

Theodore R. Kulongoski, Governor

**FILE COPY**

## Department of State Lands

775 Summer Street NE, Suite 100

Salem, OR 97301-1279

(503) 986-5200

FAX (503) 378-4844

www.oregonstatelands.us.

October 21, 2008

### State Land Board

Gene Benedick  
27962 Ward Lane  
Eugene, Oregon 97402

Theodore R. Kulongoski  
Governor

Bill Bradbury  
Secretary of State

Re: Wetland Delineation Report for Florence, Lane County; T 18S R 12W  
S 10D TL 400 and 401; WD #07-0747; Florence Local Wetlands  
Inventory wetlands SP-32A, SP-33B, SP-34 and SP-35

Randall Edwards  
State Treasurer

Dear Mr. Benedick:

The Department of State Lands has reviewed the wetland delineation report prepared by Wave Beach Grass Nursery for the site referenced above. Based upon our review, we concur with their delineation and conclusions. Based upon the information presented in the report, a site visit on October 9, 2008, and additional information submitted upon request, we concur with the wetland and waterway boundaries as mapped in the report wetland map. Within the study area, six wetlands (totaling approximately 19.47 acres) were identified. The wetlands are subject to the permit requirements of the state Removal-Fill Law. A state permit is required for cumulative fill or annual excavation of 50 cubic yards or more in the wetland (or below the ordinary high water line (OHWL) of a waterway).

This concurrence is for purposes of the state Removal-Fill Law only. Federal or local permit requirements may apply as well. The Army Corps of Engineers will review the report and make a determination of jurisdiction for purposes of the Clean Water Act at the time that a permit application is submitted. We recommend that you attach a copy of this concurrence letter to both copies of any subsequent joint permit application to speed application review.

Please be advised that state law establishes a preference for avoidance of wetland impacts. Because measures to avoid and minimize wetland impacts may include reconfiguring parcel layout and size or development design, we recommend that you work with Department staff on appropriate site design before completing the city or county land use approval process.

This concurrence is based on information provided to the agency. The jurisdictional determination is valid for five years from the date of this letter, unless new information necessitates a revision. Circumstances under which the Department may change a determination and procedures for renewal of an expired determination are found in OAR 141-090-0045 (available on our web site or upon request). The applicant, landowner, or



agent may submit a request for reconsideration of this determination in writing within 60 calendar days of the date of this letter.

Thank you for having the site evaluated. Please phone me at 503-986-5297 if you have any questions.

Sincerely,

*Jevra Brown*

Jevra Brown  
Wetland Specialist

Approved by *Janet C. Morlan*  
Janet C. Morlan, PWS  
Wetlands Program Manager

Enclosures

ec: Matt & Wilbur Ternyik, Wave Beach Grass Nursery  
City of Florence Planning Department (Maps enclosed for updating LWI)  
Benny Dean, Corps of Engineers Eugene office  
Gloria Kiryuta, DSL

**KENDALL Jerry**

---

**From:** KENDALL Jerry  
**Sent:** Wednesday, December 15, 2010 3:35 PM  
**To:** 'Clint Beecroft'  
**Subject:** RE: PA 10-5824 Variance for 62 lot subdiv.

Clint: The only way to "extend" the 120 day timeframe is to grant a "timeout" via a waiver. The suggestion was only, like I said, for convenience. I really don't mind proceeding with the varinace. Take a look at the cited ORS also. There is a limit to how long waivers can add up to.

I'm in a rush to clear my desk of older apps, so I don't have a solid site visit date in mind yet. I'll assess that in early Jan. Tentatively, late Jan.-early Feb.

Jerry Kendall/Associate Planner/Lane County Oregon  
 PSB/LMD  
 125 E. 8th Ave.  
 Eugene, Or. 97401  
 ph: 541-682-4057  
 FAX: 541-682-3947  
 Jerry.Kendall@co.lane.or.us

---

**From:** Clint Beecroft [mailto:clintbeecroft@egrassoc.com]  
**Sent:** Wednesday, December 15, 2010 3:03 PM  
**To:** KENDALL Jerry  
**Subject:** RE: PA 10-5824 Variance for 62 lot subdiv.

Hello Jerry,

Our surveyor, Ryan Erickson, is currently working with Jeremy regarding the legal lot verification application and has responded to the notice of incomplete status. I will keep you informed of the status of the application.

Regarding the waiver to the 120 day timeline, can the timeline be extended, by say an additional 90 or 120 days, rather than a complete waiver? Otherwise we have an open-ended timeline.

Do you have any tentative plans on when you want to visit the site?

Clint Beecroft

---

**From:** KENDALL Jerry [mailto:Jerry.KENDALL@co.lane.or.us]  
**Sent:** Wednesday, December 15, 2010 1:14 PM  
**To:** 'clintbeecroft@egrassoc.com'  
**Subject:** PA 10-5824 Variance for 62 lot subdiv.

Hi Clint.

The main subdivision application, PA 10-5821, is in INCOMPLETE status until the legal lot/notice (PA 10-5823) is

12/15/2010

done and out of appeal. Please be sure to advise me when PA 10-5823 is finalized.

I've also asked for a copy of the wetland determination apparently completed with DSL.

The road variance, PA 10-5824, is complete for processing. However, I would like to process it and the subdiv. PA 10-5821 concurrently (saving on mailing, avoid confusion to those noticed, etc.). In order to do that, you as agent would need to grant a waiver to the 120 day timeline for processing of ORS 215.427, with the agreed understanding that the two applications would be processed concurrently.

This is a matter of convenience for this office, so this is entirely at your option.

Please consider it. FYI, I'll be out of the office from Dec. 20 to Jan. 3.

The two Preliminary Investigations (PA 10-5822 & PA 10-5825) will proceed, and I'll call in advance when ready to visit the site.

Jerry Kendall/Associate Planner/Lane County Oregon  
PSB/LMD  
125 E. 8th Ave.  
Eugene, Or. 97401  
ph: 541-682-4057  
FAX: 541-682-3947  
Jerry.Kendall@co.lane.or.us

**KENDALL Jerry**

---

**From:** KENDALL Jerry  
**Sent:** Wednesday, December 15, 2010 1:14 PM  
**To:** 'clintbeecroft@egrassoc.com'  
**Subject:** PA 10-5824 Variance for 62 lot subdiv.

Hi Clint.

The main subdivision application, PA 10-5821, is in INCOMPLETE status until the legal lot/notice (PA 10-5823) is done and out of appeal. Please be sure to advise me when PA 10-5823 is finalized.

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This is a matter of convenience for this office, so this is entirely at your option.

Please consider it. FYI, I'll be out of the office from Dec. 20 to Jan. 3.

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Jerry Kendall/Associate Planner/Lane County Oregon  
PSB/LMD  
125 E. 8th Ave.  
Eugene, Or. 97401  
ph: 541-682-4057  
FAX: 541-682-3947  
Jerry.Kendall@co.lane.or.us

6:48

December 15, 2010

**Incomplete Application Notice**

**EGR & Associates  
2535 B Prairie Rd.  
Eugene, Or. 97402**



LAND MANAGEMENT DIVISION  
[http://www.LaneCounty.org/PW\\_LMD/](http://www.LaneCounty.org/PW_LMD/)

Subject: PA 10-5821: Preliminary Subdivision (62 lots)  
Received on 11-18-10

Your land use application is incomplete. Please see the attached list of items needed. If the materials will not be submitted within 14 days, complete and return the enclosed "Applicant Intent Form."

If you have any questions concerning this notice or your application, please contact me.

If needed, Lane Code is available online at  
<http://www.lanecounty.org/Planning/default.htm>.

Sincerely,

A handwritten signature in dark ink, appearing to read "J. K.", is positioned above the typed name.

Jerry Kendall  
Associate Planner  
Lane Management Division  
(541) 682-4057  
(541) 682-3947 (FAX)  
[Jerry.Kendall@co.lane.or.us](mailto:Jerry.Kendall@co.lane.or.us)

ITEMS NEEDED TO COMPLETE APPLICATION PA 10-5821

The following items need to be submitted to complete the application:

1. Final legal lot determination (PA 10-5823, pending). This is required as LC 13.050 uses the terms "lot" or "parcel" throughout.
2. A copy of the DSL Wetlands Determination (WD# 07-0747) (related to LC 13.050(9)).

Thank you.

**Date:** December 15, 2010

**Department File No.:** PA10-5821

**Received On:** 11-18-10

---

**In order to help us process your application, please:**

1. **Check one box;**
2. **Sign & date at the bottom;**
3. **Return in enclosed self-addressed stamped envelope.**

- I intend to submit the missing or incomplete materials as identified in the Incomplete Notice.** I understand that according to State law I have up to 180 days from the date the application was submitted to provide the missing information, and that, on the 181<sup>st</sup> day after first being submitted, the application is void if I have not submitted:
- (a) All of the missing information; or
  - (b) Some of the missing information and written notice that no other information will be provided.
- I do not intend to submit the missing or incomplete materials as identified in the Incomplete Notice.** I understand that Lane County will proceed to review the application materials previously submitted. I understand that incomplete applications may not provide the necessary supporting information to demonstrate compliance with applicable criteria and standards and may result in the denial of my application.
- I wish to withdraw the application.** I understand that Lane County will refund any portion of the application fee that has not been expended in the review of the application.

\_\_\_\_\_  
Signature of Applicant / Agent

\_\_\_\_\_  
Date

**KENDALL Jerry**

---

**From:** KENDALL Jerry  
**Sent:** Tuesday, December 14, 2010 11:27 AM  
**To:** FIELDS Phil  
**Cc:** BAJRACHARYA Shashi  
**Subject:** PA 10-5821/Idylewood Fouth Addition

Phil, this is the PA for which I sent you a preliminary subdivision plan (62 lots, in the UGB).

I'm reviewing it for completeness this week (by Thur.).

Will they need a TIA?

Jerry Kendall/Associate Planner/Lane County Oregon  
PSB/LMD  
125 E. 8th Ave.  
Eugene, Or. 97401  
ph: 541-682-4057  
FAX: 541-682-3947  
Jerry.Kendall@co.lane.or.us

5

**KENDALL Jerry**

**From:** KENDALL Jerry  
**Sent:** Tuesday, November 23, 2010 4:05 PM  
**To:** PEZLEY Michelle (SMTP)  
**Subject:** RE: 4th Add to Idylewood

*See  
Fawn Ridge as on  
of condition  
per M. Pezley:  
Ack - A us.*

Michelle: The prelim. part. plan is an oversize hard copy, so I sent it via snailmail. (There are no other attachments) Sorry for any confusion.

Jerry Kendall/Associate Planner/Lane County Oregon  
PSB/LMD  
125 E. 8th Ave.  
Eugene, Or. 97401  
ph: 541-682-4057  
FAX: 541-682-3947  
Jerry.Kendall@co.lane.or.us

- ? for FLS:*
- 1. require Annexation as condition?*
- 2. #1 mandatory or optional?*
- 3. if mandatory, etc DAR.*
- 4. ? Is it a matter of*

**From:** Michelle Pezley [mailto:michelle.pezley@ci.florence.or.us]  
**Sent:** Tuesday, November 23, 2010 3:55 PM  
**To:** KENDALL Jerry  
**Subject:** RE: 4th Add to Idylewood

*capacity, or capacity +  
willingness (aka - if  
FLS has capacity, can they*

Jerry,

Thanks for the heads up! The attachment did not send. would you please try sending it again?

Thanks,

Michelle

*Michelle K. Pezley*  
Assistant Planner  
250 Highway 101  
Florence, OR 97439  
541.997.8237  
f: 541.997.4109  
www.ci.florence.or.us

*refuse to provide  
service?  
not sure.  
note: city sewer plant has  
a maximum operating*

**From:** KENDALL Jerry [mailto:Jerry.KENDALL@co.lane.or.us]  
**Sent:** Tuesday, November 23, 2010 12:52 PM  
**To:** Michelle Pezley  
**Subject:** 4th Add to Idylewood

*capacity of 50,000  
(households).  
the more households  
the better the plant  
functions.*

Hi Michelle.

*4-29*

Per our phone call I'm sending you via regular mail a Preliminary Subdivision Plan for this 62 lot subdivision in the UGB. Although there are 4 applications associated with this project, the main subdiv. app. # is PA 10-5821.

Two of the other applications are administrative Preliminary Investigations for the Beaches & Dunes (PA 10-5822, LC 10.270) and the Prime Wildlife Combining Zones (PA 10-5825, LC 10.245).

The 4th application, PA 10-5824, is a variance request to the standard of LC 13.050(3), processed per LC 15.900.

The base zone is RA/Suburban Residential, LC 10.135. The property is also within the Interim Urbanizing Zone, LC 10.122.

I'll send copy of this email along with the preliminary plan map.

I'll send a formal referral in December, maybe January (have not even deemed it complete yet, was just submitted on Nov. 18).

Let me know if you need additional info. The Map#s will be on the preliminary plan.

Happy Holiday

Jerry Kendall/Associate Planner/Lane County Oregon  
PSB/LMD  
125 E. 8th Ave.  
Eugene, Or. 97401  
ph: 541-682-4057  
FAX: 541-682-3947  
Jerry.Kendall@co.lane.or.us

## KENDALL Jerry

---

**From:** KENDALL Jerry  
**Sent:** Tuesday, November 23, 2010 12:59 PM  
**To:** FIELDS Phil  
**Subject:** 4th Add. to Idylewood

Phil:

Per our phone call I'm sending you via courier a Preliminary Subdivision Plan for this 62 lot subdivision in the UGB. Although there are 4 applications associated with this project, the main subdiv. app. # is PA 10-5821.

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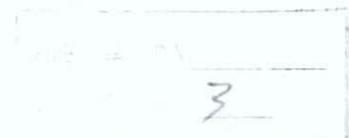
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I don't know if they will need a TIA offhand, but don't see one in the file.

Happy Holiday

Jerry Kendall/Associate Planner/Lane County Oregon  
PSB/LMD  
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Eugene, Or. 97401  
ph: 541-682-4057  
FAX: 541-682-3947  
Jerry.Kendall@co.lane.or.us



**KENDALL Jerry**

---

**From:** KENDALL Jerry  
**Sent:** Tuesday, November 23, 2010 12:52 PM  
**To:** PEZLEY Michelle (SMTP)  
**Subject:** 4th Add to Idylewood

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The 4th application, PA 10-5824, is a variance request to the standard of LC 13.050(3), processed per LC 15.900.

The base zone is RA/Suburban Residential, LC 10.135. The property is also within the Interim Urbanizing Zone, LC 10.122.

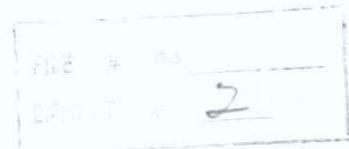
I'll send copy of this email along with the preliminary plan map.

I'll send a formal referral in December, maybe January (have not even deemed it complete yet, was just submitted on Nov. 18).

Let me know if you need additional info. The Map#s will be on the preliminary plan.

Happy Holiday

Jerry Kendall/Associate Planner/Lane County Oregon  
PSB/LMD  
125 E. 8th Ave.  
Eugene, Or. 97401  
ph: 541-682-4057  
FAX: 541-682-3947  
Jerry.Kendall@co.lane.or.us



LAND MANAGEMENT DIVISION



LAND USE APPLICATION  
Preliminary Subdivision

PUBLIC WORKS DEPARTMENT 125 E 8<sup>th</sup> AVENUE, EUGENE OR 97401 PLANNING: 682-3807

*Handwritten initials*

For Office Use Only: FILE # PA105821 CODE: DASUB

FEE: \$4000 +  $\frac{200}{lot} \times 62 \text{ lots}$   
= \$12,400  
28% = \$4,512  
100

Applicant (print name): BENEDICK HOLDINGS LLC.

Mailing address: 27922 WARD LANE, EUGENE, OREGON 97402

TOTAL  
\$21,092

Phone: (541) 688-6402 Email: ejbenedick@msn.com

Applicant Signature: *Sharla A Whitten*

Agent (print name): EGR & ASSOCIATES

Mailing address: 2535 B PRAIRIE ROAD, EUGENE, OREGON 97402

Phone: (541) 688-8322 Email: clintbeecroft@egrassoc.com

Agent Signature: *Clint Beecroft*

Land Owner (print name): BENEDICK HOLDINGS LLC.

Mailing address: 27922 WARD LANE, EUGENE, OREGON 97402

Phone: (541) 688-6402 Email: ejbenedick@msn.com

Land Owner Signature: *Sharla A Whitten*

LOCATION

18S	12W	10	34	400, 401 & 801
Township	Range	Section		Taxlot
18	12	10	40	

*Handwritten arrows connect '34' to '400, 401 & 801' and '40' to 'Taxlot'.*

VACANT - NONE

Site address

PROPOSAL: A request for Director Approval of a Preliminary Subdivision, pursuant to Lane Code 13.050 and 13.120.

Version 10/08

FILE #	PA	
EXHIBIT #	1	-25p.

**ADJOINING OWNERSHIP** Is any adjacent property under the same ownership as the subject property? List the map and tax lot(s).

NONE

**SITE PLAN** A preliminary subdivision plan must be included. Identify nearby driveways. Driveways spacing standards are contained in Lane Code 15.138.

**ZONING** RA, BD, U, PW

**ACREAGE:** 46.06

**PROPOSED NUMBER OF LOTS:** 62

**EXISTING IMPROVEMENTS** Does the property contain any roads, structures, etc.?

NONE, EXCEPT FOR A STORMWATER PUMP STATION AND PIPE LOCATED ON TAX LOT 801 WHICH WILL REMAIN.

**PHYSICAL FEATURES:** Describe the site. Identify any steep slopes, water bodies (creeks, ponds, etc.) or other significant features. Include additional pages if necessary.

SEE ATTACHED ADDITIONAL INFORMATION

**UTILITY COMPANIES THAT SERVE/WILL SERVE THE PARCELS:**

Identify the following service & facility providers for the property:

Power Company: CENTRAL LINCOLN P.U.D.

Electrical Company: \_\_\_\_\_

School District: SIUSLAW

Rural Fire Protection District: SIUSLAW FIRE & RESCUE

## REQUIRED SUBMITTALS

### LANE CODE 13.105: SUBMITTAL REQUIREMENTS FOR PRELIMINARY SUBDIVISION PLANS

- X(1) An application for preliminary subdivision approval shall be filed with the Department pursuant to LC 14.050.
- X(2) The application shall be accompanied by 5 copies of the preliminary subdivision plan one of which shall be 8 1/2 inches x 11 inches.
- X(3) Preliminary subdivision plans shall show all required information and shall be clearly and legibly drawn to a scale sufficient enough to enable the approving authority to have an adequate understanding of what is proposed. The following information is required on a preliminary subdivision plan:
  - X(a) The proposed name of the subdivision.
  - X(b) North arrow, scale and date of the preliminary plan.
  - X(c) Appropriate identification clearly stating the drawing is a preliminary subdivision plan.
  - X(d) Names and addresses of the landowners, applicant and the engineer, surveyor, land planner or landscape architect responsible for designing the preliminary plan.
  - X(e) The map number (township, range and section) and tax lot number of the tract being divided.
  - X(f) The boundary lines of the tract to be divided and approximate acreage of the property.
  - X(g) For subdivisions of land within an adopted urban growth boundary, or for cluster subdivision lots of five acres or less, contour lines sufficient to show the direction and general grade of land slope having the following intervals:
    - i. One-foot contour intervals for ground slopes up to 5%.
    - ii. Two-foot contour intervals for ground slopes between 5% and 10%.
    - iii. Five-foot contour intervals for ground slopes exceeding 10%.
  - X(h) The names of adjacent subdivisions and the names of recorded owners of adjoining parcels of unsubdivided land. The records of the Department of Assessment and Taxation may be used for this purpose.
  - X(i) The approximate location, widths and names of existing or platted streets or other public ways (including easements) within or adjacent to the tract, existing permanent buildings and any addresses for the buildings, railroad rights-of-way and other important features such as section lines, political subdivision boundary lines and school district boundaries.
  - X(j) The location and width of nearby County Road, State Road, and Public Road intersections, and of private driveway and road approaches serving adjacent land sufficient to document compliance with Road and Driveway Approach Spacing Standards in LC 15.138.
  - X(k) The approximate location of existing sewerage systems for the tract being divided, the approximate location of water mains, culverts, drainage ways or other underground utilities or structures within the tract or immediately adjacent thereto.

- X (l) Approximate location, acreage and dimensions of land to be dedicated for public use or reserved in the deeds for the common use of property owners in the property being divided, together with the purpose of conditions or limitations of such reservations, if any.
- X (m) Proposed plan for draining surface water from the development.
- X (n) The proposed street pattern or layout showing the name and widths of proposed streets and alleys.
- X (o) Easements, together with their dimensions, purpose and restrictions on use.
- X (p) Proposed means and location of sewage disposal and water supply systems.
- X (q) Proposed blocks, numbered in consecutive order.
- X (r) Proposed lots, approximate dimensions, size and boundaries. Residential lots shall be numbered consecutively. Lots that are to be used for other than residential purposes shall be identified with letter designations.
- N/A (s) Sites, if any, for residences.
- N/A (t) Parks, playgrounds, recreation areas, parkways, and open space for public use, clearly identified.
- X (u) Predominant natural features such as water courses and their flows, marshes, rock outcropping and areas subject to flooding, sliding or other natural hazards.
- N/A (v) For a cluster subdivision, the general location and type of proposed structures, and the area, uses and location of any common open space that will be provided at each stage.
- X (4) For a subdivision which is not a cluster subdivision, a draft of any pro-posed restrictions or covenants affecting the property shall accompany the application.
- N/A (5) An application for a cluster subdivision shall be accompanied by one copy of a written statement composed of the following information.
- \_\_\_ (a) A tabulation of land area to be devoted to various uses and a calculation of the average residential density per net acre.
- \_\_\_ (b) An explanation of the character of the cluster subdivision, the organization proposed to own and maintain any common areas and facilities and the type of ownership of individual units or spaces.
- \_\_\_ (c) Drafts of proposed covenants, deed restrictions and other documents relating to the dedication, improvements and maintenance of any common and private areas or facilities.
- \_\_\_ (d) Where the common area and/or open space in a cluster subdivision is not proposed to be graphically designated on a subdivision plat, the draft covenants and restrictions and conditions for a cluster subdivision shall include a Preliminary Development Plan of the entire property. The Development Plan shall include, at a minimum, the following information:
- (i) Existing contours and proposed contours after development at intervals of.
- (1) One foot for ground slopes of less than 5% or spot elevations and drainage features.
- (2) Two feet for ground slopes between 5% and 10%.
- (3) Five feet for ground slopes in excess of 10%.

(ii) Approximate location, arrangement and dimensions of proposed streets, driveways, sidewalks, pedestrian ways, trails, bikeways, off-street parking and loading areas.

(iii) Approximate location and dimensions of open space, common areas and dedicated properties.

(iv) Proposed drainage, water and sanitary systems and facilities, as required.

(v) Location, character and type of signs and lighting facilities.

X (6) A draft of any existing or proposed restrictions or covenants affecting the property shall accompany the application.

Are you proposing any restrictions or covenants (CC&Rs)? X Yes      \_\_\_ No

X (7) A preliminary legal lot verification. Refer to LC 13.020 for details regarding a legal lot verification.

- Preliminary Legal Lot Verification: A LEGAL LOT VERIFICATION APPLICATION IS INCLUDED
- Subdivision Lot/Partition Parcel: \_\_\_\_\_

**APPROVAL CRITERIA**

**Lane Code 13.050: GENERAL REQUIREMENTS AND STANDARDS OF DESIGN AND DEVELOPMENT FOR PRELIMINARY PLANS.**

The following are the requirements to which the preliminary plan of a subdivision, replat or partition must conform:

(1) **Conformity with the Comprehensive Plan.** All divisions shall conform with the Comprehensive Plan for Lane County and the following city comprehensive plans:

(a) The comprehensive plan for a small city, if the division site is within an urban growth boundary but outside the city limits. Such small cities are:

- |               |                 |            |
|---------------|-----------------|------------|
| Cottage Grove | Coburg          | Dunes City |
| Creswell      | Junction City   | Westfir    |
| Oakridge      | Veneta          |            |
| Lowell        | <u>Florence</u> |            |

Is the property entirely or partially within an Urban Growth Boundary of one of the cities listed above?  Yes  No Circle the appropriate city.

(b) **The Eugene-Springfield Metropolitan Area Plan and any applicable Special Purpose/Functional Plan or Neighborhood Refinement/Community Plans, if the division site is within the plan boundaries.**

Is the property entirely or partially within the boundaries of the Eugene-Springfield Metropolitan Area Plan?  Yes  No

(2) **Conformity with the Zoning.** All divisions shall comply with all specifications of the applicable zoning requirements in Lane Code, including uses of land, area and dimension requirements, space for off street parking landscaping and other requirements as may be set forth.

Identify the zoning districts, including overlay zones, which are applicable to the subject property. Identify the minimum area requirements of each zone or combining district.

SEE ATTACHED ADDITIONAL INFORMATION  
\_\_\_\_\_  
\_\_\_\_\_

(3) **Relation to Adjoining Road System.** A subdivision, replat or partition shall provide for the continuation of major and secondary roads existing in adjoining subdivisions, replats or partitions, or for their proper projection when adjoining property is not subdivided, replatted or partitioned, and such streets shall meet the minimum requirements for roads set forth in LC Chapter 15. Where the Approving Authority determines that topographic conditions make such continuation or conformance impractical, exceptions may be made as provided in LC 15.900.

Identify any dead end roads that abut the subject property. Will any of these be extended through the property?

SEE ATTACHED ADDITIONAL INFORMATION  
\_\_\_\_\_  
\_\_\_\_\_

**(4) Redevelopment Plan.**

- (a) In subdividing or partitioning tracts of land into large lots which at some future time could be further divided, the Director may require that parcels, lots or blocks shall be of such size and shape, be so designed and meet such building site restrictions as will provide for extension and opening of streets at intervals which will permit a subsequent division of any parcel or lot into smaller sizes which shall have the minimum lot frontage on a street.
- (b) Any person dividing tracts of land into large parcels or lots which at some future time could be further divided and still meet the minimum area requirement of the zone in which the land is located, shall provide suitable road access to each created parcel or lot so that the future development of each parcel or lot shall provide access for redevelopment parcels or lots.
- (c) The County may require that special development recommendations and/or restrictions on the location of buildings be made a matter of public record when it is deemed necessary to ensure that redivision may take place in conformity with the purpose of this chapter. If the restrictions are considered permanent, they may be recorded by separate document.
- (d) Redevelopment plans may be required to show compliance to LC 13.050(4)(a), (b) & (c) above prior to preliminary approval.

If the subdivision is approved, could any of the newly created Lots be further divided under the current zoning designations?      Yes       No

If yes, identify the Lot(s) and submit a design for the potential redevelopment.

**(5) Access.**

- (a) Lots or parcels shall have verifiable access by way of a road, either County, local access - public or an easement. Verifiable access shall meet the following criteria:

- i. Each parcel abuts the road for a distance of at least 30 feet.

Does each Lot abut a road for at least 30 feet?     Yes     No.

If not, identify which Lot(s). 20, 21, 23-25

- ii. There is a legal right appurtenant to the lots or parcels to use the road for ingress and egress. A legal right to use an easement may be evidenced by one or more of the items listed.

Check all that apply and submit a copy with this application.

- 1) an express grant or reservation of an easement in a document recorded with the County Recorder,
- 2) a decree or judgment issued by a court of competent jurisdiction,
- 3) an order of the Board establishing a statutory way of necessity or gateway road, or
- 4) an express easement set forth in an approved and recorded subdivision or partition.

iii. The road provides actual physical access to the lots or parcels. Identify the proposed and existing access to each parcel to be created. For each road provide the following information:

- Road status (e.g. public, private, easement, County, State). Available from the County Surveyor's Office.
- Width of the right-of-way. Available from the County Surveyor's Office.
- Width of the planned right-of-way (public roads only). Available from the Planner on Duty.

All this information must be shown on the preliminary plan. If the site is accessed by a private easement, provide a copy of the recorded easement and describe the grade and improved surface.

(b) County Roads, Local Access-Public Roads, and Private Access Easements used as access to lots or parcels shall be designed and developed according to the requirements of LC Chapter 15.

Which of the following types of roads will provide access to the Lots (indicate all that apply):

County-maintained road. Name: \_\_\_\_\_

Local access road. Name: OCEANA DR & GULLSETTLE CT

Private easement. Provide a copy of the easement.

(c) For the portion of a panhandle tract used as access to the main portion of the tract, the County may require such road improvements and design as are necessary to provide safe and adequate access to the main portion of the tract.

Are any panhandles proposed?  No  Yes. Which Lot(s). 6, 20, 21, 23-25, 56

(6) Control Strip. The County may require that a strip of land contiguous to a road be dedicated or deeded to the public for the purpose of controlling access to or the use of a lot or parcel for any of the following reasons.

(a) To prevent access to abutting land at the end of a road in order to assure the proper extension of the road pattern and the orderly division of land lying beyond the road.

(b) To prevent access to the side of a road where additional width or improvement is required or future partition or subdivision action is needed.

(c) To prevent access to the side of a road from abutting property that is not part of the division until proportional road construction costs are conveyed to the appropriate developer. The proportional road construction costs must be computed by a licensed engineer and approved by the Department of Public Works. The agreement must be recorded and will not be valid after a period of 10 years.

(d) To prevent access to land unsuitable for development.

(e) To prevent or limit access to roads classified as arterials and collectors.

Identify whether any of the above conditions exist. NONE PROPOSED

(7) Utility and Watercourse Easements.

- (a) **Utility Easements.** The dedication of easements for the placement of overhead or underground utilities, including, but not limited to, electric power, communication facilities, sewer lines, water lines and gas lines shall be required where necessary. Such easements shall be clearly labeled for their intended purpose on all plats and may be located along or centered on parcel or lot lines or elsewhere as determined necessary by the County to provide needed facilities for the present or future development of the area.

Identify the location of proposed utilities lines to be provided for each proposed Lot.

SEE PRELIMINARY SUBDIVISION PLAN. ALL UNDERGROUND UTILITIES WILL BE LOCATED IN STREET RIGHT OF WAY AND PUBLIC UTILITY EASEMENTS (PUE)

- (b) **Watercourses.** When a partition or subdivision is traversed by a watercourse, such as a drainage way, channel or stream, there shall be provided a storm water or drainage easement conforming substantially with the lines of the watercourse, and of such design and development as may be deemed necessary to accommodate reasonable anticipated future development within the drainage area.

Identify any watercourses or stormwater drainages on the subject property.

NOT APPLICABLE NO WATERCOURSES OR DRAINAGES TRAVERSE THE PROPERTY. SEE RESPONSE TO ITEM 10 BELOW.

- (8) **Pedestrian and Bicycle Ways.** When necessary for public convenience, safety, or as may be designated on an adopted master bike plan, the County may require that pedestrian or bicycle ways be improved and dedicated to the public. Such pedestrian and bicycle ways may be in addition to any standard sidewalk requirements of LC Chapter 15, Roads. Pedestrian and bicycle ways shall be not less than six feet in width and be paved with asphaltic concrete or portland cement concrete.

Are you proposing any public pedestrian or bicycle paths?

Yes  No

- (9) **Dangerous Areas.** Any area determined by the Director to be dangerous for road or building development by reasons of geological conditions, unstable sub-surface conditions, groundwater or seepage conditions, floodplain, inundation or erosion or any other dangerous condition shall not be divided or used for development except under special consideration and restriction. Special consideration and restriction shall consist of a detailed report by a professional engineer stating the nature and extent of the hazard and recommending means of protecting life and property from the potential hazard and/or the County shall impose limitations designed to minimize the known danger on development commensurate with the degree of hazard. Areas of erosion or potential erosion shall be protected from loss of soil and vegetative cover by appropriate means which are compatible with the environmental character, such as restricting grading or building or constructing erosion control devices. Areas of flood plain, water areas and wetlands shall be retained in their natural state to the extent practicable to preserve water quality and protect water retention, overflow and natural functions. Structures will be required to maintain a flood elevation consistent with LC 11.500 (Flood Hazard Area) and LC 16.244. Areas of unstable surface or subsurface conditions shall be protected from movement by appropriate means which are compatible with environmental character, such as restricting grading or building or constructing suitable structures. Areas which are located within a designated floodway, unless a permit pursuant to LC 11.525 and LC 16.244 has been granted, shall be restricted from any building development or the installation of any permanent structure. The County may require that special development recommendations and/or restrictions as to location of building or other development be made

a matter of public record when it is deemed necessary to ensure proper disposition of the dangerous area. If the restrictions are considered permanent, they shall be shown on the plat, and if temporary in nature, shall be recorded by separate document by the partitioner or subdivider prior to the recording of the plat.

Describe all hazardous areas on the property, such as: area subject to unstable sub-surface conditions, groundwater or seepage conditions, floodplain, inundation or erosion.

SEE ATTACHED ADDITIONAL INFORMATION  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

- (10) **Grading, Excavation and Clearing.** Grading and clearing of any portion of a division by mechanical equipment for road and/or development purposes may be restricted or regulated either at the time of tentative plan approval or final approval if there is a finding that such grading or clearing presents a real threat of pollution, contamination, silting of water bodies or water supplies, erosion and slide damage, or alteration of natural drainage patterns in the area. In all cases, excessive grading, excavation and clearing shall be avoided when detrimental to soil stability and erosion control. The character of soils for fills and the characteristics of parcels or lots made usable by means of fill shall be suitable for the intended purpose. Grading, clearing and excavation shall comply with the applicable property development standards and site development requirements of LC Chapters 10 and 16.

Identify the natural drainage pattern of the property. Will any grading, clearing or excavation be required to construct the road or extend the utilities? SEE ATTACHED ADDITIONAL  
INFORMATION  
\_\_\_\_\_  
\_\_\_\_\_

- (11) **Land for Public Purpose.** When a public agency has demonstrated through a capital improvement program that it has definite plans to acquire a specified portion of a proposed division for a needed public use, and there is reasonable assurance demonstrating that steps will be taken within 90 days of preliminary approval to acquire the land, then the County may require that those portions of the division be reserved for public acquisition for a period not exceeding 90 days from the date of preliminary approval.

Are you aware of any plans by a public agency to acquire any portion of the subject property?  
    Yes        X   No

(12) Sewerage Facilities. Lots and parcels for which the applicable zoning districts permit residences or for which residences are contemplated, shall be served by either an approved public or community sewerage facility or be suitable for an approved individual sewage disposal facility. Methods of sewage disposal shall be in accordance with and subject to the applicable provisions of ORS; appropriate rules, regulations and policies promulgated under authority of ORS, and all appropriate County ordinances and policies. The establishment of rural sewerage facilities must be consistent with RCP Goal 2 Policy #24 and RCP Goal 11 policies.

(a) Public or Community Sewerage Facilities.

Will the Lot be connected to a public or community sewage system?

No. If no, go to (b).

Yes. If yes, indicate which of the following apply:

- (i) Existing Facility. When lots or parcels are located within a reasonable distance of an existing satisfactorily operating and available sewerage system, and it is practical and feasible to connect with and be sewered by said system, the lots or parcels shall connect to the system. Should the existing facilities be unable to service the lots or parcels, individual sewage disposal systems may be considered as an interim measure if soil and other conditions are suitable for their use. If conditions pertaining to the ability of the public or community sewerage facility allow connection at a later date, connection will be required under the following circumstances: a public health hazard exists as de-fined by OAR Chapter 340-71-130(3), if the reason for not connecting to the public or community system were because of insufficient capacity of the public or community sewerage facility and these conditions cease to exist or if the reason for not connecting to the public or community system is based on engineering considerations such as pumping requirements and gravity sewers become available.
- (ii) New system. When a new public or community sewerage system is proposed for the division, there shall be submitted for approval a master plan for the sewage collection and disposal system to Lane County and the State Department of Environmental Quality. The master plan shall include at least the following: a conceptual plan for sewage collection, treatment and disposal facilities, including preliminary design of sewer lines, treatment units and final disposal, a conceptual plan for providing that the system be under the control of a city of other legal entity which has been formed in compliance with ORS, Chapters 450 or 451 or a preliminary economic feasibility report.
- (iii) Future Connection. If the lots or parcels are located within an area with an adopted detailed master sewage plan showing the location and depth of community sewers and proposed construction schedule which will eventually serve the lots or parcels, then the applicant shall provide detailed plans, schedule, a cost estimate prepared by a registered professional engineer and a bond to cover these estimated costs. The subject Plan and cost estimate shall have been approved by the Oregon Department of Environmental Quality and Lane County. Individual sewage facilities will be allowed on an interim basis until the system is connected to the community system as approved by the above plan and schedule.

- (b) **Individual Sewage Facilities.** When lots or parcels are to be served by individual sewage disposal systems, there shall be furnished reasonable proof that each proposed parcel or lot can accommodate an individual sewage disposal system and at least one acceptable replacement area which meets the criteria established by OAR Chapters 340-71-005 to -45. If the individual sewage disposal system and replacement area are to be located partially or wholly off of the lot or parcel for which the system and replacement area are designed to serve, then a variance must first be applied for and may be approved if in compliance with the variance section of this chapter.

Will any sewage disposal system or replacement area be located partially or wholly off the Lot it serves?  No  Yes.

If yes, which Lot(s)? \_\_\_\_\_

If yes, have you submitted a Variance application?  No  Yes

- (12) **Water Supply.** Lots and parcels shall be served by an approved public, community or individual water system. No construction or development work on proposed lots or parcels shall be started until information pertaining to water availability and quality is submitted to and approved by the Department. Water system shall be in accordance with and subject to applicable provisions of ORS, as well as all appropriate rules, regulations and policies promulgated under authority of these statutes, Lane Code and Manual. The establishment of rural water systems shall be consistent with RCP Goal 2 policy #24 and RCP Goal 11 policies.

- (a) **Public or Community Water System.** The County may require that a new community or public water system be developed to serve lots or parcels when no existing public or community water system is available or suitable for use by the lots or parcels, and individual water systems are not feasible due to the density of the lots or parcels and/or the possibility of problems concerning the long-term availability of adequate quantities of suitable water. Aquifer and quality tests as discussed in LC 13.050(13)(c) below shall be required.

Will the Lots be served by a public or community water system?  Yes  No

- (b) **Individual Water Systems.** When lots or parcels are to be served by individual water systems, sufficient evidence shall be submitted to show that each parcel or lot will have available at time of development an adequate supply of potable water which will meet minimum County standards for drinking water. Aquifer and quality tests as discussed in LC 13.050(13)(c) below may be required.

Will the Lots be served by individual wells?  Yes  No

- (c) **Aquifer and Quality Tests or Geological Evaluation.** Aquifer and quality tests or geological evaluation may be required by Lane County for any lot or parcel. These requirements may include, but need not be limited to, evaluation of existing well logs and preparation of a geological report on the area, an evaluation of the site by a professional geologist or engineering geologist or full scale aquifer tests as required. In determining the detail of analysis required, the following apply:

- i. Areas designated by Board order as having problems in the quantity or quality of available water as adopted, documented in Lane Manual and filed in the office of the Department shall meet the following requirements for all parcels less than 20 acres in size. The applicant must affirmatively demonstrate, in a manner acceptable to Lane County, that the proposed subdivision/partition is capable of sustaining the development anticipated with sufficient potable water. This demonstration must include, but need not be limited to, aquifer

tests. More specifically, the aquifer test shall show coefficient of transmissivity, permeability, storage and the specific yield.

The following information can be obtained from the Planner on Duty:

Is the site within a water quantity limited area? \_\_\_ Yes \_\_\_ No

Is the site within a water quality limited area? \_\_\_ Yes \_\_\_ No

- ii. The bacteriology/chemical tests shall show compliance with standards set by the Oregon State Health Division and Lane County. The test procedure shall utilize standard acceptable practices for aquifer tests using pumped and observation wells and records of static water level, date, clock, elapsed time (in min.), depth of water, drawdown and recovery. Analysis using the non-equilibrium method (or other methods where appropriate) must be performed by a licensed geologist or engineer. A copy of all field notes and test results shall be submitted with the report, together with summary statements which indicate whether the proposed use of the aquifer could adversely impact the neighboring wells or properties or deplete the aquifer and the general impact of the proposed use.

(d) For all areas not designated as problem areas by the procedures documented in LC 13.050(13)(a) above, a pump test report or a well log report shall be supplied, unless determined by Lane County to be not necessary. Pump test and well log reports shall be prepared according to the following criteria:

- i. Pump Test. The test shall be a minimum five-hour pumping duration and record the following information: static water level, pumping level, drawdown, recovery, residual drawdown, well yield (pumping rate) and specific capacity. Measurements shall be made before pumping begins, during the pumping phase and during the recovery phase as necessary.
- ii. Well log reports shall include tax map showing the subject property and surrounding area, all well logs of record from adjacent and surrounding properties and the location of the wells on the tax lot map.

Identify all existing wells and water systems located on the subject property or serving the subject property. For existing wells, provide a copy of the well construction report on file with the Oregon Water Resources Department. Copies can be obtained at the following website: [oregon.gov/OWRD/index.shtml](http://oregon.gov/OWRD/index.shtml)

**Preliminary Subdivision Application for  
Idylewood Fourth Addition  
Additional Information**

**Application – General Information**

**PHYSICAL FEATURES:** Describe the site. Identify any steep slopes, water bodies (creeks, ponds, etc.) or other significant features. Include additional pages if necessary.

The developable easterly portion of this site is characterized by multiple well-stabilized inactive sand dune formations and dense vegetation. Topography varies across the site from an elevation of less than 82 feet MSL in the lowest areas of the site to a high of approximately 123 feet MSL (contours were interpreted from City of Florence 100-foot topographic maps). The site is bordered on the west by the Idylewood Subdivision, on the north by the Heceta South Subdivision, and on the east and south by vacant land owned by Lane County.

The geology of the site suggests that this is a classically formed transverse dune/deflation plain formation with relict incisions formed by the interplay between historic wind and water movements across the formation. These topographic incisions and the associated remnant sand between them are close together and steeply inclined where forces of erosion removed the sand placed by seasonal winds. Similar relict incisions can be observed across the Heceta South Subdivision to the north of the subject property. These relict features are neither active nor considered to be significant geologic features and are proposed to be graded and stabilized in conjunction with the development.

Much of the eastern (undevelopable) portion of the site is characterized as a frequently inundated bog/water body that in most years displays some water in the lower elevations but in some years is completely dry. Water levels within this area and across the site are driven by seasonal groundwater. No defined or channelized outlet exists to this low-lying area. Water levels rise and fall as a reflection of the groundwater table. Wetlands are present on this portion of the site as shown on the subdivision plan. High and low water levels rise and fall in conjunction with both the seasonal precipitation and cyclical weather patterns. On years, such as in 1996, when precipitation is substantially higher than average, seasonal high water tables at the intersection of Oceana Drive and Sandrift Street reached an elevation of between 85 and 86 feet MSL. The groundwater gradient across the site slopes from east to west (toward the Siuslaw River approximately one mile away) at a gradient of approximately one foot in 400 feet. Thus, the seasonal/cyclical high groundwater tables across the site vary from an estimated 89 feet MSL more or less at the eastern fringe of the proposed development to an elevation of 85 to 86 feet MSL more or less along the eastern fringe of the existing Idylewood Subdivision.

At the northwestern portion of the site, near proposed Lots 17 and 18, there is an abrupt 40 foot drop in elevation at the lee side of the dune formation. Further north, where Kelsie Way was terminated in the Heceta South Subdivision, the leeward drop is less pronounced (about 30 feet) but close enough to Kelsie Way to render this possible

transportation connection very difficult at best. Further south, this leeward drop declines to insignificance in the vicinity of proposed Lots 23, 24, and 25.

### **Approval Criteria**

- (2) **Identify the zoning districts, including overlay zones, which are applicable to the subject property. Identify the minimum area requirements of each zone or combining district.**

Tax Lots 400 and 801 are zoned Suburban Residential (RA) with Combining Districts consisting of Beaches and Dunes (BD) and Interim Urbanizing (U).

Tax Lot 401 is zoned Suburban Residential (RA) with Combining Districts consisting of Beaches and Dunes (BD), Interim Urbanizing (U), and Prime Wildlife Shorelands (PW).

The RA District has a minimum lot area per dwelling of 6,000 square feet (LC 10.135-40). The minimum lot area proposed is 6,435 square feet (Lot #54).

The BD Combining District area requirement shall be as provided in the respective District with which the BD District is combined (LC 10.270-35(8)), which is the RA District.

The U Combining District minimum lot area shall be as provided by the respective District with which the U District is combined, which is the RA District, for land served by a community water supply and community sewerage system (LC 10.122-30(1)). The development is proposed to be served by a community water system (Heceta Water District) and a community sewerage system (City of Florence).

No development is proposed within the geographical boundaries of the shorelands within the PW District.

- (3) **Identify any dead end roads that abut the subject property. Will any of these be extended through the property?**

Oceana Drive and Gullsettle Court abut the westerly side of the property. These two County roads will be extended onto the property and provide for on-site circulation of traffic.

Cloudcroft Lane abuts the southwesterly side of the property and Kelsie Way abuts the northerly side of the property. These two County roads will not extend onto the property due to topographic constraints at these two locations. A Variance application is included requesting a relief from the provision of LC 13.050(3) for these two dead-end roads.

- (9) **Describe all hazardous areas on the property, such as: area subject to unstable sub-surface conditions, groundwater or seepage conditions, floodplain, inundation or erosion.**

Portions of the property are subject to inundation due to periods of high groundwater. Periodic inundation occurs predominantly on the easterly portion of the property in which the PW District is applied. No development is proposed within the geographical boundary of the shorelands within the PW District.

During past periods of extreme high groundwater levels (1996) anecdotal evidence reports that inundation occurred to an elevation of between 85 and 86 feet MSL, at the intersection of Oceana Drive and Sandrift Street. The groundwater gradient across the site slopes from east to west (toward the Siuslaw River approximately one mile away) at a gradient of approximately one foot in 400 feet. Thus, the seasonal/cyclical high groundwater tables across the site vary from an estimated 89 feet MSL more or less at the eastern fringe of the proposed development to an elevation of 85 to 86 feet MSL more or less along the eastern fringe of the existing Idylewood Subdivision.

For this reason, streets and home building pads will be graded and constructed to elevations that are higher than expected seasonal and cyclical groundwater levels except where connection to existing infra-structure will not allow.

- (10) **Identify the natural drainage pattern of the property. Will any grading, clearing or excavation be required to construct the road or extend the utilities?**

There are no watercourses or drainages that transect or drain away from the property. Low-lying areas are seasonally inundated when groundwater levels rise, predominantly on the easterly portion of the site. Anecdotal evidence reports that inundation occurred in 1996 to an elevation of between 85 and 86 feet MSL at the intersection of Oceana Drive and Sandrift Street. The groundwater gradient across the site slopes from east to west (toward the Siuslaw River approximately one mile away) at a gradient of approximately one foot in 400 feet. Thus, the seasonal/cyclical high groundwater tables across the site vary from an estimated 89 feet MSL more or less at the eastern fringe of the proposed development to an elevation of 85 to 86 feet MSL more or less along the eastern fringe of the existing Idylewood Subdivision. This cyclical rise of water levels occurs on a frequency of approximately once in twenty years and generally in years when precipitation approaches or exceeds 100 inches.

The geology of the site suggests that the eastern fringe of the site adjacent to and west of the PW District, there is a classically formed transverse dune/deflation plain formation with relict incisions formed by the interplay between historic wind and water movements across the formation. These topographic incisions and the associated remnant sand between them are close together and steeply inclined where forces of erosion removed the sand placed by seasonal winds. Similar relict incisions can be observed across the Heceta South Subdivision to the north of the subject property. These relict features are neither active nor considered to be significant geologic features and are proposed to be graded and stabilized in conjunction with the development. Clearing of portions of the site will be required before this grading can occur.

PRELIMINARY SUBDIVISION PLAN FOR  
**IDYLEWOOD FOURTH ADDITION SUBDIVISION**  
 TOWNSHIP 18S, RANGE 12W, SECTION 10 W.M., TAX LOTS 400, 401 AND 801  
 LANE COUNTY, OREGON  
 OCTOBER 26, 2010

**SCHOOL DISTRICT:**  
 BURLAW

**PARK & RECREATION DISTRICT:**  
 LANE COUNTY

**FIRE DISTRICT:**  
 BURLAW FIRE AND RESCUE

**SOURCE OF WATER:**  
 HEKETA WATER DISTRICT

**PHONE:**  
 QWEST

**POWER:**  
 CENTRAL LINCOLN P.U.D.

**SANITARY FACILITIES:**  
 CITY OF FLORENCE. A GRAVITY-PIPE WASTEWATER SYSTEM WILL COLLECT AND CONVEY WASTEWATER TO A CENTRALIZED ON-SITE PUMP STATION. COLLECTED WASTEWATER WILL BE PUMPED TO AN EXISTING WASTEWATER FORCE MAIN LOCATED IN RHODODENDRON DRIVE VIA A NEW FORCE MAIN THAT WILL BE INSTALLED IN OCEANA DRIVE RIGHT OF WAY.

**DRAINAGE FACILITIES:**  
 ON-SITE DISPOSAL. A GRAVITY-PIPE STORM WATER SYSTEM WILL COLLECT AND CONVEY STORMWATER TO A CENTRALIZED ON-SITE SURFACE INFILTRATION FACILITY. ROOFS WILL DRAIN INTO INDIVIDUAL ON-SITE INFILTRATION SYSTEMS.

**FLOOD ZONE INFORMATION:**  
 ZONE X (FEMA FIRM #16090508 F)  
 AREAS DETERMINED TO BE OUTSIDE OF 500 YEAR FLOOD ZONE

**IMPROVEMENT REQUIREMENTS:**  
 SUBDIVISION REQUIREMENTS AS REQUIRED BY LANE COUNTY CODE

**ELEVATION DATUM:**  
 CONTOURS WERE INTERPRETED FROM CITY OF FLORENCE 100-FOOT TOPOGRAPHIC MAPS. ACTUAL CONTOURS MAY VARY.

**OWNER/APPLICANT:**  
 BENEDECK HOLDINGS LLC  
 7902 WARD LN  
 BURNSIDE, OR 97142

**CIVIL ENGINEER:**  
 BOR & ASSOCIATES, INC.  
 255 S PRAIRIE ROAD  
 BURNSIDE, OR 97142  
 (541) 988-8322

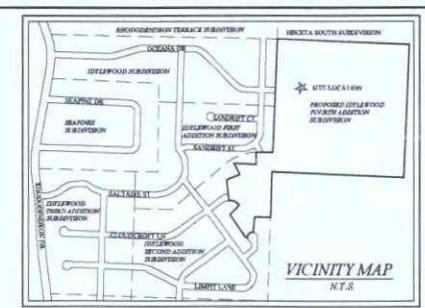
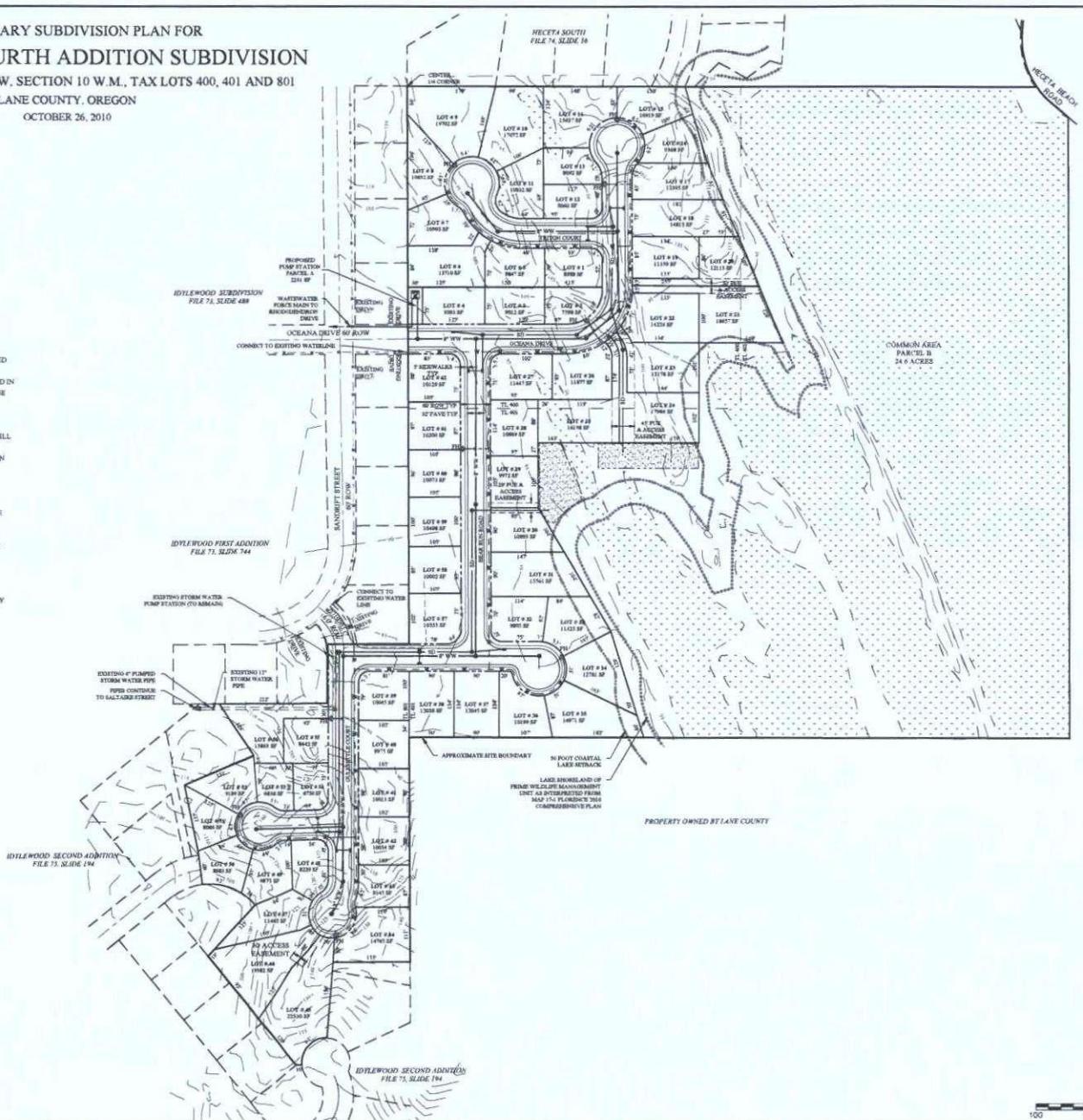
**SURVEYOR:**  
 WILBUR & ASSOCIATES, INC.  
 510 KINGWOOD ST  
 FLORENCE, OR 97439

**TAX LOT NUMBERS:**  
 MAP 18-12-10-84 TAX LOT 801  
 MAP 18-12-10-40 TAX LOTS 400 & 401

**ZONING:**  
 LOTS 400 & 801  
 RA (SUBURBAN RESIDENTIAL)  
 RD (BRANCHES AND DUNES)  
 U (INTERMEDIATE COMBINING DISTRICT)  
 LOT 401  
 RA (SUBURBAN RESIDENTIAL)  
 RD (BRANCHES AND DUNES)  
 U (INTERMEDIATE COMBINING DISTRICT)  
 PW (PRIME WILDLIFE SHORELANDS)

**AREA:**  
 46.96 ± GROSS ACRES

**NUMBER OF LOTS:**  
 63



**LEGEND**

-----	EXISTING EDGE OF COASTAL LAKE
-----	30' COASTAL LAKE SETBACK
-----	PROPOSED EDGE OF PAVEMENT
-----	PROPOSED BACK OF SIDEWALK
-----	PROPOSED RIGHT OF WAY
-----	PROPOSED CENTERLINE
-----	EXISTING CENTERLINE
-----	PROPOSED PARCEL LINES
-----	EXISTING ADJACENT TAX LOTS
-----	PROPOSED WASTEWATER LINES
-----	PROPOSED STORMWATER LINES
-----	PROPOSED WATER LINES
-----	PROPOSED WASTEWATER MANHOLE
-----	PROPOSED STORMWATER MANHOLE
-----	PROPOSED STORMWATER CATCHBASIN
-----	PROPOSED FIRE HYDRANT
-----	PROPOSED WASTEWATER PUMP STATION
-----	WETLAND (PER DSL W04 07-07)
-----	PROPOSED STORM WATER INFILTRATION AREA



**DRAFT 9/7/2010**

**DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS  
OF  
IDYLEWOOD SUBDIVISION**

Benedick Holdings, LLC are owners of certain real property known as Idylewood Subdivision, a subdivision located in Township 18S, range 12W, section 10W.M. tax lots 400,401 & 801, Lance County, Oregon

Declarant desires to provide for the preservation of certain values and amenities in the subdivision and to that end desires to impose, in the form of perpetual covenants running with the land, a general scheme of covenants, conditions and restrictions upon the ownership, use and occupation of all lots therein, intended to confer reciprocal benefits and servitudes upon all successive owners of the lots deriving title or contractint to derive title through declarant.

Now, therefore, declarant hereby declares that all lots in the subdivision shall be held, transferred, sold conveyed, used and occupied subject to the following covenants, conditions and restrictions:

1. DEFINITIONS. The following words when used in this declaration shall have the flowing meanings:
  - 1.1 "Building" means any structure that is framed, erected, structured or placed to stand permanently on a lot and shall include both the main portion of any such structure and all projections or extensions there from, canopies and porches, screens and fences.
  - 1.2 "Improvements" means buildings appurtenances thereto, walls, screens, fences, and structures of any type or kind, driveways, parking areas and any alterations of such improvements.
  - 1.3 "living Unit" means that portion of the building situated on a lot designed and intended for use and occupancy as a residence of a single family
  - 1.4 "Lot Owner" means a person or persons, including declarant, owning a lot in the subdivision and includes a person or persons purchasing a lot on contract or other form of installment purchase
  - 1.5 "Natural Vegetation" means trees, shrubs, bushes and other herbaceous plants now or hereafter naturally existing on the lots in the subdivision.

2. BUILDING CODES AND REGULATIONS. Subject to any additional requirements in this declaration, all improvements shall conform to the requirements of all governing codes, regulations, ordinances and shall be duly approved by the governing agency prior to commencement of construction. In all other respects, lot owners shall comply with applicable laws, ordinances, codes and regulations in the use and occupancy of the lots, provided that in the event any terms of declaration are more restrictive than applicable codes and regulations the terms of this declaration shall control

3. DESIGN REVIEW COMMITTEE.

3.1 Formation and Duration. Declarant shall appoint a design review committee of three (3) members. The action of and (2) members of the committee shall be deemed the action of the committee as a whole. Members of the committee may be removed and vacancies filled by declarant at any time. At the discretion of the declarant, the design review committee may be terminated at any time after the expiration of five (5) years from the date of this declaration. In the event the committee is terminated, only those provisions of this declaration dealing with the design review committee shall lose their force and effect. A termination of the committee shall not affect the other restrictions contained in this declaration.

3.2 Approval. No improvement(s) shall be placed, constructed or erected on any lot in the subdivision until the plans and specifications with plot plans showing location of the improvement(s) on the lot have been submitted to and approved by the design review committee. No alteration affecting the exterior of any building or other improvement shall be made without submission to and approval by the design review committee. All plans and specifications, including plot plan shall be examined for conformity within the provisions of this declaration. The design review committee may grant reasonable exceptions to the restrictions contained in this declaration if the committee reasonably determines that such exceptions would nevertheless, be harmonious with existing improvements in the area and general scheme for development contemplated by the restrictions contained in this declaration. Approval of plans and specification may be withheld for any of the following reasons.

(A) Failure to comply with the provisions of this declaration.

(B) Failure to provide complete plans and specifications, together with plot plan and such other information as may be reasonably required or requested by the committee.

(C) Reasonable objection to the design and appearance of the proposed improvement(s).

- 3.3 Failure to Act. In the event the design review committee fails to approve, disapprove or request additional information within thirty (30) days after plans and specifications, and plot plan, have been submitted to it, the plans and specifications submitted for approval shall be deemed to have been approved. However, approval by non-action of the committee shall not constitute approval of any matter which would otherwise be in violation of the restrictions contained in this declaration
  - 3.4 Liability. Neither the design review committee nor any member thereof shall be liable to any person for any damage, loss or prejudice suffered or claimed on account of any action or failure to act of the committee or member thereof.
  - 3.5 Non-Waiver. Approval of the design review committee of any matter proposed to it, including exceptions to the restrictions contained in this declaration, shall not be deemed to constitute a precedent or a waiver impairing its right to withhold approval as to any similar matter thereafter proposed or submitted to it for approval.
  - 3.6 Assessments. The design review committee shall have the authority to impose assessments against all lots as it deems necessary, any assessments unpaid after sixty days shall become liens against the subject property, and the committee may elect to file and foreclose such liens and/or to commence an action against the lot owner to recover the amounts due. All assessments shall bear interest at twelve percent (12%) per annum after the sixtieth day. In any litigation to enforce such assessments, the committee may also recover its reasonable attorney fees, including fees on appeal and in any bankruptcy proceeding in which the lot owner is a debtor.
  - 3.7 Property Taxes. In the event any portion of the property subject to assessment herein is foreclosed for non-payment of real property taxes, enforcement or accrual of the assessment during the period of public ownership shall be suspended. The assessments shall in no event become legal obligations of Lane County.
4. MAINTENANCE OF NATURAL CONDITION. The natural state and condition of the lots shall remain undisturbed, except for clearing necessitated for construction of improvements, provided a "greenbelt" of natural vegetation shall remain around the perimeter of each lot to a minimum depth of twenty (20) feet on all street frontages and in all others cases a minimum depth of six (6) feet and, provided further, natural vegetation may be trimmed and deadwood and snags removed. Also, clearing is permitted for driveways

up to twenty-five (25) feet in width and firebreaks up to fifteen (15) feet in depth around living units and outbuildings.

5. BUILDING RESTRICTIONS.

- 5.1 Residential Use. No lot shall be improved except with a living unit designed to accommodate no more than a single family and structures normally accessory to any such residence, excluding all commercial uses, excepting the right of any home builder and the right of dclarant to use any single family residence as a sales office or model home for purposes of sales within the subdivision
- 5.2 Mobil Homes Prohibited. No mobile home shall be placed or maintained on any lot in the subdivision at any time.
- 5.3 Temporary Structures. Temporary structures, including but not limited to tents, travel trailers or motor homes shall not be permitted as living quarters at any time, including during the construction of improvements
- 5.4 On-Site Construction or Assembly. All improvements shall be constructed (or assembled, in the case of pre-cut units) on the site. Construction of modular units is permitted, provided such units satisfy all other requirements and restrictions, in this declaration and, provided further, such units are set on continuous concrete or masonry foundations, have no steel frame attached to the structure and have the same general appearance and quality of site-built improvements.
- 5.5 Quality Construction. All improvements shall be constructed with quality material and workmanship.
- 5.6 Height Restriction. No building shall exceed two stories in height.
- 5.7 Roofs. Living units shall have a minimum 4 in 12 roof pitch and a roof overhang of 12 inches or more. Roofing of cedar shakes, cedar shingles, tile or laminated fiberglass shingles are desired. Any other roofing materials must be approved in advance by the Design Review Committee. Roof colors should compliment the environment and existing homes, which excludes bright colors such as white, red, green or blue.
- 5.8 Minimum Square Footage. All living units in the subdivision must contain a minimum of 1200 square feet of interior living area, exclusive of garage.
- 5.9 Exterior Walls. The exterior of all buildings shall be of colors that compliment the environment and existing homes, excluding colors that

are bright primaries or whites. No building shall have finished exterior walls of masonry block, stucco or tar paper siding.

- 5.10 Auxiliary Buildings. All auxiliary buildings shall have continuous concrete or masonry foundations and shall conform generally to the architectural style and color of the living unit.
- 5.11 Completion Date. All exterior work on buildings shall be completed within one year of the starting date of construction.
- 5.12 Fences. Fences shall not exceed six feet in height. Fences may be installed in the greenbelt area only with minimum vegetation removal allowing for fence construction. The goal of the declarant is to maintain the greenbelt area in its natural condition.
- 5.13 Setbacks. Subject to any additional limitations and requirements in this declaration, setback and lot coverage shall be in compliance with City of Florence code requirements applicable at the time of construction.
- 5.14 Outside Antennas. No outside antennas of any kind, including satellite dishes, are permitted.
6. ANIMALS. No animals, livestock or poultry of any kind shall be raised, bred or kept on any lot, except two (2) dogs, two (2) cats, or other household pets may be kept, provided they are not kept, bred or maintained for any commercial purpose and do not create objectionable noise or odor.
7. COMMERCIAL USES PROHIBITED. No trade, craft, business profession, commercial or similar activity of any kind shall be conducted on any lot, nor shall any goods, equipment, vehicles, materials or supplies used in connection with any trade, service or business be kept or stored on any lot, excepting the right of any lot owner to construct improvements on a lot and, in connection therewith, to store construction materials and equipment on the lot in the normal course of such construction.
8. TRASH AND RUBBISH. No part of any lot shall be used or maintained as a dumping ground for rubbish, trash, garbage or any other waste. No garbage, trash or other waste shall be kept or maintained on any part of any lot except in appropriate sanitary containers for proper disposal and out of public view. All incinerators or other equipment for storage or disposal of such materials shall be in a clean and sanitary condition at all times. Storage of any kind of goods, chattels, merchandise, material, fuel, supplies or machinery shall be

within walls of a building or enclosed by fences that completely screen such items from sight.

9. Vehicles. Unlicensed and/or unused vehicles must be kept out of view of the street. Disassembly or repair of motor vehicles, except in the case of emergency, is prohibited.
10. OUTSIDE DRYING. Clothing, linen and other similar materials hung outside to air or dry must be in the rear of the living unit, out of view from the street.
11. FIREARMS. The discharge of firearms in the subdivision for any purpose is prohibited.
12. SIGNS. No signs or advertising devices shall be erected on any lot or on any improvement, except one sign not larger than 18 x 24 inches which advertises the property for sale or rent, provided a lot owner may install signs reasonable necessary to identify the occupant's name.
13. PANHANDLE DRIVEWAYS. Each lot owner is granted an easement for ingress and egress along all panhandle driveways to the lots that use them for access. Such easement shall run with the land. Maintenance and repair of panhandle driveways shall be the joint responsibility of the lot owners who use such driveways for access.
14. DIVISION OF LOTS. Panhandle lots shall not be divided. No other lot in the subdivision shall be divided, except that a lot may be divided to increase the size of adjoining lots.
15. ENFORCEMENT. Any lot owner shall have the right to proceed in equity to enjoin or restrain any violation threatened violation of a provision of this declaration or abate any nuisance created thereby or seek any other legal or equitable remedy. In the event of legal action to enforce any provision of this declaration, the prevailing party or parties shall be entitled to recover from the losing party or parties reasonable attorney fees incurred in the action, including fees on appeal.
16. DURATION /MODIFICATION. The covenants, conditions and restrictions set forth in this declaration shall run with the land and shall inure to the benefit of and be binding upon Declarant and all lot owners and their successors in interest for a period of twenty-five (25) years from the date this declaration is recorded in the official records of Lane County, Oregon and thereafter shall be automatically extended for successive 10 year periods

unless and until modified in whole or in part or terminated by a instrument signed by the Declarant, or after the sale of last lot in the subdivision by declarant then a majority of the then lot owners of the lots within the subdivision and recorded in the official records of Lane County, Oregon

17. SUCCESSOR IN INTEREST TO DECLARANT. The term "Declarant" as used herein shall be deemed to include the survivor of Benedick Holdings, LLC and so long as any lot remains unsold to an original purchaser shall include any nominee of Declarant, including heirs, devisees or assignees of the original Declarant or their successors in interest.

Dated this \_\_\_\_ of \_\_\_\_ 20\_\_

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Sharla A. Whitten, Mgr

PRELIMINARY SUBDIVISION PLAN FOR  
**IDYLEWOOD FOURTH ADDITION SUBDIVISION**  
 TOWNSHIP 18S, RANGE 12W, SECTION 10 W.M., TAX LOTS 400, 401 AND 801  
 LANE COUNTY, OREGON  
 OCTOBER 26, 2010

**SCHOOL DISTRICT:**  
 SUBLAW

**PARK & RECREATION DISTRICT:**  
 LANE COUNTY

**FIRE DISTRICT:**  
 SUBLAW FIRE AND RESCUE

**SOURCE OF WATER:**  
 HECETA WATER DISTRICT

**PHONE:**  
 QUEST

**TOWNSHIP:**  
 CENTRAL LINCOLN P.U.D.

**SANITARY FACILITIES:**  
 CITY OF FLORENCE A GRAVITY-PIPE WASTEWATER SYSTEM WILL COLLECT AND CONVEY WASTEWATER TO A CENTRALIZED ON-SITE PUMP STATION. COLLECTED WASTEWATER WILL BE PUMPED TO AN EXISTING WASTEWATER FORCE MAIN LOCATED IN RHODOCHENDRON DRIVE VIA A NEW FORCE MAIN THAT WILL BE INSTALLED IN OCTANA DRIVE RIGHT OF WAY.

**DRAINAGE FACILITIES:**  
 ON-SITE DISPOSAL. A GRAVITY-PIPE STORM WATER SYSTEM WILL COLLECT AND CONVEY STORMWATER TO A CENTRALIZED ON-SITE SURFACE INFILTRATION FACILITY. ROOFS WILL DRAIN INTO INDIVIDUAL ON-SITE INFILTRATION SYSTEMS.

**FLOOD ZONE INFORMATION:**  
 ZONE X (PER FEMA FIRM #160903918 F)  
 AREAS DETERMINED TO BE OUTSIDE OF 500 YEAR FLOOD ZONE

**IMPROVEMENT REQUIREMENTS:**  
 SUBDIVISION REQUIREMENTS AS REQUIRED BY LANE COUNTY CODE

**ELEVATION DATA:**  
 CONTOURS WERE INTERPRETED FROM CITY OF FLORENCE 100-FOOT TOPOGRAPHIC MAPS. ACTUAL CONTOURS MAY VARY

**OWNER/APPLICANT:**  
 BENEDEK HOLDINGS LLC  
 2762 WARD LN  
 BLOOMER, OR 97402

**CIVIL ENGINEER:**  
 EGR & ASSOCIATES, INC.  
 2535 B PRARIE ROAD  
 BLOOMER, OR 97402  
 (541) 688-8323

**SURVEYOR:**  
 WURBE & ASSOCIATES INC.  
 110 KINGWOOD ST  
 COVINGTON, OR 97439

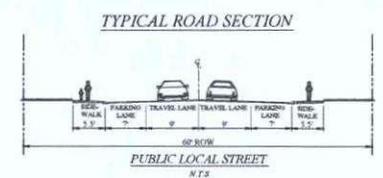
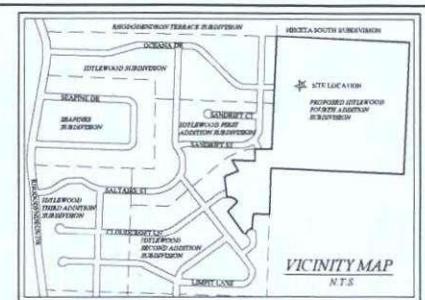
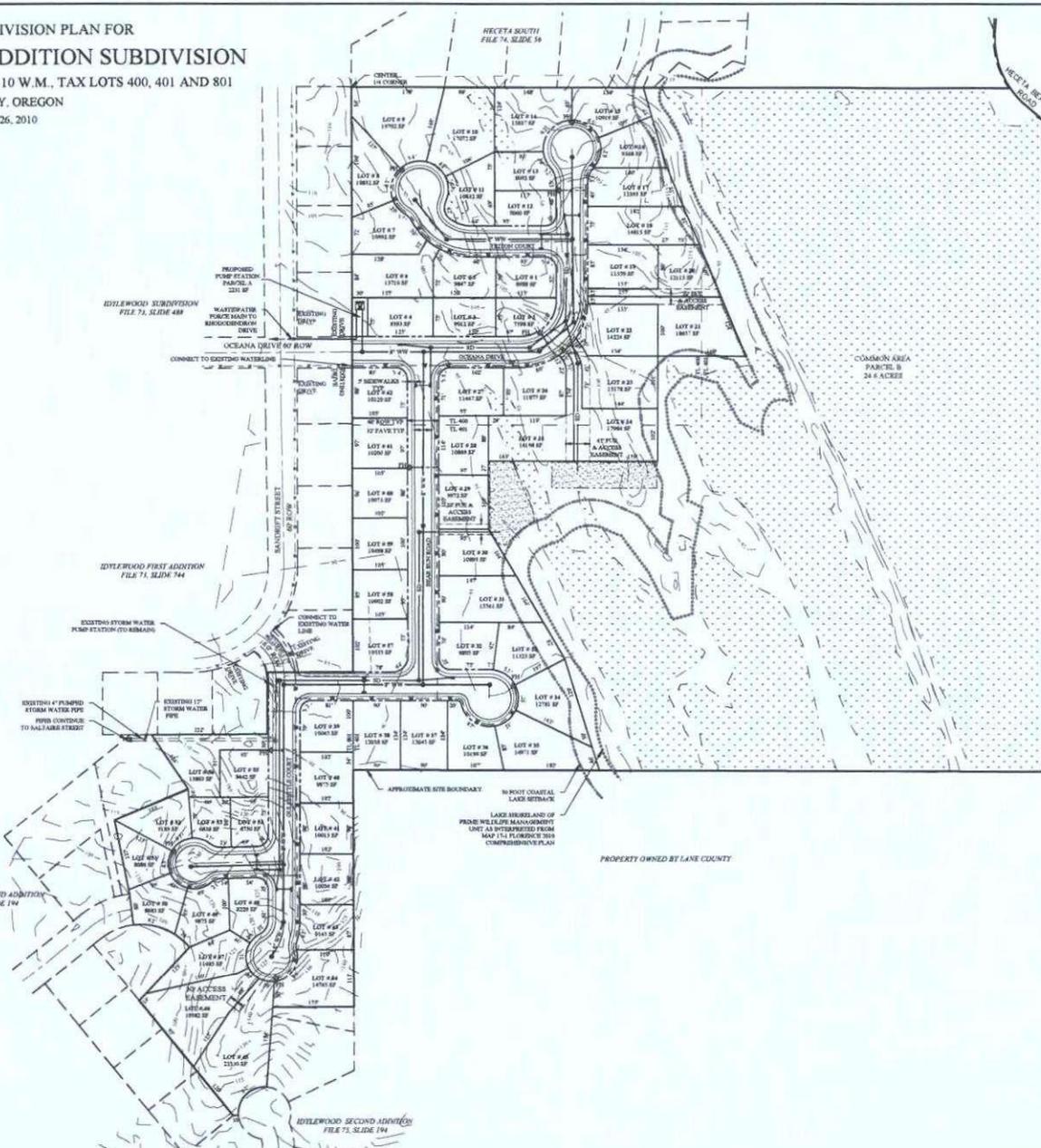
**TAX LOT NUMBER:**  
 MAP 18-12-10-34 TAX LOT 801  
 MAP 18-12-10-40 TAX LOTS 400 & 401

**ZONING:**  
 RA (SUBURBAN RESIDENTIAL)  
 RD (BEACHES AND DUNES)  
 U (INTERIM URBAN COMBINOING DISTRICT)

**LOT 401:**  
 RA (SUBURBAN RESIDENTIAL)  
 RD (BEACHES AND DUNES)  
 U (INTERIM URBAN COMBINOING DISTRICT)  
 PW (PRIME WILDLIFE SHORELANDS)

**AREA:**  
 46.98 ± GROSS ACRES

**NUMBER OF LOTS:**  
 62



**LEGEND**

-----	EXISTING EDGE OF COASTAL LAKE
-----	NO COASTAL LAKE SETBACK
-----	PROPOSED EDGE OF PAVEMENT
-----	PROPOSED BACK OF SIDEWALK
-----	PROPOSED RIGHT OF WAY
-----	PROPOSED CENTERLINE
-----	EXISTING CENTERLINE
-----	EXISTING CONTOURS
-----	PROPOSED PARCEL LINES
-----	EXISTING ADJACENT TAX LOTS
-----	PROPOSED WASTEWATER LINES
-----	PROPOSED STORMWATER LINES
-----	PROPOSED WATER LINES
●	PROPOSED WASTEWATER MANHOLE
●	PROPOSED STORMWATER MANHOLE
●	PROPOSED STORMWATER CATCHBASIN
●	PROPOSED FIRE HYDRANT
●	PROPOSED WASTEWATER PUMP STATION
-----	WETLANDS (PER DCL 20M 07-07-17)
-----	PROPOSED STORM WATER INFILTRATION AREA



**EGR & Associates, Inc.**  
 Engineers, Geologists, and Surveyors

2535B Prairie Road  
 Eugene, Oregon 97402  
 (541) 688-8322  
 Fax (541) 688-9087