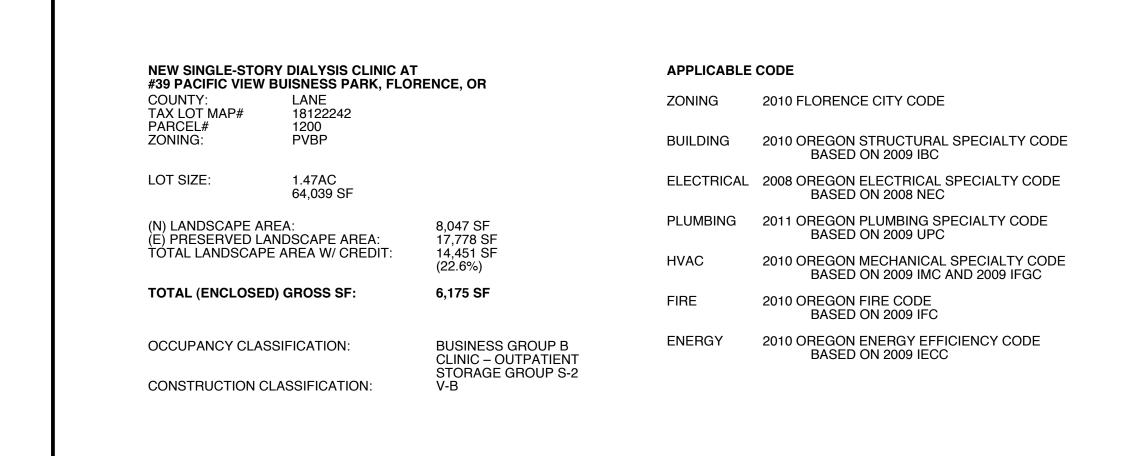


Jones, Partners: Architecture 800 McGarry St. #436, Los Angeles, CA 90021 tel. 213.327.0034 info@jonespartners.com

FLORENCE DIALYSIS CLINIC 2820 Kingwood St., Florence, OR 97439







ARCHITECTURAL

A002 A100 A101 A200 A201 A202 A300 A301	GENERAL INFORMATION SITE PLAN SITE DETAILS FLOOR PLAN ROOF PLAN BUILDING ELEVATIONS BUILDING ELEVATIONS MISC. ELEVATIONS BUILDING SECTIONS BUILDING SECTIONS REFLECTED CELING PLAN DOOR AND WINDOW SCHEDULE DETAILS DETAILS
CIVIL	
C1 C2 C3 C4 C5 C6 C7 EC1	EXISTING SITE CONDITIONS SITE GRADING PLAN SITE PAVING PLAN SITE UTILITY PLAN STORM WATER PLAN CIVIL DETAILS CIVIL DETAILS EROSION CONTROL PLAN
LANDS	SCAPE
L100 L200 L300	LANDSCAPE PLAN LANDSCAPE DETAILS LANDSCAPE SPECIFICATIONS
M/E/P	
E240	HVAC PLAN HVAC SCHEDULE AND DETAILS SITE PHOTOMETRIC PLAN ELECTRICAL SITE PLAN LIGHTING PLAN POWER PLAN SYSTEMS PLAN PLANELS, MOTOR SCHEDULE AND RISERS ELECTRICAL SYMBOLS AND DETAILS
1 100	
P200 P201	DETAILS DETAILS
STRUC	CTURAL
S000 S100 S101 S300 S500	GENERAL NOTES FOUNDATION PLAN ROOF FRAMING PLAN SECTIONS DETAILS

CODE SUMMARY

ZONING: ALLOWED USE: SEE A001 FOR ZONING SETBACKS (N) LANDSCAPE AREA: E) PRESERVED LANDSCAPE AREA: TÓTAL LANDSCAPE AREA W/ CREDIT:

SEE L100 FOR FURTHER LANDSCAPE CALCULATIONS PROPOSED LOT COVERAGE: ALLOWED LOT COVERAGE: CONSTRUCTION CLASSIFICATION: PROPOSED BUILDING AREA: ALLOWED BUILDING AREA:

STORIES / HEIGHT: FIRE SAFTEY SYSTEM:

REQUIRED PARKING SPACES: **PROVIDED PARKING SPACES:** REQUIRED ACCESSIBLE SPACES: PROVIDED ACCESSIBLE SPACES: OCCUPANCY CLASSIFICATION:

OCCUPANT LOAD

PACIFIC VIEW BUSINESS PAR OFFICE (PER FCC 10.28.2)

8,047 SF 17,778 SF 14,451 SF (22.6%)

48.4% 85% (PER FCC 10.28.4(c))

V-B 6.175 SF

9,000 SF + 27,000 SF = 36.000 PER OBC 506.1, AREA 1 / 24'

AUTOMATIC SPRINKLER SYST PER OBC 903.1 31 (PER FCC 10.3.4)

2 (Per FCC 10.3.5)

BUSINESS GROUP B CLINIC - OUTPATIENT STORAGE GROUP S-2 PER FMC REQ., SHALL BETWEEN INCIDENTA

5,000 SF OUTPATIENT AREA LOAD FACTOR = 100 S MAXIMUM OCCUPANT 1,180 SF STORAGE AREA LOAD FACTOR = 300 S MAXIMUM OCCUPANT TOTAL OCCUPANT LOAD = 54 PROJECT OWNER FLORENCE DIALYSIS, LLC

3355 RIVERBEND DR. SUITE 200 SPRINGFIELD, OR 97477 541.485.6478

PROJECT ARCHITECT JONES. PARTNERS: ARCHITECTURE 800 MCGARRY ST. SUITE 436 LOS ANGELES, CA 90021 213.327.0034

CIVIL ENGINEER OLSON & MORRIS 380 Q ST. SUITE 200 SPRINGFIELD, OR 97477 541.302.9790

PROJECT TENANT FRESENIUS MEDICAL CARE NA CORPORATE HEADQUARTERS 100 GALLERIA PKWY SUITE 500 ATLANTA, GA 30339

TENANT IMPROVEMENT ARCHITECT CLARK/KJOS ARCHITECTS 333 NW 5TH AV. PORTLAND, OR 97209 503.224.4848

GEOTECHNICAL ENGINEER K & A ENGINEERING 91051 S. WILLAMETTE ST. PO BOX 8486 COBURG, OR 97408 541.684.9399

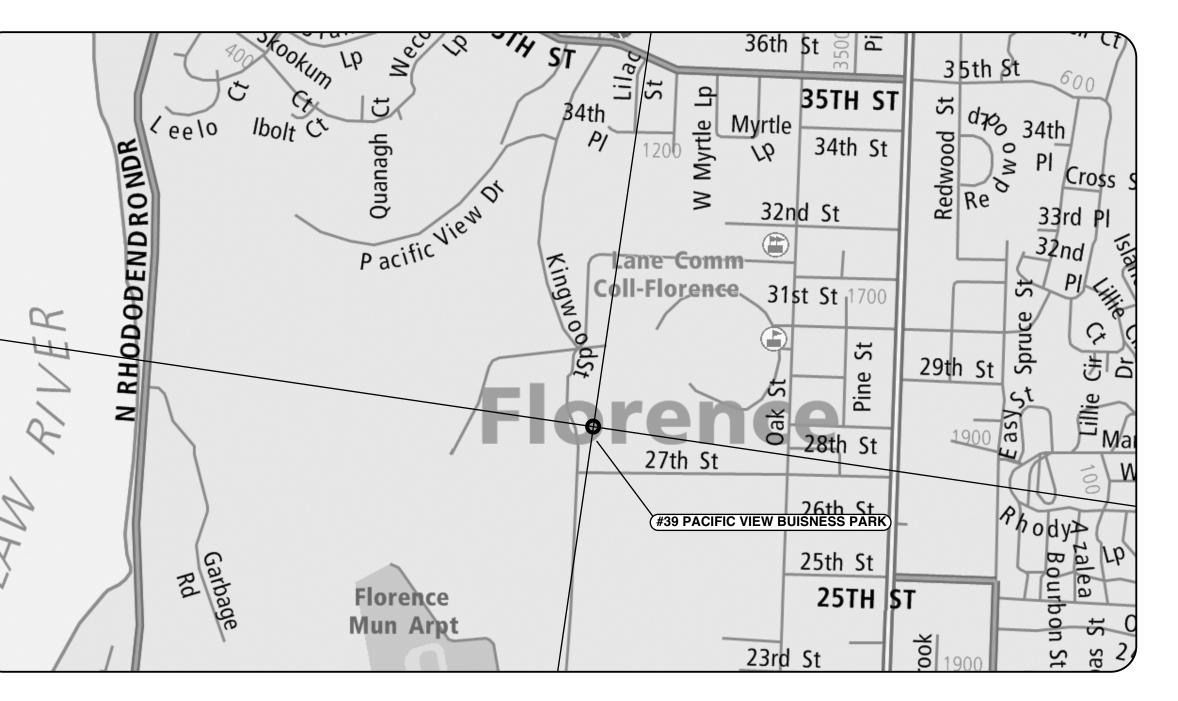
SITE JURISDICTION FLORENCE CITY HALL 250 HIGHWAY 101 N. FLORENCE, OR 97439 541.997.8237

MEP EINGINEER MFIA 2007 SE ASH ST.

PORTLAND, OR 97214 503.234.0548

STRUCTURAL ENGINEER HOHBACH-LEWIN 131 N. EL MOLINO AVE. SUITE 160 PASADENA, CA 91101 626.281.5400

PROJECT DESCRIPTION 07



LOCATION PLAN 06

	GENERAL NOTES:	
9 PARK (PVBP) 2)	DEFINITIONS: "CONTRACTOR" SHALL MEAN THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS. "TRADES" SHALL MEAN THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS, SUPPLIERS AND MANUFACTURERS. "ARCHITECT" SHALL MEAN THE ARCHITECT OF RECORD OR HIS AGENT. "OWNER" SHALL MEAN THE PROPERTY OWNER OR ITS DESIGNATED REPRESENTATIVE. "FURNISH" SHALL MEAN SUPPLY ONLY, FOR OTHERS TO INSTALL. "INSTALL" SHALL MEAN SUPPLIED BY OTHERS, FOR CONTRACTOR TO INSTALL. "PROVIDE" SHALL MEAN FURNISHED AND INSTALLED BY CONTACTOR. "SIMILAR" SHALL MEAN COMPARABLE CHARACTERISTICS FOR CONDITIONS NOTED.	AI Hi Th W Co
	"OFFSITE" SHALL MEAN OUTSIDE THE PROPERTY BOUNDARY OF THE BUILDING PARCEL. "SITE" SHALL MEAN THE ENTIRE AREA WITHIN THE BUILDING PROPERTY LINES.	AN IN AF
)	SCOPE : TRADES SHALL PROVIDE ALL LABOR, EQUIPMENT, MATERIALS AND SERVICES REQUIRED TO PERFORM ALL WORK NECESSARY, INDICATED OR REASONABLY INFERRED FROM THE CONSTRUCTION DOCUMENTS, OR REQUIRED BY ANY APPLICABLE CODE OR ENFORCEMENT AGENCY WITH JURISDICTION OVER THE PROJECT. TRADES SHALL COMPLETE THEIR SCOPE OF WORK IN ACCORDANCE WITH THE BEST ACCEPTED STANDARDS OF WORKMANSHIP USING FIRST GRADE NEW MATERIALS, UNLESS OTHERWISE NOTED.	BE IT CC CC Af
0.000 SF REA MODIFICATION FOR SPRINKLERS	INTENTION: THE INTENTION OF THESE DOCUMENTS IS TO INCLUDE ALL LABOR, MATERIALS, SERVICES, EQUIPMENT, AND TRANSPORTATION NECESSARY FOR THE COMPLETE AND PROPER EXECUTION OF THE WORK INDICATED ON THE DRAWINGS OR REASONABLY INFERRED THEREFROM, UNLESS OTHERWISE NOTED.	DI RI PI O
SYSTEM	CODES AND CONFLICTS : THE TRADES SHALL COMPLY WITH THE REQUIREMENTS OF THE BUILDING CODE AND ALL OTHER APPLICABLE FEDERAL, STATE, AND LOCAL CODES, ORDINANCES, STATUTES AND SUPPLEMENTAL REQUIREMENTS HAVING JURISDICTION. IT IS THE CONTRACTOR'S ULTIMATE RESPONSIBILITY TO CONSTRUCT THE PROJECT PER THESE REQUIREMENTS. CONFLICTS BETWEEN THE CONSTRUCTION DOCUMENTS AND THE GOVERNING CODES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT.	IN CC AL TH BC CC
HALL PROVIDE 1-HR FIRE SEPARATION ENTAL USE AREAS. EXCEEDS OBC 508.2.5	FIELD CONDITIONS: THESE CONSTRUCTION DOCUMENTS ARE BASED UPON OBSERVATION AND DOCUMENTATION OF EXISTING CONDITIONS BY THE ARCHITECT AND FROM INFORMATION PROVIDED BY THE OWNER. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AGAINST FIELD CONDITIONS. SHOULD THE CONTRACTOR ENCOUNTER FIELD CONDITIONS WHICH VARY FROM THESE CONSTRUCTION DOCUMENTS AND WHICH EFFECT THE INTENT OF THESE DRAWINGS OR THE CONTRACT/SUBCONTRACT PRICE, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY.	Tł M IN DI W DI
100 SF PER OBC 1004.1.1 PANTS = 50 A 300 SF PER OBC 1004.1.1 PANTS = 4 0 = 54	DIMENSIONS : IN THE EVENT OF A CONFLICT BETWEEN DATA SHOWN ON DRAWINGS AND DATA SHOWN ON MANUFACTURER'S SPECIFICATIONS, THE SPECIFICATIONS SHALLGOVERN. SCALE IS PROVIDED ON DRAWINGS FOR CONVENIENCE, BUT UNDER NO CIRCUMSTANCES IS CONTRACTOR TO SCALE DRAWINGS. DETAIL DRAWINGS SHALL TAKE PRECEDENCE OVER DRAWINGS OF SMALLER SCALE OR LESSER DETAIL. IN THE EVENT OFAN ERROR IN A DRAWING OR SPECIFICATION OR DISCREPANCY BETWEEN DIMENSIONS AND MEASUREMENTS AT THE SITE OR LACK OF DIMENSIONS OR OTHER UNCLEAR INFORMATION, CONTRACTOR SHALL REPORT AT ONCE TO THE ARCHITECT FOR CLARIFICATION AND SHALL NOT PROCEED WITH THE WORK AFFECTED UNTIL CLARIFICATION HAS BEEN MADE. HORIZONTAL DIMENSIONS INDICATED ARE FROM FACE OF FINISH, UNLESS OTHERWISE NOTED. VERTICAL DIMENSIONS ARE FROM FINISHED FLOOR, UNLESS OTHERWISE NOTED. CRITICAL MINIMAL DIMENSIONS ARE NOTED "CLR" FOR MINIMUM CLEARANCE.	PI EE CO DI AI CI W Ni PF CO
	CHANGES : ALL CHANGES IN DESIGN, CONSTRUCTION, FINISH AND/OR PRICE MUST BE APPROVED BY THE OWNER IN WRITING BY WRITTEN CHANGE ORDER. CHANGE ORDERS SHOULD SUFFICIENTLY DESCRIBE THE SCOPE OF WORK AND ANY ADJUSTMENT TO PRICE OR SCHEDULE REQUIRED BY THE CHANGE.	SI W W
	SUBSTITUTIONS: IF THE CONTRACTOR DESIRES TO USE ANY OTHER BRAND, MATERIAL OR MANUFACTURER OF EQUAL QUALITY, APPEARANCE, AND UTILITY TO THE PRODUCT SPECIFIED, HE SHALL MAKE A FORMAL SUBSTITUTION REQUEST TO THE ARCHITECT AND/OR OWNER. THE ARCHITECT AND/OR OWNER WILL ACCEPT AS SATISFACTORY OR REJECT THE REQUEST FOR SUBSITITUTION. UNLESS SUBSTITUTIONS ARE REQUESTED AND APPROVED AS PROVIDED HEREIN, DEVIATIONS FROM THE DRAWINGS AND	C(O) P/ Al A(W
CODE SUMMARY 02	SPECIFICATIONS WILL NOT BE PERMITTED.	

ARCHITECT'S RESPONSIBILITY: THE ARCHITECT WILL IN NO WA HOW THE WORK IS PERFORMED, OR THE SAFETY IN, ON, OR A THE METHODS OF PERFORMANCE OR THE TIMELINESS OF PE NORK

COORDINATION: CONTRACTOR SHALL VERIFY THAT NO CONFI OF ANY AND ALL MECHANICAL, ELECTRICAL, PLUMBING, AND AND THAT ALL REQUIRED CLEARANCES FOR INSTALLATION AN MPROVEMENTS ARE PROVIDED. CONTRACTOR SHALL COOR APPROPRIATE BLOCKING, BACKING, FRAMING AND REINFORC BEHIND ALL WALL-MOUNTED ITEMS AND ABOVE CEILINGS FOF TEMS, AS REQUIRED.

GUARANTEE: CONTRACTOR WILL PROVIDE A ONE-YEAR GUAR COMPLETION FOR ALL MATERIALS AND WORKMANSHIP. NO W CONSTRUCTION OR QUALITY OR DEFICIENT IN ANY REQUIREM AND SPECIFICATIONS WILL BE DEEMED ACCEPTABLE IN CONS OR ARCHITECT'S FAILURE TO DISCOVER OR TO POINT OUT DE DURING CONSTRUCTION, NOR WILL THE PRESENCE OF INSPE RELIEVE CONTRACTOR FROM RESPONSIBILITY FOR SECURING PROGRESS OF THE WORK AS REQUIRED BY THE CONTRACT D PAYMENT, WHETHER PARTIAL OR FINAL, SHALL BE CONSTRUE OF DEFECTIVE WORK OR IMPROPER MATERIALS.

INSURANCE: THE CONTRACTOR SHALL CARRY IN FORCE ALL LICENSES, FEES, BONDS, PERMITS, AND TAXES AS REQUIRED CONTRACT DOCUMENTS FOR THE DURATION OF THE PROJEC ALL SUBCONTRACTORS SHALL MAINTAIN LIABILITY INSURANC THAN \$1,000,000 TO PROTECT THEMSELVES AND HOLD THE O ARCHITECT HARMLESS FROM ANY AND ALL CLAIMS FOR DAM BODILY INJURY OR DEATH, OR PROPERTY DAMAGE, DURING CONTRACT. PRIOR TO COMMENCEMENT OF WORK, CONTRAC THE OWNER A CERTIFICATE OF INSURANCE NAMING THEM AS

DESIGN-BUILD: IT IS THE INTENT OF THESE DRAWINGS THAT T MECHANICAL AND PLUMBING SYSTEMS ARE DESIGN-BUILD IN INFORMATION IN THESE DRAWINGS PERTAINING TO THE ABOV DIAGRAMMATIC ONLY. IT IS THE CONTRACTOR'S RESPONSIBIL WORK OF THESE TRADES TO ACHIEVE THE DESIRED FINISH P DRAWINGS SHOW S.M.E.P. DEVICES AND FIXTURES ONLY TO PLACEMENT OF THESE ITEMS IS IMPORTANT TO THE OVERAL EFFECT—ADDITIONAL ITEMS AND ROUGH-IN WORK ARE IMPLI COMPLY WITH CODE REQUIREMENTS AND TO COMPLETE THE DESIGN INTENT. SEPARATE PERMITS ARE REQUIRED FOR THE WORK QUALITY: FINISHED WORK SHALL BE FIRM, WELL ANCH

ALIGNMENT, PLUMB AND LEVEL, WITHOUT WAVES, DISTORTIO CRACKS, STAINS OR DISCOLORÁTION. JOINTS SHÁLL BE CLOS WELL SCRIBED. REVEALS SHALL BE CONSISTENT AND EVENL WORK SHALL NOT HAVE EXPOSED, UNSIGHTLY ANCHORS OR NOT PRESENT HAZARDOUS, UNSAFE CORNERS. ALL WORK SI PROVISION FOR EXPANSION, CONTRACTION, AND SHRINKAGE PREVENT CRACKS, BUCKLING AND WARPING DUE TO TEMPER CONDITIONS.

SHOP AND FIELD WORK SHALL BE PERFORMED BY MECHANIC WORKERS SKILLED AND EXPERIENCED IN THE FABRICATION A WORK INVOLVED.

CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR ALL STR ORNAMENTAL STEELWORK, INCLUDING STEEL STAIRS, RAILIN PARTITIONS

ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCO ACCEPTED PRACTICES OF THE VARIOUS TRADES INVOLVED A WITH THE DRAWINGS, REVIEWED SHOP DRAWINGS AND THES

ROOM NAME		ADJ. A.F.F. ALUM. AVG. @ BD. BETW BM C.H. C.I.P. C.J. C.J. C.L. CLG.	ADJACENT ABOVE FINISHED FLOOR ALUMINUM AVERAGE AT BOARD BETWEEN BEAM CONDUCTOR HEAD CAST IN PLACE CONTROL JOINT CENTER LINE CEILING	OWNER	Florence Dialysis, LLC 3355 RiverBend Dr.	Suite 200 Springfield, OR 97477 541.485.6478		
000		CLR COL CONC	CLEAR COLUMN CONCRETE	Ó	1	៳៷៱		
	FINISH TYPE WINDOW TYPE	CONSTR. CONT DIM DN	CONSTRUCTION CONTINUOUS DIMENSION DOWN		051 S. Willamette Street OR 97408 tel. 541.684.9399		te 160	
	RE: SCHEDULE	DR DTL DRN.	DOOR DETAIL DRAIN		te Street 541.684.	002 200	Ave., Suite .5400	œ
	RE: SCHEDULE	DWG EA. ELEV. ELEC.	DRAWING EACH ELEVATION ELECTRIC		Willamette 7408 tel. 54	Suite 2 .302.9	lino Av 281.54	503.234.0548
GENERIC N	NOTE TYPICAL NOTE	EQ EQUIP. EXP	EQUAL EQUIPMENT EXPANSION		1 S. W R 974(Street, Suite 200 tel. 541.302.9790	N. El Molino / tel. 626.281.	
		EXT. (E) F.F.L. FLR.	EXTERIOR EXISTING FINISH FLOOR LEVEL FLOOR		rring 9105 Coburg, O		131 N. 101 te	SH ST. 14 tel.
(-)	COLUMN LINE	FIN F.O. F.O.S. F.O.W. GA.	FINISH FACE OF FACE OF STUD FACE OF WALL GAUGE		ginee 8486	Mor Bld, O	ich-Lewin 131 ena, CA 91101	007 SE ASH 3, OR 97214
+00'-00"	(E) SPOT ELEVATION	GALV. GR. GSM GWB HDWD.	GALVANIZED GRADE GALVANIZED SHEET METAL GYPSUM WALL BOARD HARDWOOD		K&A En PO Box	Olson & Springfi	Hohbach-L Pasadena,	MFIA 2007 Portland, Ol
+(00'-00")	(N) SPOT ELEVATION	HR HT. INS INT	HOUR HEIGHT INSULATION INTERIOR	LANTS		L L	RAL	ш
FLOOR LEVEL EL. +00'-00"	ELEVATION	JT. K.D. LT LOC	JOINT KILN DRIED LIGHT LOCATION	CONSULTANTS	SOILS	CIVIL ENGINEER	STRUCTURAL ENGINEER	MEP ENGINEER
00/A000	BUILDING ELEVATION	MAX MECH MIN N.I.C. NO.	MAXIMUM MECHANICAL MINIMUM NOT IN CONTRACT NUMBER NEW		S		ГОШ	
	INTERIOR ELEVATION	(N) O.C. OPP PL PLY	NEW ON CENTER OPPOSITE PLATE PLYWOOD					
00/A000	BUILDING SECTION	PTD RAD R.D. RE RES	PAINTED RADIUS/ RADII ROOF DRAIN REFER TO RESISTANT			SUBMISSION		
000/A000	DETAIL SECTION	RESIL REQ'D RGD RM R.O.	RESILIENT REQUIRED RIGID ROOM ROUGH OPENING	SN	TION			
	A000 ENLARGED DETAIL	RWL SECT SHT	RAINWATER LEADER SECTION SHEET	REVISIONS	DESCRIPTION SION	NOISSIMMO		
		SIM ST. STL. STRUCT. THK	SIMILAR STAINLESS STEEL STRUCTURAL THICK		DE	COM		
		THRU T.O. TYP. U.O.N. V.I.F.	THROUGH TOP OF TYPICAL UNLESS OTHERWISE NOTED VERIFY IN FIELD WITH WOOD		LUA SUBN	PLANNING COMM		
ARCHITECT		WIN WT	WINDOW WEIGHT		DATE 08/09/11	09/09/11		
ANCHITECT	URAL SYMBOLS 05	AD		4	o.	00		
WAY BE RESPONSIBLE FOR ABOUT THE JOB SITE, OR ERFORMANCE OF THE	SITE CLEAN-UP: ALL TRADES SHALL, AT A ACCUMULATION OF WASTE MATERIALS O COMPLETION OF THE WORK, THEY SHALL AND SURPLUS MATERIALS AND LEAVE TH GENERAL CONTRACTOR SHALL ARRANGE CLEANING COMPANY AT PROJECT COMPL	DR RUBBISH CAUS _ REMOVE ALL RU HE JOB IN BROOM E FOR A FINAL CL	SED BY THEIR WORK. AT THE JBBISH, TOOLS, SCAFFOLDING, I CLEAN CONDITION. THE					
FLICTS EXIST IN LOCATIONS O STRUCTURAL ELEMENTS AND MAINTENANCE OF RDINATE AND PROVIDE ICING IN PARTITIONS DR CEILING-MOUNTED	BEST MANAGEMENT PRACTICES FOR CO 1. ALL PERSONS WORKING AT THE SITE S BEST MANAGEMENT PRACTICES PAMPHL	INSTRUCTION AC	READ AND UNDERSTAND THE					
ARANTEE AFTER PROJECT WORK DEFECTIVE IN	BEING DONE. 2. STOCKPILES OF SOIL, DEMOLITION DEE COVERED WITH A WATERPROOF MATERIA OFF SITE.	BRIS, CEMENT, SA ALS OR BERMED	AND, TOP SOIL, ETC. MUST BE TO PREVENT BEING WASHED				cture	
EMENTS OF THE DRAWINGS NSEQUENCE OF OWNER'S DEFECTS OR DEFICIENCIES PECTORS ON THE SITE NG THE QUALITY AND DOCUMENTS. NO JED AS AN ACCEPTANCE	 S. FUELS, OILS, PAINTS, SOLVENTS, AND C INSIDE BERMED AREAS. SPILLS MUST NO WASTE CONCRETE MUST NOT BE WASH BASINS, OR PUBLIC RIGHT-OF-WAY. ALL D MUST BE REMOVED USING A WET-DRY VA 	T BE WASHED TO HED INTO STREE DUST AND SLURR) THE STREET. T, STORM DRAIN CATCH Y FROM CONCRETE CUTTING	BY:			ners: Architecture ^ St. #436, , CA 90021	13.327.0034 Øjonespartners.com
- NEEDED INSURANCE, D BY THE LAW OR BY THE CT. THE CONTRACTOR AND	5. TRASH AND OTHER CONSTRUCTION SC TRASH RECEPTACLE.6. ERODED SOIL FROM DISTURBED SLOPE			RED			s, Partr 1cGarry ngeles,	3.327.(jonesp
CE IN AMOUNTS NOT LESS OWNER AND THE MAGES, FOR PERSONAL THE COURSE OF THIS	FENCES, SETTING BASINS, OR GOOD ERC RESEEDING. 7. WASH WATER FROM CLEANING CONST	DSION MANAGEM	ENT PRACTICES SUCH AS	PREPA		, `	w - `	tel.21 info@
CTOR SHALL PROVIDE TO S ADDITIONAL INSURED.	BE KEPT ON-SITE WITHIN A CONTAINMENT	T AREA.			Ī	09/09/11	Į.	ON
THE ELECTRICAL, N NATURE. THE OVE SYSTEMS IS BILITY TO COORDINATE THE PRODUCT. THESE D THE EXTENT THAT THE	1. VEGETATED PRESERVATION AREAS AR MINIMUM OF 10 FEET FROM NEW STRUCT HARDSCAPE AREAS, AND REPLANTED WI CONSTRUCTION.	RE SETBACK FRO FURES, AND A MIN	NIMUM OF 5 FEET FROM NEW			DATE: 09/(Dialysis Clinic	RMATI
LL DESIGN LIED AND REQUIRED TO IE JOB ACCORDING TO THE HESE SYSTEMS.	AREAS OF PRESERVED VEGETATION WILL PROTECTION ON SITE WITH CONSTUCTIO EXISTING NOXIOUS WEEDS WITHIN THE P PRIOR TO APPROVAL OF THE INSTALLED GRADE CHANGES AROUND THE PERIMET	ON FENCING PRIO PRESERVATION A LANDSCAPING. P ER ARE ADDRES	R TO SITE DISTURBANCE. REA ARE TO BE REMOVED RESERVATION AREAS WITH SED WITH APPROPRIATE		Ţ	BY:	ORENCE DI	N
HORED, IN TRUE IONS, HOLES, MARKS, DSE FITTING, NEAT AND LY SPACED. THE FINISH R FASTENERS AND SHALL SHALL HAVE THE GE AS NECESSARY TO ERATURE AND HUMIDITY	TRANSITION OR STABILIZATION MEASURE				OR 974	CKED		RAL IN
ICS, CRAFTSMEN, AND AND INSTALLATION OF THE			-	Vinio	s clime St., Florence,	m F	- IF	ENE.
FRUCTURAL AND INGS, AND SCREENED					vod St.			GE
ORDANCE WITH THE BEST AND IN ACCORDANCE			NOR		2820 Kingwood S		U NU: 11/1	00
ESE SPECIFICATIONS.		GEN		1	2820 K	AS NC	PHOJECI P0311/ SHEET N(AO
				- 1		[[ייסן -	

SITE BOUNDARY AND TOPOGRAPHY SURVEY PREPARED BY:

OLSON & MORRIS 380 Q STREET, SUITE 200 SPRINGFIELD, OR 97477 TEL 541-302-9790 DATED: 04/27/11

SITE PLAN GENERAL NOTES:

1. OCCUPANCY: BUSINESS GROUP B / CLINIC – OUTPATIENT, STORAGE GROUP S-2, TYPE OF CONSTRUCTION: TYPE V-B, AUTOMATIC SPRINKLER SYSTEM THROUGHOUT

2. ALL PROPERTY LINES, EASEMENTS, PROPOSED AND EXISTING STRUCTURES, OVERHEAD POWER LINES, AND ABANDONED OIL WELLS, CESSPOOLS, AND SEPTIC TANKS ARE SHOWN ON PLANS.

3. GRADING PERMIT IS REQUIRED FOR ANY CUT OR FILL DEPTH OF 3'-0" OR MORE AND/ OR 200 CUBIC YARDS.

SHORING PERMIT IS REQUIRED FOR ANY VERTICAL CUTS EXCEEDING 5'-0" IN HEIGHT.

SUBMIT GRADING PLANS, SOILS REPORT AND EINGINEERED SHORING PLANS TO THE BUILDING DEPARTMENT FOR REVIEW AND APPROVAL. DUST SHALL BE CONTROLLED CONTINUOUSLY BY WATERING OR BY OTHER APPROVED MEANS. CONTRACTOR SHALL NOTIFY THE UNDERGROUND SERVICE ALERT (USA-1-800-422-4133) PRIOR TO ANY EXCAVATION.

4. AT LEAST TWO SIGNS, WEATHER PROOF, 12" X 18" MINIMUM SHALL BE POSTED ON THE CONSTRUCTION SITE SHOWING WORKING HOURS, NAME, AND EMERGENCY PHONE NUMBER OF THE CONTRACTOR.

5. ALL AREAS OF SITE THAT ARE DISTURBED BY CONSTRUCTION AND NOT NOTED AS ANOTHER SURFACED, SHALL BE LANDSCAPED PER FCC AND LANDSCAPE PLAN.

PRESERVATION AREAS OF EXISTING NATIVE VEGETATION REQUIRE SETBACKS FROM (N) CONSTRUCTION AND MEANS OF PROTECTION PRIOR TO SITE DISTURBANCE. RE: 01/L100 AND 01/A000 FOR FURTHER REMARKS.

ALL (E) TREES AND VEGETATION TO REMAIN SHALL BE PROTECTED AS SHOWN ON THE CIVIL ENGINEER DRAWINGS. NOTIFY THE ARCHITECT IMMEDIATELY IF ANY FURTHER EXISTING TREES ARE POSSIBLE TO REMAIN AFTER SITE GRADING BEGINS.

6. SITE STORM WATER TO BE MANAGED THROUGH INFILTRATION RAIN GARDENS. SEE CIVIL DRAWINGS AND STORM WATER DESIGN REPORT FOR FURTHER REMARKS.

7. GENERAL CONTRACTOR TO PROVIDE UNDERGROUND CONDUIT FOR FUTURE ELECTRICAL, TELEVISION/CABLE, DATA, AND TELEPHONE LINES. 8. GENERAL CONTRACTOR TO COORDINATE NEW DRIVE APRON AND STREET CURB WITH CITY OF FLORENCE DEPARTMENT OF PUBLIC WORKS, PER FCC AND CIVIL ENGINEER DRAWINGS.

9. GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY SITE PREPARATION TO THE SITE FOR THE COMPLETION OF THIS PROJECT. RE: 01/C1 FOR EXISTING SITE CONDITIONS. ALL SITE CONDITIONS SHALL BE VERIFIED IN FIELD BY THE GENERAL CONTRACTOR AND THE ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCIES OR CONDITIONS HINDERING THE COMPLETION OF THE PROJECT PRIOR TO THE COMMENCMENT OF CONSTRUCTION.

EX WW MH	_
8" FL IN (NW) = 89.82	
8" FL IN (SW) = 89.97	
8" FL IN (NE) = 89.92	
8" FL OUT (ŚE) = 89.67	
RIM ELEV. = 99.52	

ROOFLINE

CONCRETE APRON TO BE FLUSH WITH CONCRETE SIDEWALK AT ENTRY

BOUNDRY OF PRESERVATION AREA, TYP.

TL 1100

KINGNO

3

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FOR CURB DET RE: CIVIL DRAV	
(N) SIDEWALK TO MATCH (E)	
(N) CURBCUT TO MATCH (E)	

ACCESS ASILE AND LOADING AREA

(4) BICYCLE PARKING SPACES PER FCC 10-3-10 (N) LANDACAPE AREA RE: 01/L100

. 900 1

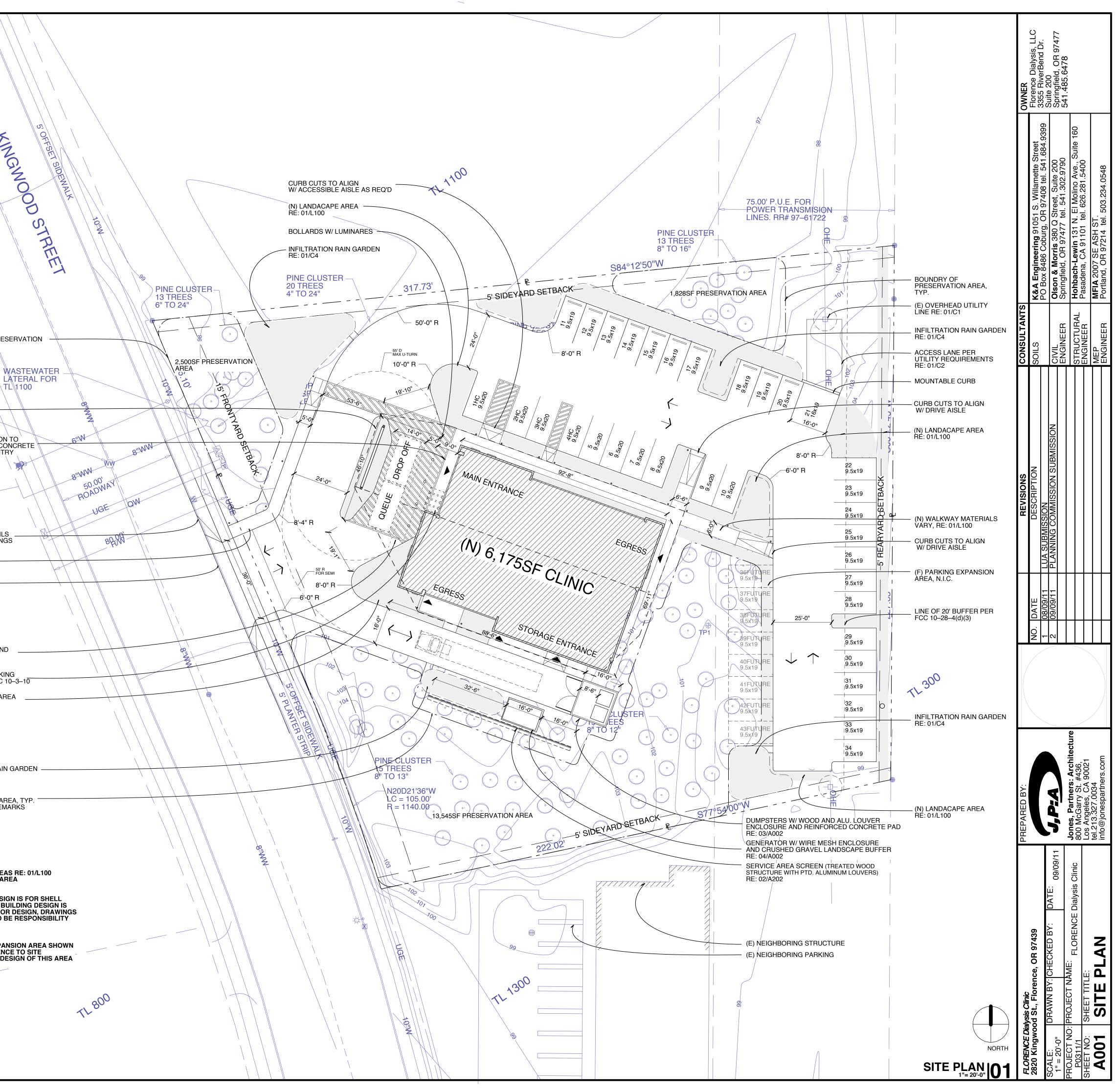
INFILTRATION RAIN GARDEN RE: 01/C4

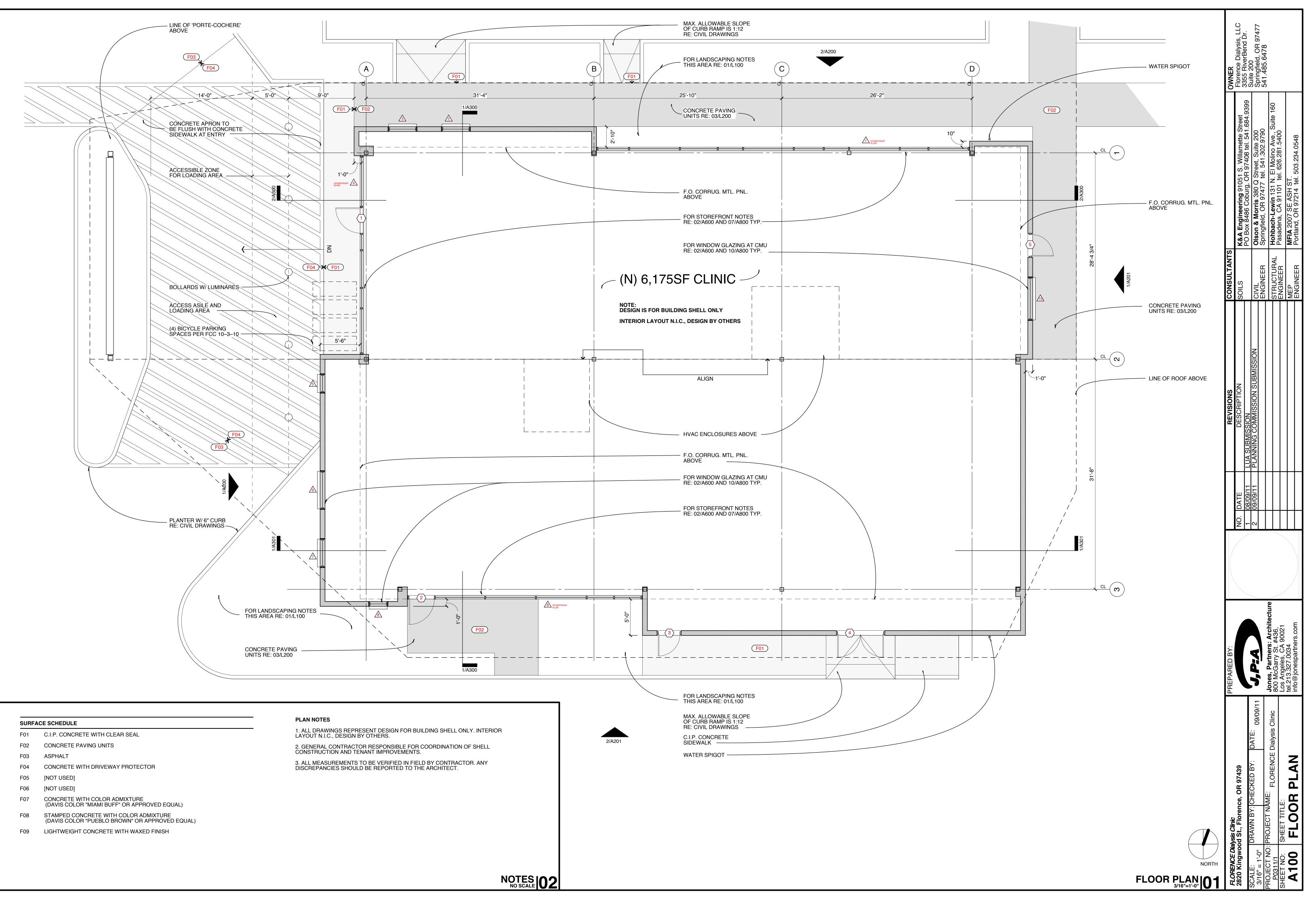
BOUNDRY OF PRESERVATION AREA, TYP. SEE L100 FOR REMARKS

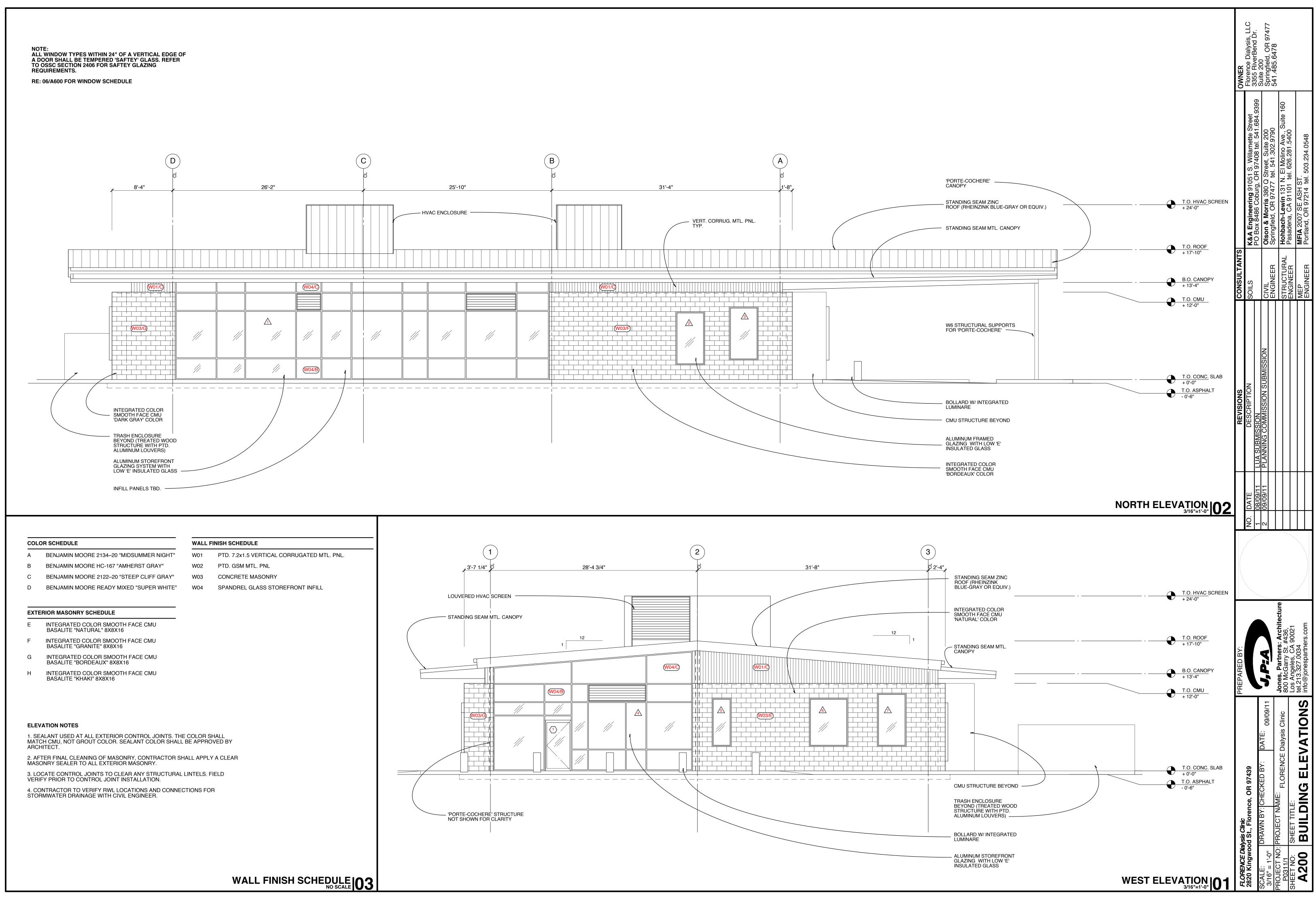
NOTE: ALL SHADED AREAS RE: 01/L100 (N) LANDSCAPE AREA

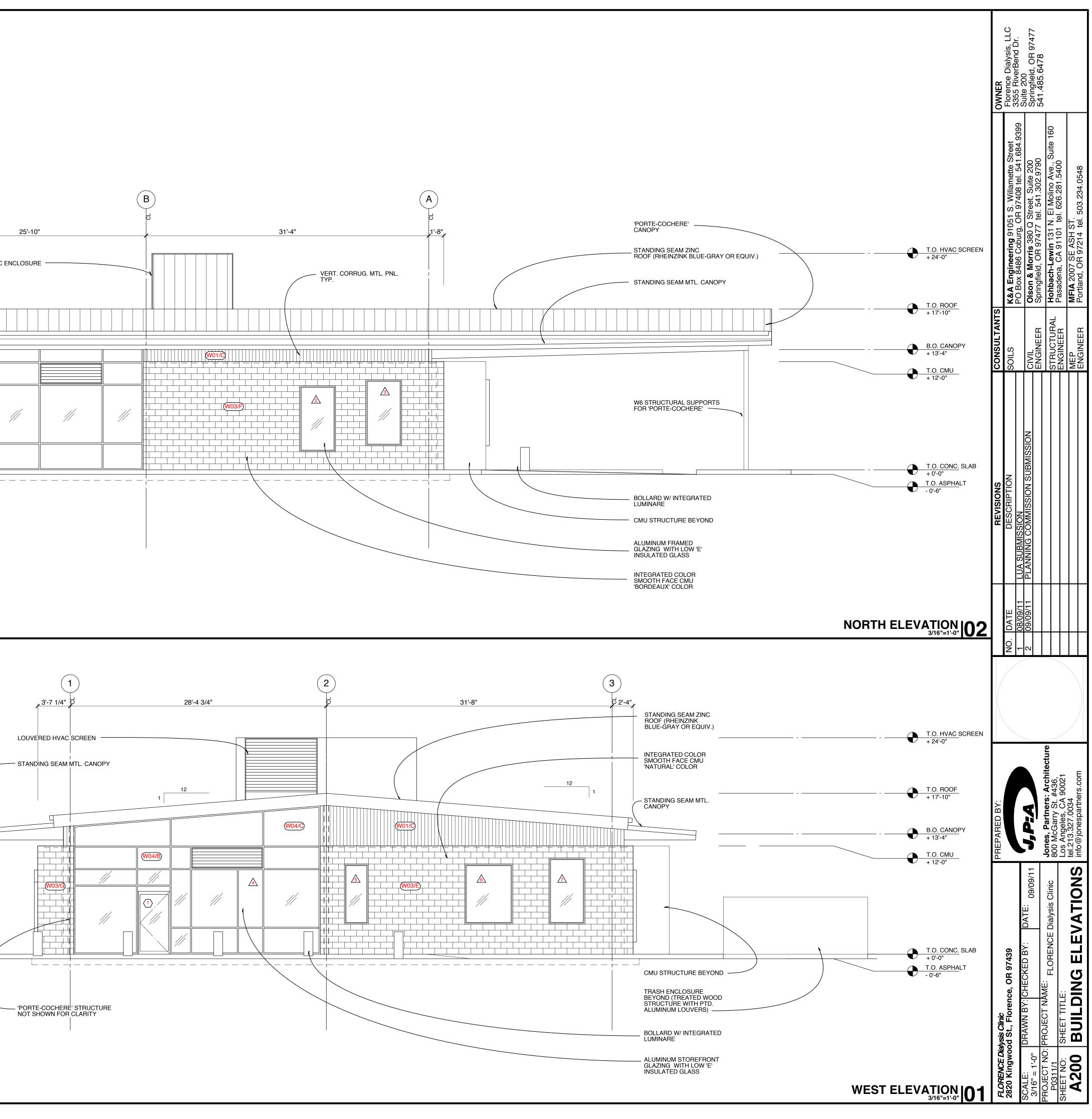
NOTE: (N) BUILDING DESIGN IS FOR SHELL ONLY. INTERIOR BUILDING DESIGN IS N.I.C. ALL INTERIOR DESIGN, DRAWINGS AND PERMITS TO BE RESPONSIBILITY OF OTHERS OF OTHERS.

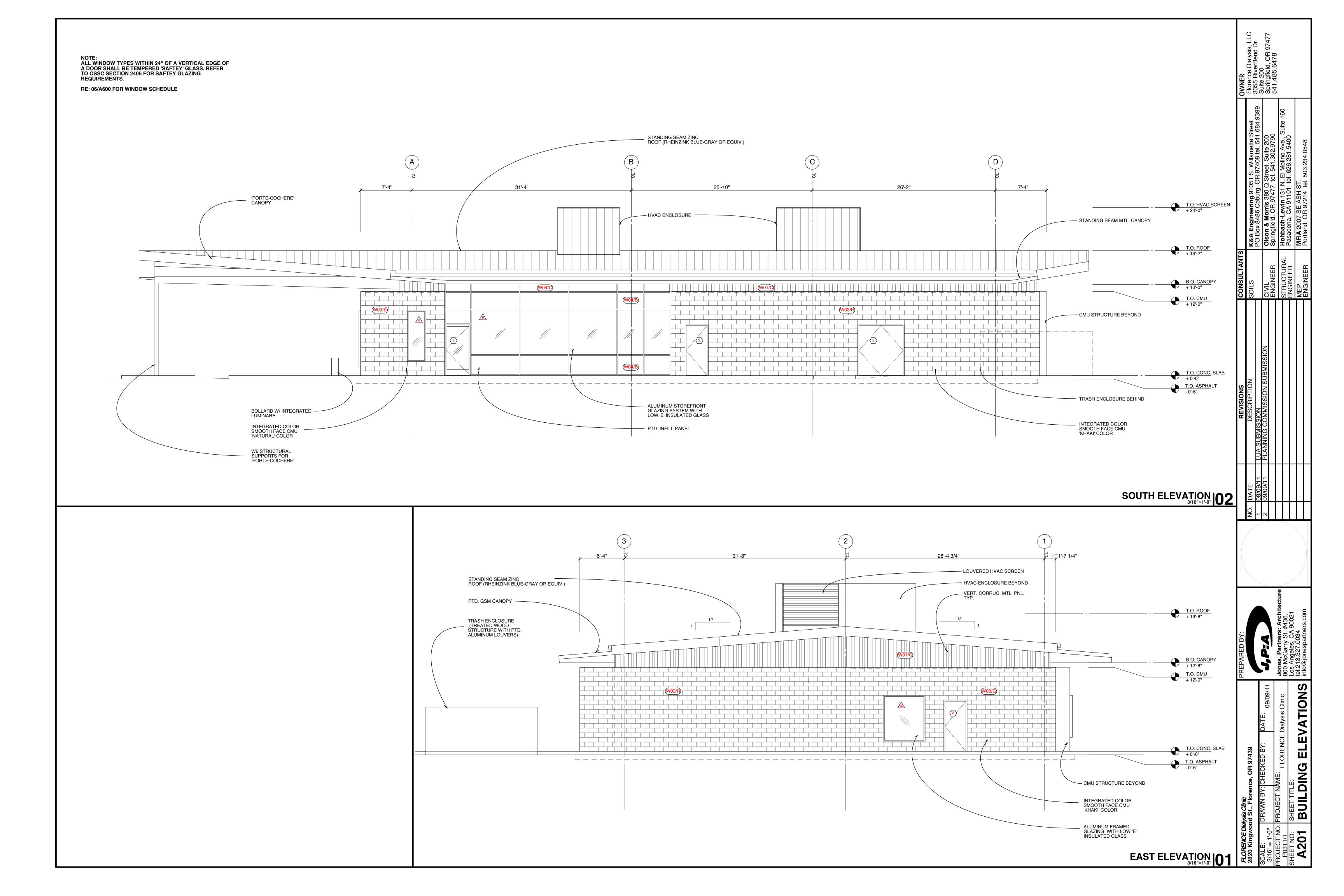
NOTE: (F) PARKING EXPANSION AREA SHOWN ONLY IN REFERENCE TO SITE ORGANIZATION. DESIGN OF THIS AREA N.I.C.











LANDSCAPE PLAN GENERAL NOTES:

1. VEGETATED PRESERVATION AREAS ARE SETBACK FROM NEW CONSTRUCTION A MINIMUM OF 10 FEET FROM NEW STRUCTURES, AND A MINIMUM OF 5 FEET FROM NEW HARDSCAPE AREAS, AND REPLANTED WITH NATIVE VEGETATION IF DAMAGED DURING CONSTRUCTION.

AREAS OF PRESERVED VEGETATION WILL BE CLEARLY MARKED AND IDENTIFIED FOR PROTECTION ON SITE WITH CONSTUCTION FENCING PRIOR TO SITE DISTURBANCE. EXISTING NOXIOUS WEEDS WITHIN THE PRESERVATION AREA ARE TO BE REMOVED PRIOR TO APPROVAL OF THE INSTALLED LANDSCAPING. PRESERVATION AREAS WITH GRADE CHANGES AROUND THE PERIMETER ARE ADDRESSED WITH APPROPRIATE TRANSITION OR STABILIZATION MEASURES TO AVOID EROSION.

2 .GROUND COVER PLANTS TO MEET FOLLOWING MINIMUM PLANTING STANDARDS: PLANTS FROM 4 INCH POTS SHALL BE SPACED A MAXIMUM OF 18 INCHES ON CENTER; AND 1-2 GALLON SIZE PLANTS SHALL BE SPACED A MINIMUM OF 3 FEET ON CENTER. REFER TO PLANTING SCHEDULE 03/L100.

3. TEMPORARY DRIP IRRIGATION TO BE PROVIDED UNTIL NEW LANDSCAPE AREAS ARE ESTABLISHED.

4. IF SALVAGEABLE, EXISTING TOP SOIL SHOULD BE REUSED FOR BACKFILL AND GRADING AS NEEDED.

5. POCKET-PLANTING WITH A SOIL-COMPOST BLEND AROUND PLANTS AND TREES SHALL BE USED TO ENSURE HEALTHY GROWTH. IF SUITABLE, NEW PLANTING HOLES SHOULD USE MIX OF EXISTING TOP SOIL WITH GARDEN COMPOST AT A RATE OF 3 TO 1. POCKET-PLANTING IS USED IN CONJUNCTION WITH SANDY SOILS BY REMOVING EXISTING SAND APPROXIMATELY TWICE THE WIDTH AND THE SAME DEPTH OF THE POT, AND REPLACING IT WITH A NEW SOIL-COMPOST BLEND.

6. ALL AREAS NOTED AS INFILTRATION BASINS SHALL REFER TO CIVIL DRAWINGS FOR FURTHER REMARKS. DESIGN AND CONSTRUCTION OF ALL STORM WATER MITIGATION SYSTEMS SHALL FOLLOW FCC 9-5 AND THE CITY OF FLORENCE STORMWATER DESIGN MANUAL. SEE FSDM 5.5 FOR 'RAIN GARDEN' DESIGN GUIDELINES.

PER FSDM APPENDIX B, GROWING MEDIUM FOR ALL INFILTRATION BASINS SHALL BE A UNIFORM MIXTURE OF 1 PART NATIVE SAND, 1 PART LOAM, AND 1 PART COMPOST.

SEE FSDM 5.5.3 FOR 'RAIN GARDEN' FACILITY INSPECTION REQUIREMENTS

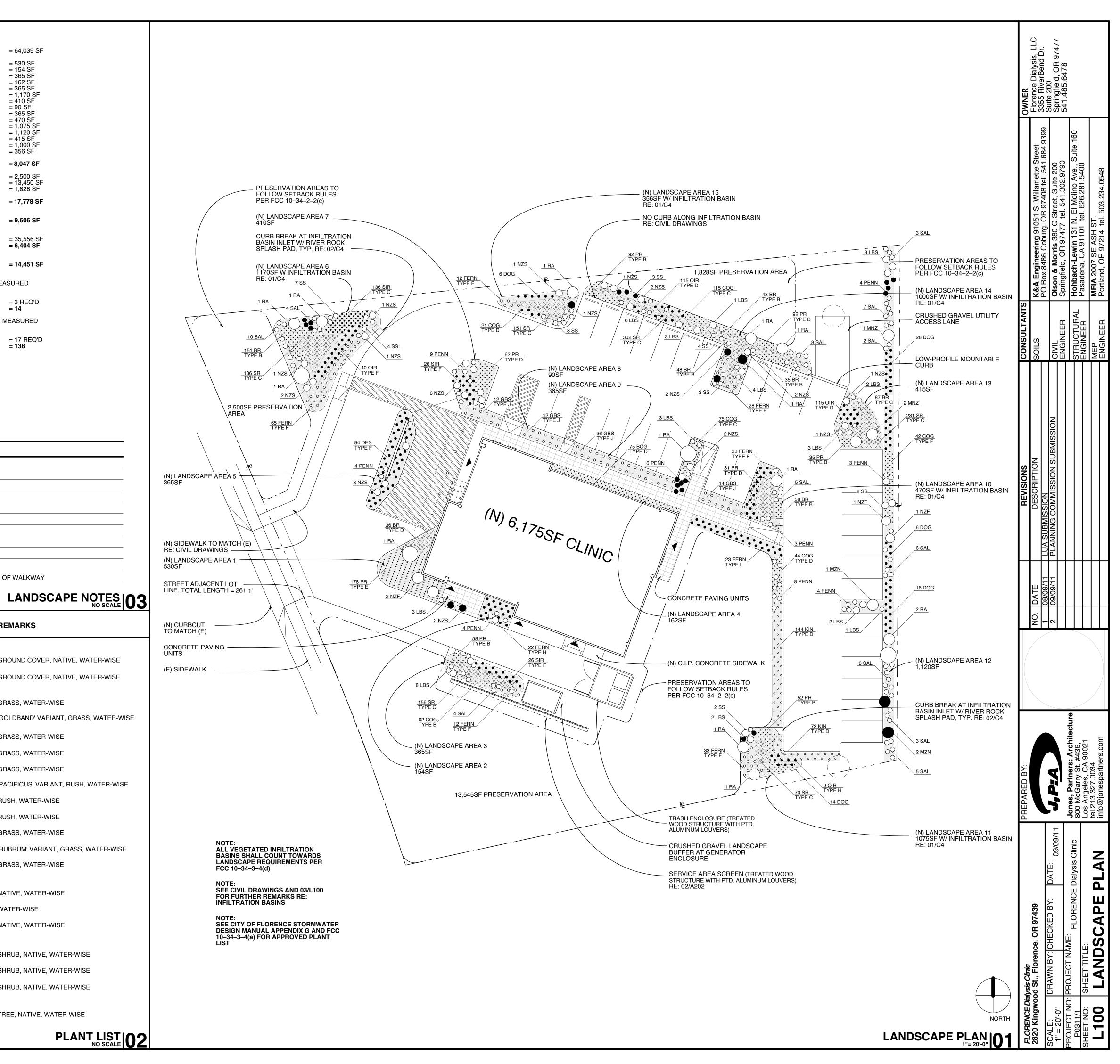
7. FLAGS, TAGS OR OTHER MARKERS THAT CORRESPOND TO APPROVED LANDSCAPE PLAN SHALL BE PROVIDED TO FACILITATE IDENTIFICATION OF MITIGATION AT TIME OF INSPECTION

LANDSCAPE AREA CALCULATION:

LOT SIZE	= 64,039 SF
 (N) LANDSCAPE AREA 1: (N) LANDSCAPE AREA 2: (N) LANDSCAPE AREA 3: (N) LANDSCAPE AREA 4: (N) LANDSCAPE AREA 5: (N) LANDSCAPE AREA 6: (N) LANDSCAPE AREA 7: (N) LANDSCAPE AREA 8: (N) LANDSCAPE AREA 9: (N) LANDSCAPE AREA 9: (N) LANDSCAPE AREA 10: (N) LANDSCAPE AREA 11: (N) LANDSCAPE AREA 12: (N) LANDSCAPE AREA 13: (N) LANDSCAPE AREA 14: (N) LANDSCAPE AREA 15: 	= 530 SF = 154 SF = 365 SF = 162 SF = 365 SF = 1,170 SF = 410 SF = 90 SF = 365 SF = 470 SF = 1,075 SF = 1,120 SF = 415 SF = 1,000 SF = 356 SF
TOTAL (N) LANDSCAPE AREA	= 8,047 SF
(E) LANDSCAPE AREA 1: (E) LANDSCAPE AREA 2: (E) LANDSCAPE AREA 3:	= 2,500 SF = 13,450 SF = 1,828 SF
TOTAL (E) LANDSCAPE AREA	= 17,778 SF
TOTAL LANDSCAPE AREA REQUIRED 64,039 SF x 15%	= 9,606 SF
PRESERVATION CREDIT FOR (E) 17,778 SF x 2 MAXIMUM 2/3 OF REQUIRED AREA	= 35,556 SF = 6,404 SF
TOTAL LANDSCAPE AREA PROVIDED (E) 6,404 SF + (N) 8,047 SF	= 14,451 SF
PER FCC 10-34-3-3: 1 TREE REQ'D PER 30 LINEAL FEET AS ME ALONG STREET ADJACENT LOT LINES. 261.1'/30 = 9 REQ'D	
REDUCE BY 2/3 PER FCC 10–34–2–4 TOTAL TREES PROVIDED	= 3 REQ'D = 14
6 SHRUBS REQ'D PER 30 LINEAL FEET AS ALONG STREET ADJACENT LOT LINES. (261.1'/30) x 6 = 52 REQ'D	MEASURED
REDUCE BY 2/3 PER FCC 10–34–2–4 TOTAL SHRUBS PROVIDED	= 17 REQ'D = 138

TYPE	DIMENSION	PLANTING PATTERN	NOTES
4	10" O.C.	TRIANGLE	4" PLUG
3	12" O.C.	TRIANGLE	4" PLUG
0	12" O.C.	TRIANGLE	1 GAL.
2	18" O.C.	TRIANGLE	1 GAL.
Ε	18" O.C.	SQUARE	4" PLUG
F	24" O.C.	TRIANGLE	1 GAL.
G	24" O.C.	SQUARE	1 GAL.
H	30" O.C.	TRIANGLE	1 GAL.
	36" O.C.	TRIANGLE	1 GAL.
J	36" O.C.	SQUARE	1 GAL., ALIGN WITH AXIS OF WALKWAY

SYMBOL		COMMON NAME	QTY	SIZE	REMARKS
KIN	ARCTOSTAPHYLOS UVA-URSI	KINNIKINNICK	216	1 GAL	GROUND COVER, NATIVE, WA
COG	MAHONIA REPENS	CREEPING OREGON GRAPE	359	VARIES	GROUND COVER, NATIVE, WA
LBS	CAREX LYNGBYEI	LYNGBY'S SEDGE	41	2 GAL	GRASS, WATER-WISE
GBS	CAREX MORROWII	GOLDBAND SEDGE	74	2 GAL	'GOLDBAND' VARIANT, GRASS
SS	CAREX OBNUPTA	SLOUGH SEDGE	33	2 GAL	GRASS, WATER-WISE
NZS	CAREX TESTACEA	NEW ZEALAND ORANGE SEDGE	29	2 GAL	GRASS, WATER-WISE
DES	DESCHAMPSIA CESPITOSA	TUFTED HAIR GRASS	94	1 GAL	GRASS, WATER-WISE
PR	JUNCUS EFFUSUS	SOFT RUSH	600	VARIES	'PACIFICUS' VARIANT, RUSH, V
BR	JUNCUS BALTICUS	BALTIC RUSH	463	VARIES	RUSH, WATER-WISE
SR	JUNCUS PATENS	SPREADING RUSH	1,096	1 GAL	RUSH, WATER-WISE
BOG	HELICTOTRICHON SEMPERVIRENS	BLUE OAT GRASS	83	1 GAL	GRASS, WATER-WISE
PENN	PENNISETUM SETACEU	FOUNTAIN GRASS	45	2 GAL	'RUBRUM' VARIANT, GRASS, W
NZF	PHORMIUM TENAX	NEW ZEALAND FLAX	4	3 GAL	GRASS, WATER-WISE
OIR	IRIS TENAX	OREGON IRIS	279	1 GAL	NATIVE, WATER-WISE
SIR	IRIS SIBIRICA	SIBERIAN IRIS	188	1 GAL	WATER-WISE
FERN	POLYSTICHUM MUNITUM	SWORD FERN	228	1 GAL	NATIVE, WATER-WISE
MNZ	ARCTOSTAPHYLOS COLUMBIANA	HAIRY MANZANITA	6	5 GAL	SHRUB, NATIVE, WATER-WISE
SAL	GAULTHERIA SHALLON	SALAL	65	1 GAL	SHRUB, NATIVE, WATER-WISE
DOG	MAHONIA NERVOSA	DULL OREGON GRAPE	72	1 GAL	SHRUB, NATIVE, WATER-WISE
RED	ALNUS RUBRA	RED ALDER	14	10 GAL	TREE, NATIVE, WATER-WISE

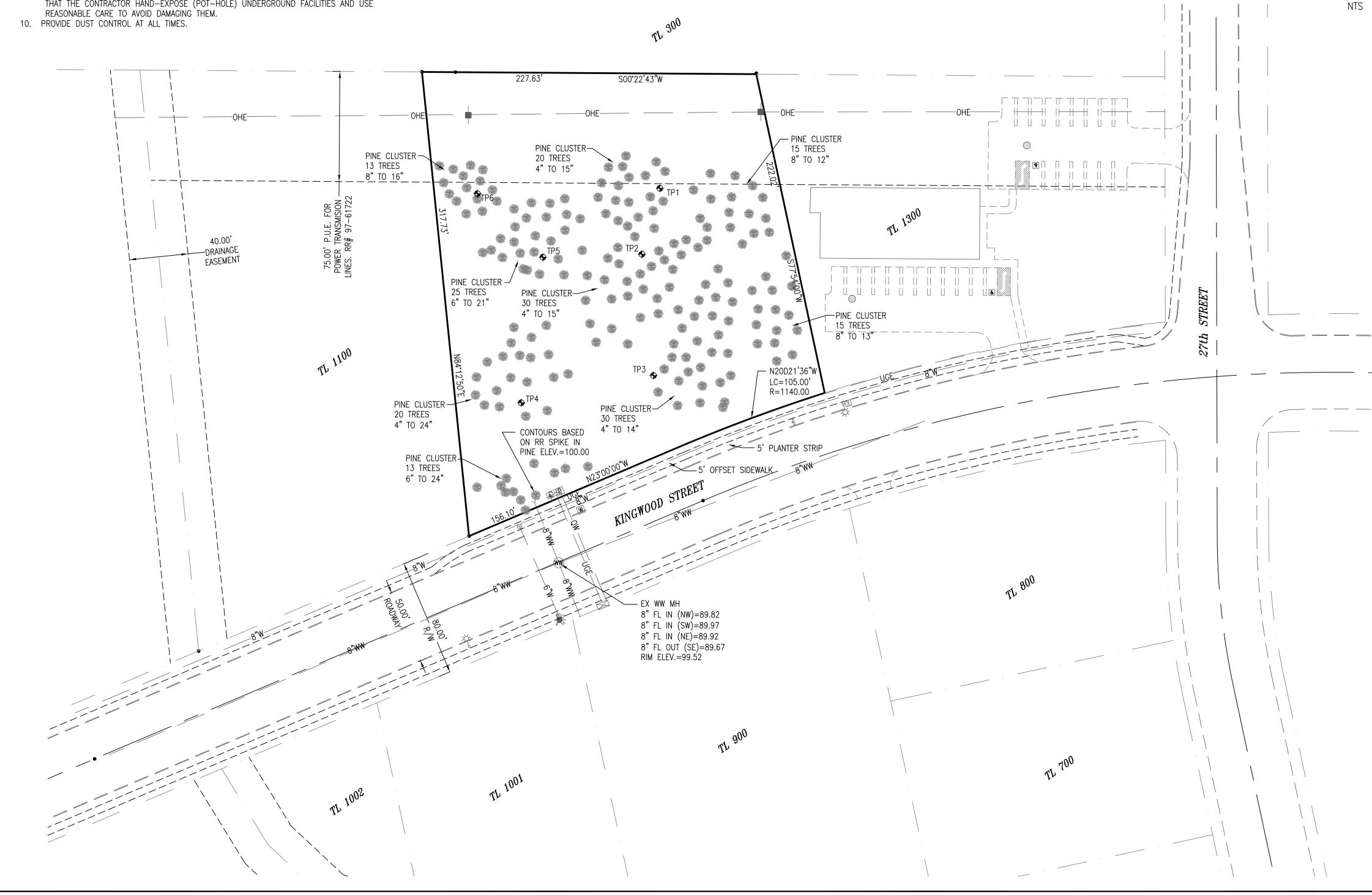


GENERAL CONSTRUCTION NOTES:

- 1. LOCATION OF UTILITIES AS SHOWN ARE APPROXIMATE. CONTRACTOR SHALL HAVE SERVICING UTILITIES FIELD LOCATE UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL FOLLOW ALL REQUIREMENTS OF OAR 952-001-0010 THROUGH 952-001-0090. ONE CALL PHONE NUMBER 811.
- 2. ELEVATIONS BASED UPON A RAILROAD SPIKE IN EXISTING PINE TREE AS SHOWN. ELEVATION=100.00'.
- 3. CONSTRUCTION OF ALL PRIVATE SEWERS SHALL COMPLY WITH THE CURRENT OREGON STATE PLUMBING CODES, THE LOCAL AUTHORITY AND AS SPECIFIED HEREIN. SEWER AND MANHOLE TESTING SHALL COMPLY WITH THE CURRENT OREGON STATE PLUMBING SPECIALTY CODES AND THE LOCAL AUTHORITY.
- 4. THE CONTRACTOR SHALL OVEREXCAVATE ALL AREAS WHERE SUBBASE COMPACTION DOES NOT MEET THE REQUIRED STANDARD SPECIFICATIONS, AS DETERMINED BY FIELD INSPECTION AND TESTING. THE CONTRACTOR SHALL OVEREXCAVATE AT 6" BELOW SUBGRADE, LAY APPROVED GEOTEXTILE FABRIC AND COMPACT GRANULAR BACKFILL MATERIAL. CONTRACTOR SHALL COORDINATE ALL INSPECTION AND TESTING WITH THE PROJECT GEOTECHNICAL ENGINEER.
- 5. PROVIDE SHORING OF ALL TRENCHES AS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES.
- 6. WHERE CONNECTING TO AN EXISTING PIPE, THE CONTRACTOR SHALL EXPOSE EXISTING PIPE AND ALLOW THE ENGINEER TO VERIFY EXACT LOCATION AND ELEVATION PRIOR TO LAYING NEW PIPE.
- 7. REQUESTS BY THE CONTRACTOR FOR CHANGES TO THE PLANS MUST BE APPROVED BY THE CONSULTING ENGINEER, OWNER AND THE CITY OF FLORENCE BEFORE THE CHANGES ARE IMPLEMENTED.
- 8. THE CONTRACTOR SHALL EMPLOY CONSTRUCTION PRACTICES WHICH WILL MINIMIZE THE EROSION OF DISTURBED GROUND DURING THE CONSTRUCTION ACTIVITY. THE PRACTICES SHALL COMPLY WITH THE OREGON DEPARTMENT OF ENVIRONMENTAL QUALITY NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM PERMIT. PURSUANT TO ORS 468.740 AND THE FEDERAL CLEAN WATER ACT.
- 9. WHEN PERFORMING EXCAVATIONS, THE CONTRACTOR SHALL COMPLY WITH THE PROVISIONS OF OAR 952-001-0010 TO 952-001-0090, WHICH INCLUDE REQUIREMENTS THAT THE CONTRACTOR HAND-EXPOSE (POT-HOLE) UNDERGROUND FACILITIES AND USE REASONABLE CARE TO AVOID DAMAGING THEM.

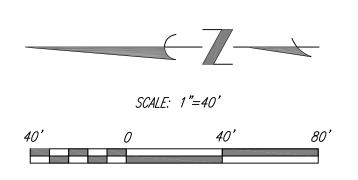
GENERAL SITE NOTES:

- 1. THE PROPERTY IS LOCATED IN ZONE X ON FIRM MAPS 41039C1134 F DATED 09/27/85 AND IS IN AN AREA DETERMINED TO BE OUTSIDE 500-YEAR FLOOD PLAIN.
- 2. EXISTING PUBLIC AND PRIVATE UTILITIES ARE SHOWN. PROPOSED PRIVATE UTILITIES ARE SHOWN ON SHEET C2 & C3. PRIVATE UTILITIES (WATER, ELECTRIC, PHONE & CABLE) ARE SHOWN CONCEPTUALLY AND WILL BE DESIGNED BY PRIVATE UTILITY PROVIDERS.
- 3. FIRE HYDRANTS ARE LOCATED AS SHOWN. 4. TREES TO BE SAVED SHOWN ON SITE PLAN A001.
- 5. REFER TO KA ENGINEERING REPORT DATED 4/13/2011
- FOR DETAILED SOIL INFORMATION.
- 6. EXISTING EASEMENTS ARE AS SHOWN.





VICINITY MAP



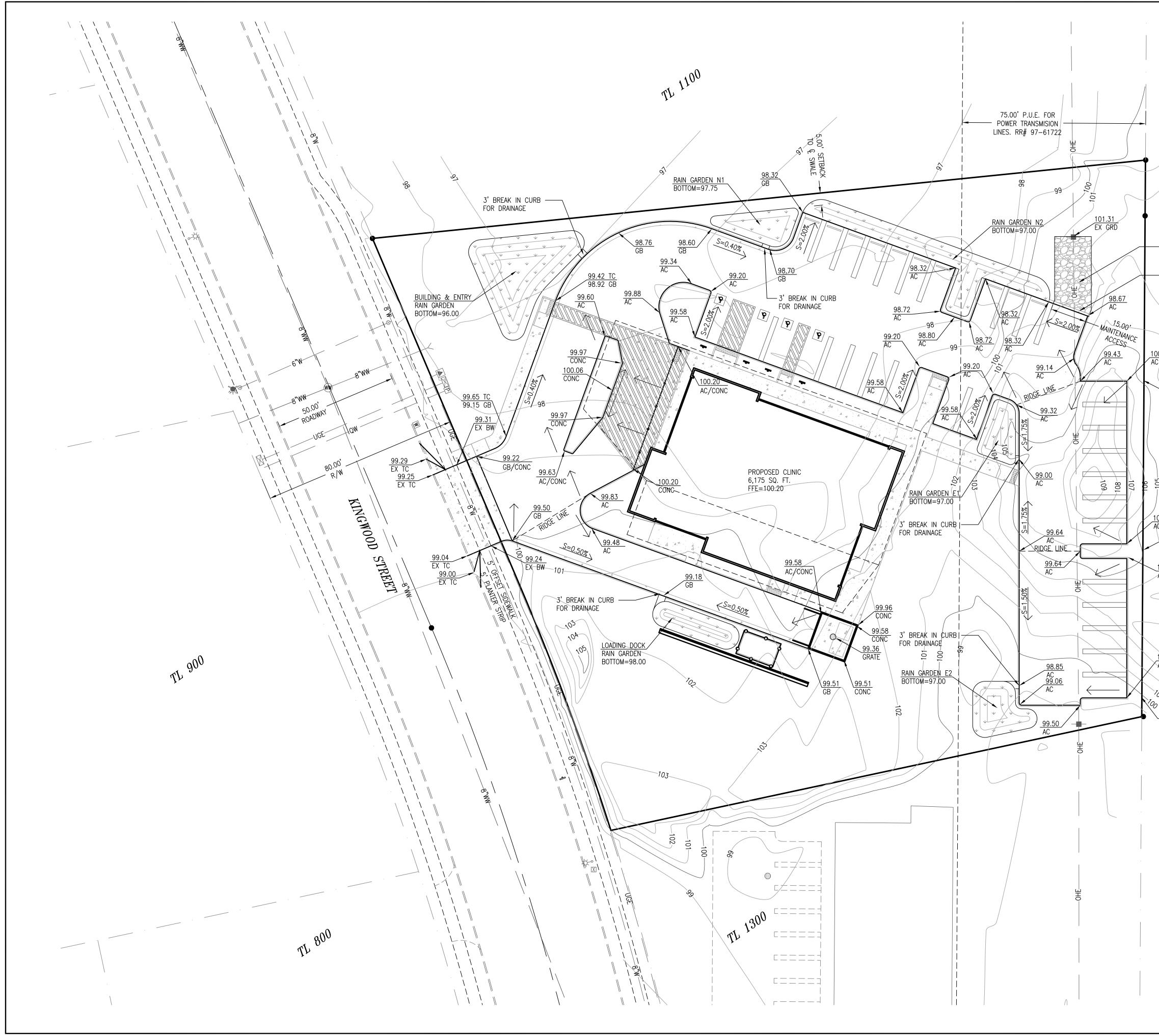
SHEET INDEX

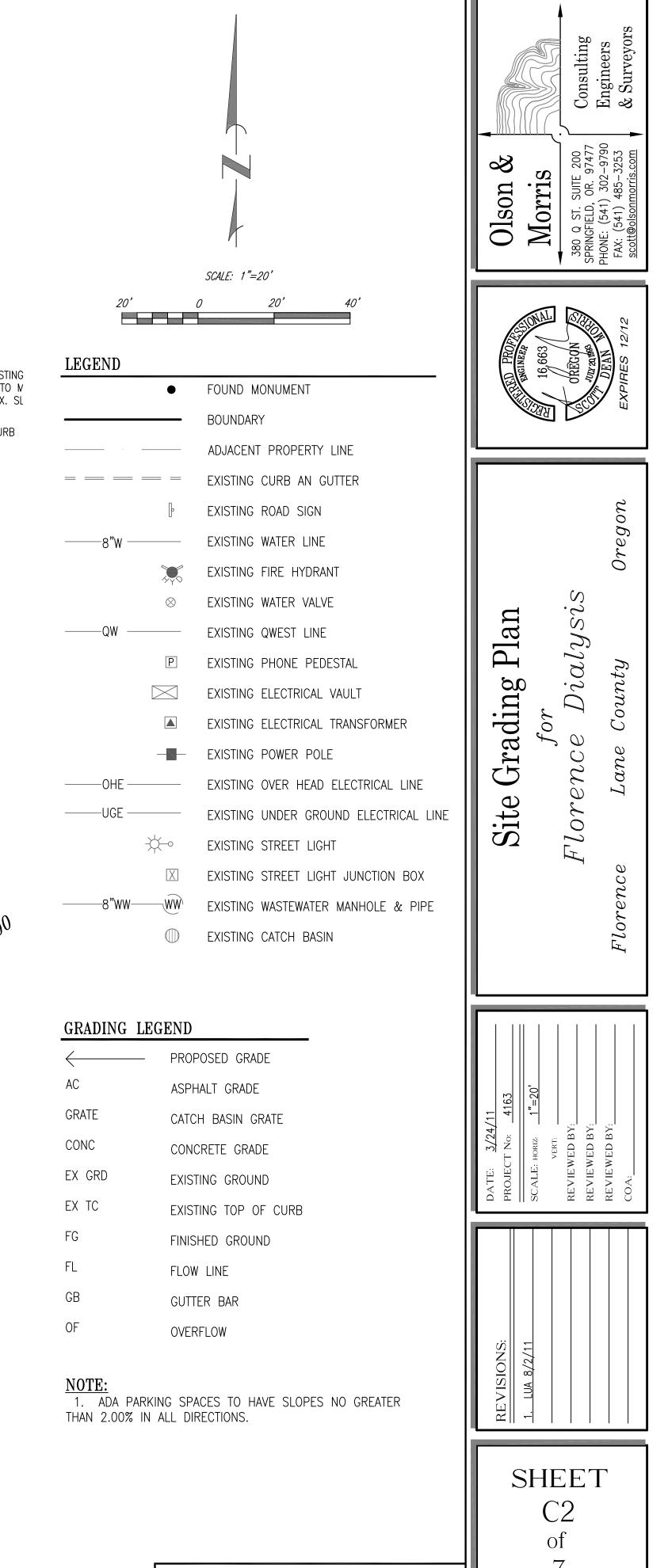
C1.	SITE ASSESSMENT PLAN
C2.	SITE GRADIING PLAN
СЗ.	SITE UTILITY AND WASTEWATER PLAN
C4.	SITE STORM DRAINAGE PLAN
C5.	SITE PAVING PLAN
C6.	CIVIL DETAILS
C7.	CIVIL DETAILS

LEGEND

•	FOUND MONUMENT
	BOUNDARY
	ADJACENT PROPERTY LINE
	EXISTING CURB AN GUTTER
ŀ	EXISTING ROAD SIGN
8"W	EXISTING WATER LINE
	EXISTING FIRE HYDRANT
\otimes	EXISTING WATER VALVE
QW	EXISTING QWEST LINE
Ρ	EXISTING PHONE PEDESTAL
	EXISTING ELECTRICAL VAULT
	EXISTING ELECTRICAL TRANSFORMER
	EXISTING POWER POLE
OHE	EXISTING OVER HEAD ELECTRICAL LINE
UGE	EXISTING UNDER GROUND ELECTRICAL LINE
-\ \	EXISTING STREET LIGHT
X	EXISTING STREET LIGHT JUNCTION BOX
8"WWWW	EXISTING WASTEWATER MANHOLE & PIPE
\bigcirc	EXISTING CATCH BASIN
TP1 🔶	EXISTING TEST PIT
	EXISTING TREES



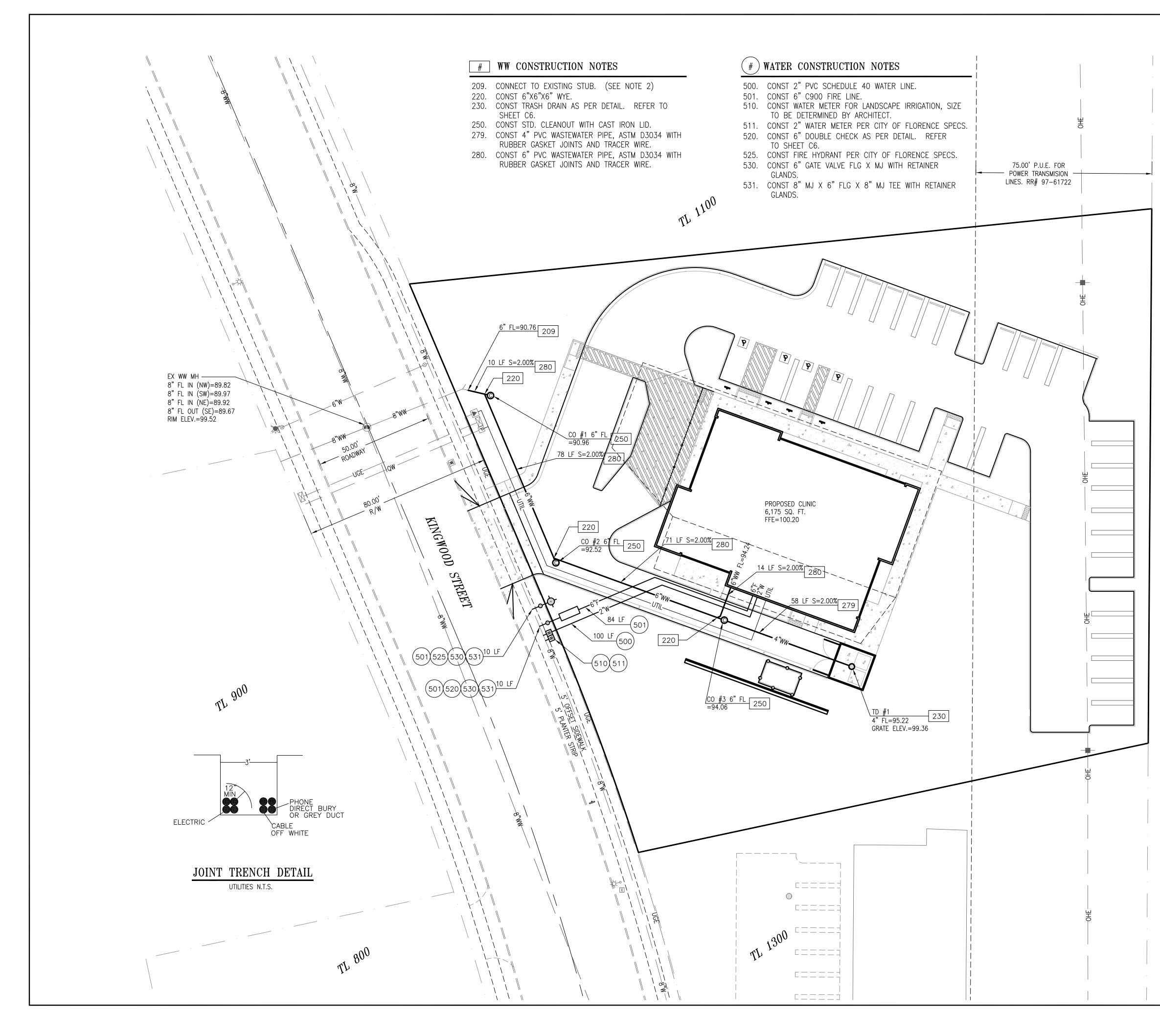


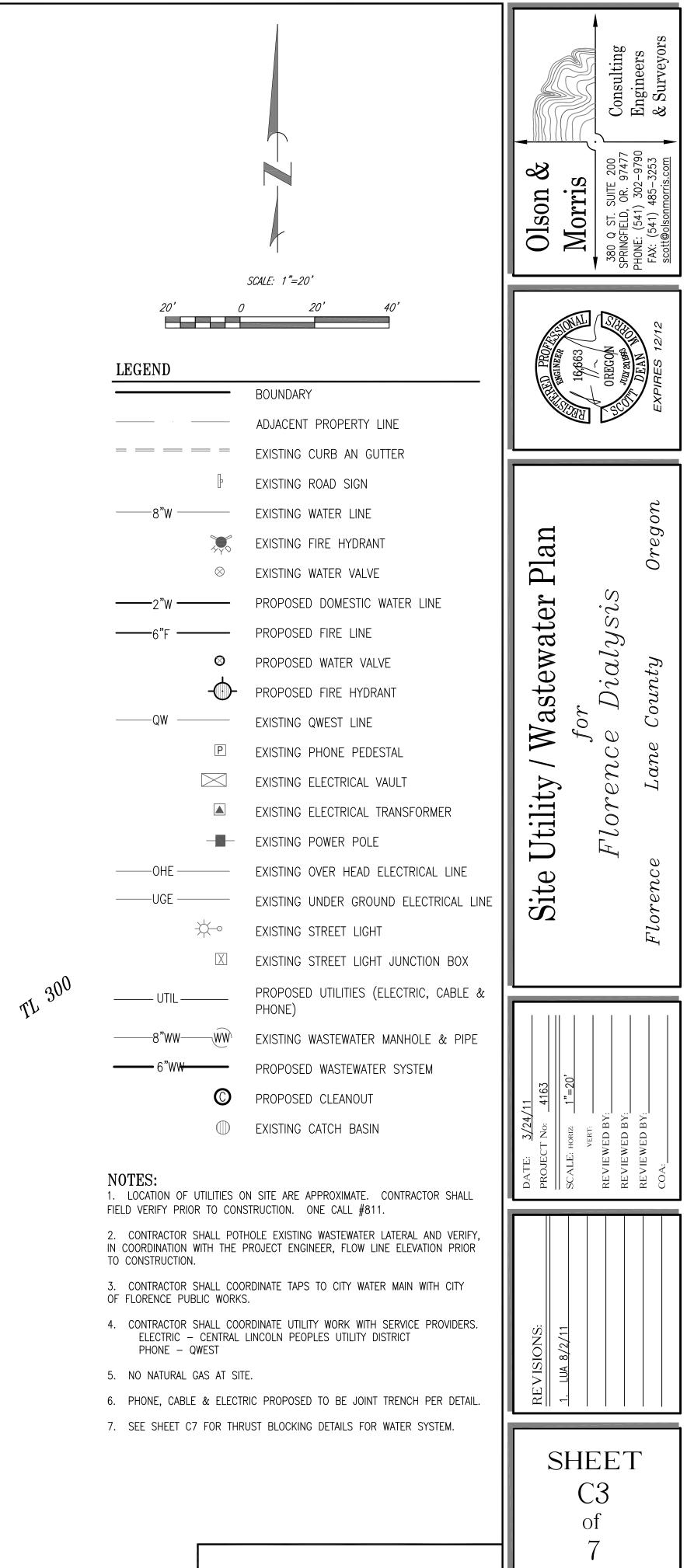


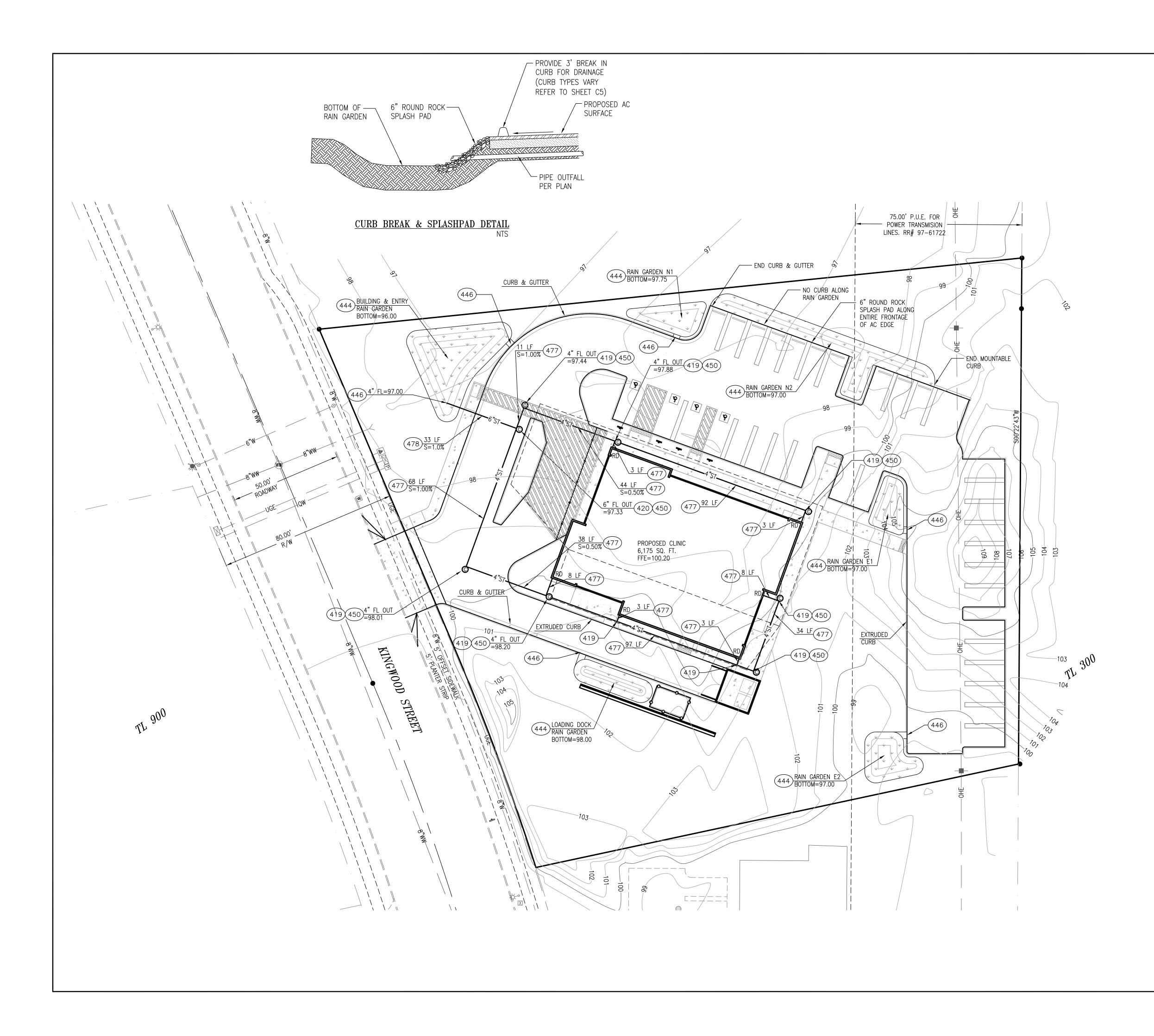
 RE-GRADE EXISTING ACCESS LANE TO N AC GRADE, MAX. SL
 LOW PROFILE MOUNTABLE CURB SEE SHEET C7

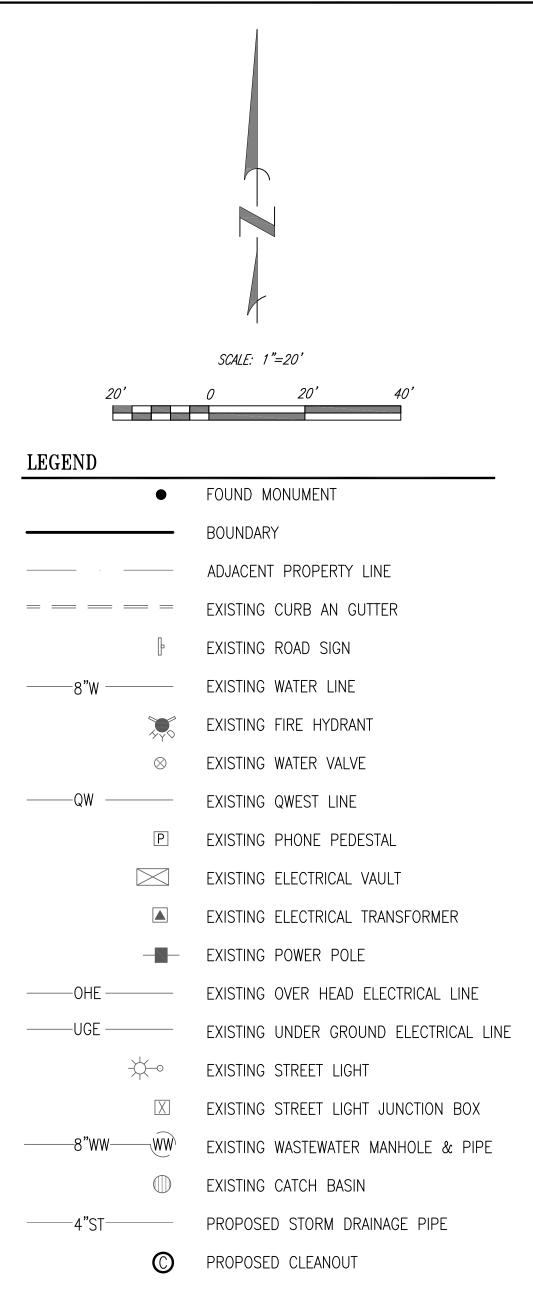
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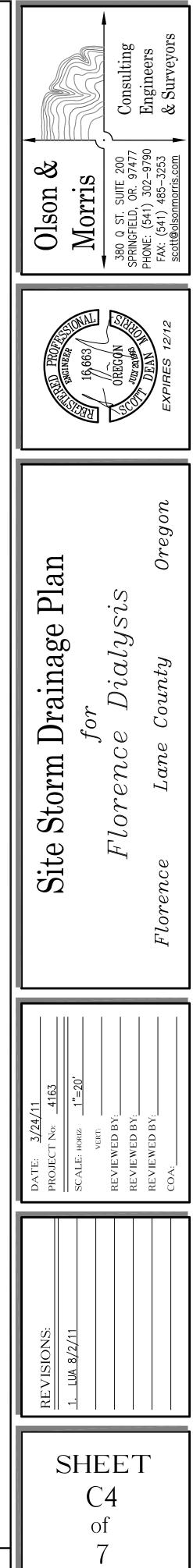


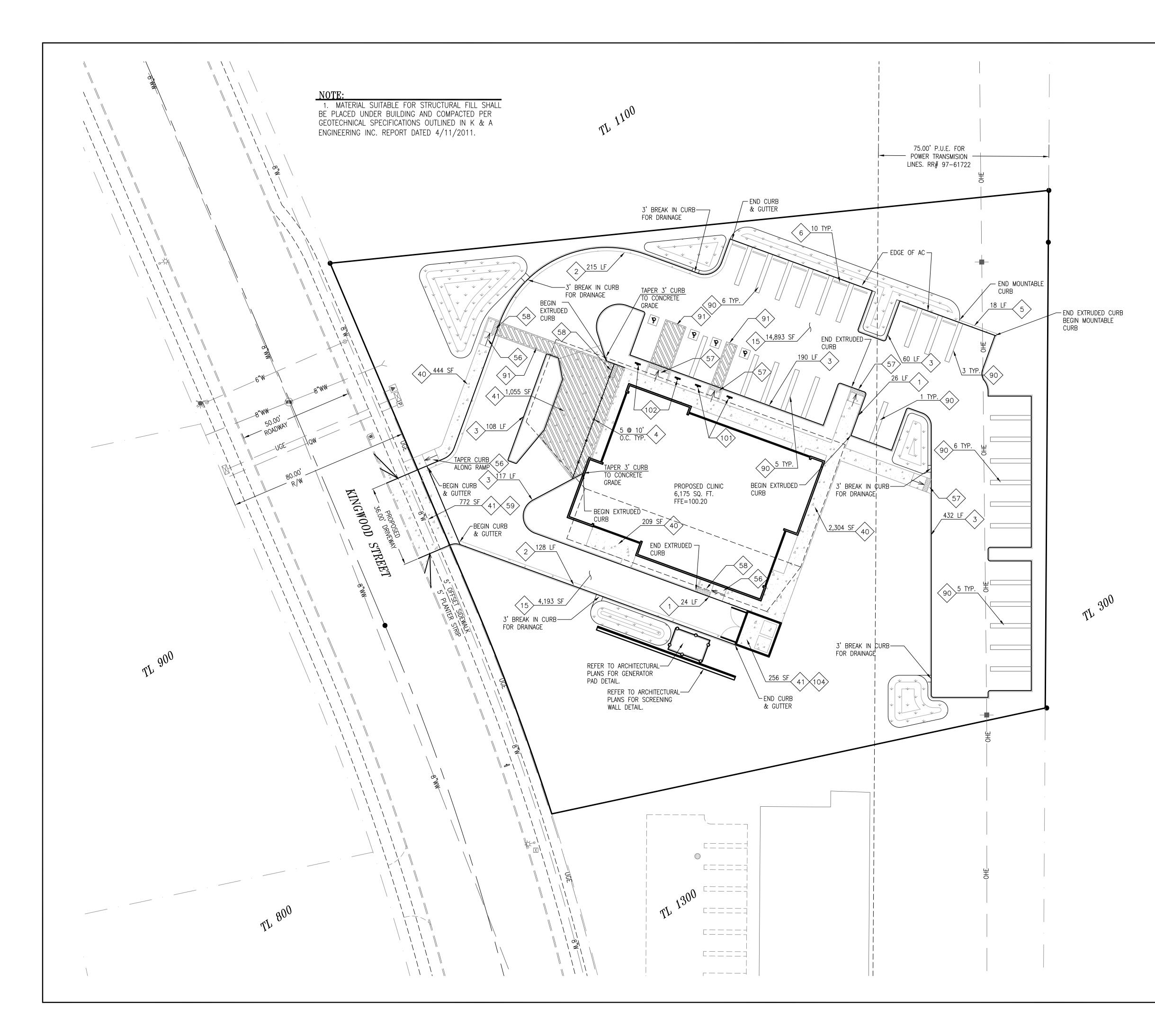


(#) ST CONSTRUCTION NOTES

- 419. CONST 4"X4"X4" WYE.
- 420. CONST 4"X6"X4" TEE.
- 444. CONST INFILTRATION RAIN GARDEN AS PER DETAIL. REFER TO SHEET C7. 446. CONST 3' BREAK IN CURB WITH 6" ROUND ROCK
- SPLASH PAD PER DETAIL.
- 450. CONST STD. CLEANOUT WITH CAST IRON LID.
- 477. CONST 4" STORM DRAIN PIPE, ABS SCHEDULE 40 DWV W/RUBBER GASKET JOINTS.
- 478. CONST 6" STORM DRAIN PIPE, ABS SCHEDULE 40 DWV W/RUBBER GASKET JOINTS.

NOTE: 1. ALL ROOF AREAS TO BE TIED TO PIPING SHOWN. DOWNSPOUTS NOT ALLOWED TO DAYLIGHT ONTO PARKING OR DRIVE AREAS.





SCALE: $1''=20'$	Olson & Norris 380 Q ST. SUITE 200 SPRINGFIELD, OR. 97477 PHONE: (541) 302–9790 FAX: (541) 485–3253 scott@olsonmorris.com
20' 0 20' 40' LEGEND	EXPIRES 12/12
Image: State of the second	Site Paving Plan for Florence Dialysis Florence Lane County Oregon
 CONST MONOLITHIC CURB & SIDEWALK PER DETAIL. REFER TO SHEET C6. CONST CURB & GUTTER PER DETAIL. REFER TO SHEET C6. CONST EXTRUDED CURB AS PER DETAIL. REFER TO SHEET C6. CONST BOLLARDS WITH LUMINARES PER ARCHITECTURAL PLANS. CONST LOW PROFILE MOUNTABLE CURB AS PER DETAIL. REFER TO SHEET C7. CONST WHEEL STOP AS PER DETAIL. REFER TO SHEET C7. CONST <u>3</u>" AC OVER <u>8</u>" CRUSHED ROCK WITH FABRIC UNDER ROADWAY (LINQ GTF OR EQUIVALENT.) PER GEOTECHNICAL SPECIFICATIONS OUTLINED IN K & A ENGINEERING INC. REPORT DATED 4/11/2011. CONST <u>4</u>" CONCRETE OVER <u>1</u>" CRUSHED ROCK. CONST 60" REINFORCED CONCRETE OVER <u>1</u>" CRUSHED ROCK W/<u>4</u>4 REBAR <u>12</u>" O.C. BOTH DIRECTIONS. CONST ADA COMPLIANT ACCESS RAMP. CONST CONCRETE DRIVE PER ODOT STD. DWG RD725 OPTION A. PAINT DOUBLE LINE STRIPING <u>4</u>" WIDE 'TRAFFIC WHITE' PER CITY CODE <u>10</u>-3-9 B & C. PAINT DUBLE LINE STRIPING <u>4</u>" WIDE 'TRAFFIC WHITE' PER CITY CODE <u>10</u>-3-9 B & C. PAINT <u>4</u>" WIDE STRIPE 'TRAFFIC YELLOW. INSTALL POLE MOUNTED DISABLED PERSON SIGN. CONST RECEPTACLE ENCLOSURE. AS PER DETAIL. REFER TO ARCHITECTURAL PLANS. 	REVISIONS: DATE: 3/24/11 REVISIONS: PROJECT NO: 4163 1. LUA 8/2/11 SCALE: HORIS NERT VERT: NERT Tables COA: COA:

