

FLORENCE DIALYSIS CLINIC

2820 Kingwood St., Florence, OR 97439



Jones, Partners: Architecture

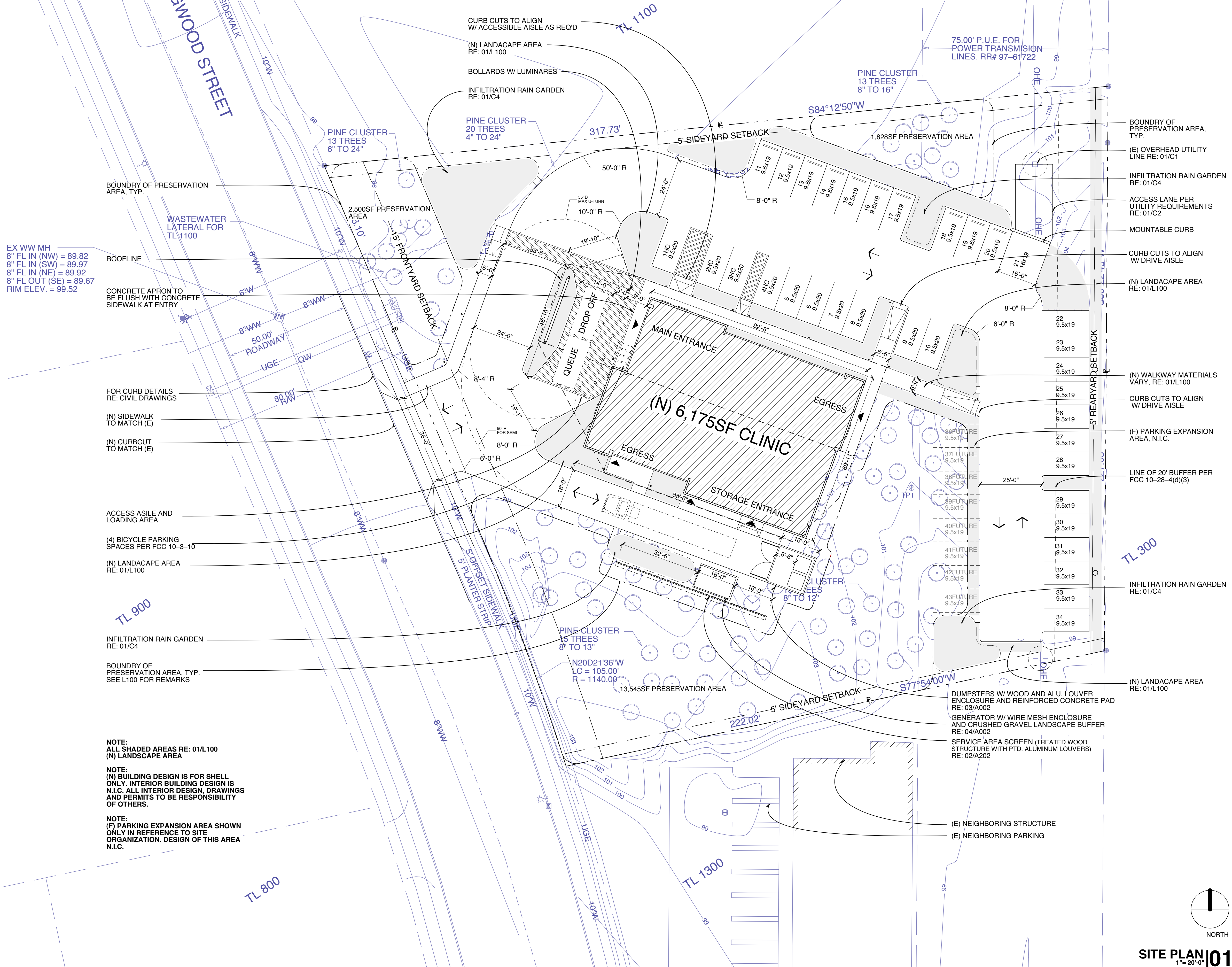
800 McGarry St. #436, Los Angeles, CA 90021

tel. 213.327.0034

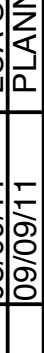
info@jonespartners.com

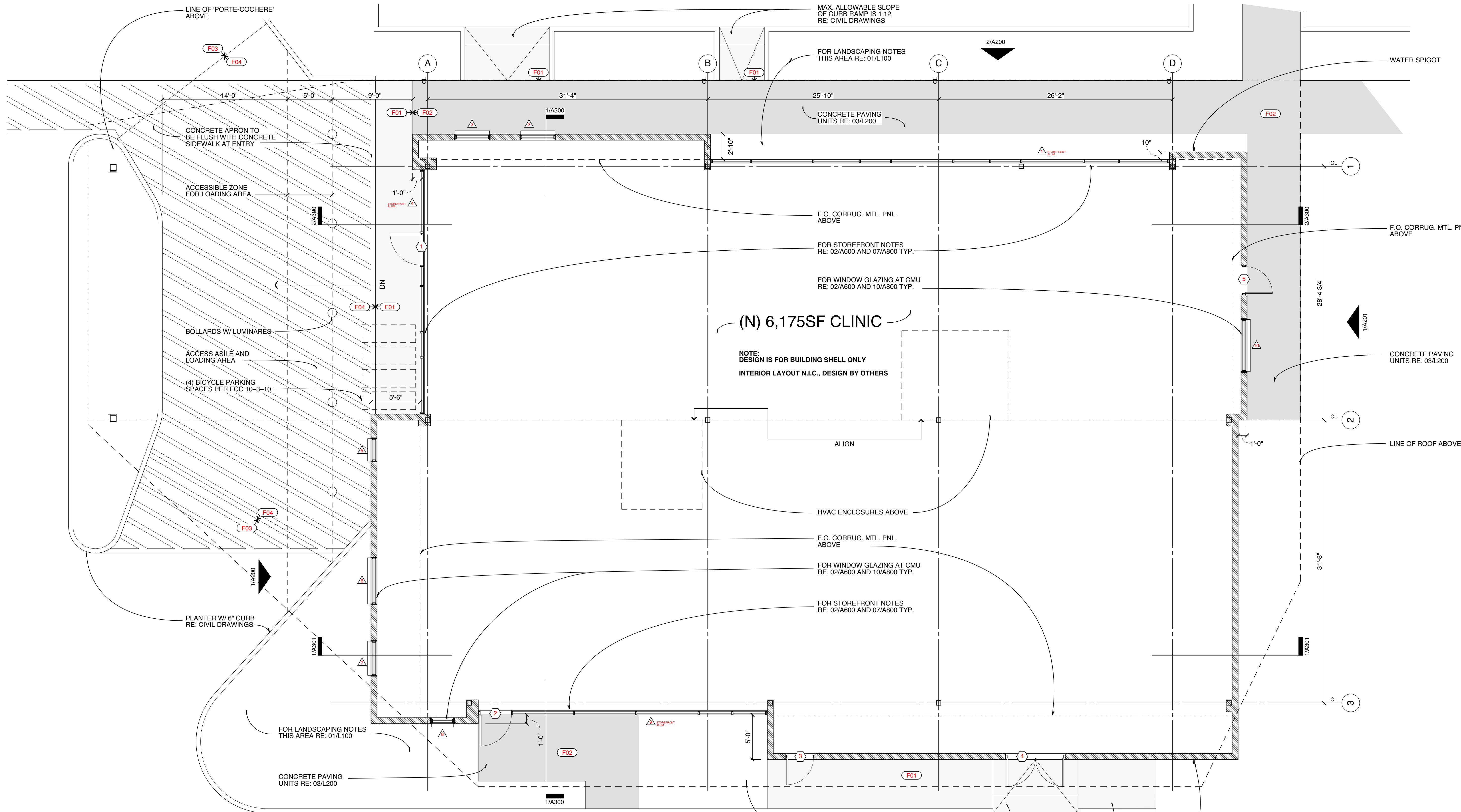
DATED: 04/27/11

EX WW MH _____
8" FL IN (NW) = 89.82
8" FL IN (SW) = 89.97
8" FL IN (NE) = 89.92
8" FL OUT (SE) = 89.67
RIM ELEV. = 99.52



NOTE:
(F) PARKING EXPANSION AREA SHOWN
ONLY IN REFERENCE TO SITE
ORGANIZATION. DESIGN OF THIS AREA
N.I.C.

FLORENCE Dialysis Clinic 2820 Kingwood St., Florence, OR 97439		PREPARED BY:  Jones, Partners: Architecture 800 McGarry St #436 Los Angeles, CA 90021 tel.213.327.0054 info@jonespartners.com		NO. DATE 1 08/09/11 2 09/09/11		REVISIONS DESCRIPTION LUA SUBMISSION PLANNING COMMISSION SUBMISSION		CONSULTANTS SOILS CIVIL ENGINEER STRUCTURAL ENGINEER MEP ENGINEER		OWNER Florence Dialysis, LLC 2820 Kingwood Dr. Suite 200 Springfield, OR 97477 541.485.6478	
SCALE: 1" = 20'-0" PROJECT NO: P0311/J SHEET NO: A001		DRAWN BY: [] PROJECT NAME: FLORENCE Dialysis Clinic SHEET TITLE:		DATE: 09/09/11		K&A Engineering 91051 S. Willamette Street PO Box 8486 Coburg, OR 97408 tel. 541.684.9399 Olson & Morris 380 Q Street, Suite 520 Springfield, OR 97477 tel. 541.302.9790 Hohbach-Lewin 131 N. El Molino Ave., Suite 160 Pasadena, CA 91101 tel. 626.281.5400 MFIA 2007 SE ASH ST. Portland, OR 97214 tel. 503.234.0548		SITE PLAN			




SURFACE SCHEDULE	
F01	C.I.P. CONCRETE WITH CLEAR SEAL
F02	CONCRETE PAVING UNITS
F03	ASPHALT
F04	CONCRETE WITH DRIVEWAY PROTECTOR
F05	[NOT USED]
F06	[NOT USED]
F07	CONCRETE WITH COLOR ADMIXTURE (DAVIS COLOR "MIAMI BUFF" OR APPROVED EQUAL)
F08	STAMPED CONCRETE WITH COLOR ADMIXTURE (DAVIS COLOR "PUEBLO BROWN" OR APPROVED EQUAL)
F09	LIGHTWEIGHT CONCRETE WITH WAXED FINISH

- PLAN NOTES**
1. ALL DRAWINGS REPRESENT DESIGN FOR BUILDING SHELL ONLY. INTERIOR LAYOUT N.I.C., DESIGN BY OTHERS.
 2. GENERAL CONTRACTOR RESPONSIBLE FOR COORDINATION OF SHELL CONSTRUCTION AND TENANT IMPROVEMENTS.
 3. ALL MEASUREMENTS TO BE VERIFIED IN FIELD BY CONTRACTOR. ANY DISCREPANCIES SHOULD BE REPORTED TO THE ARCHITECT.

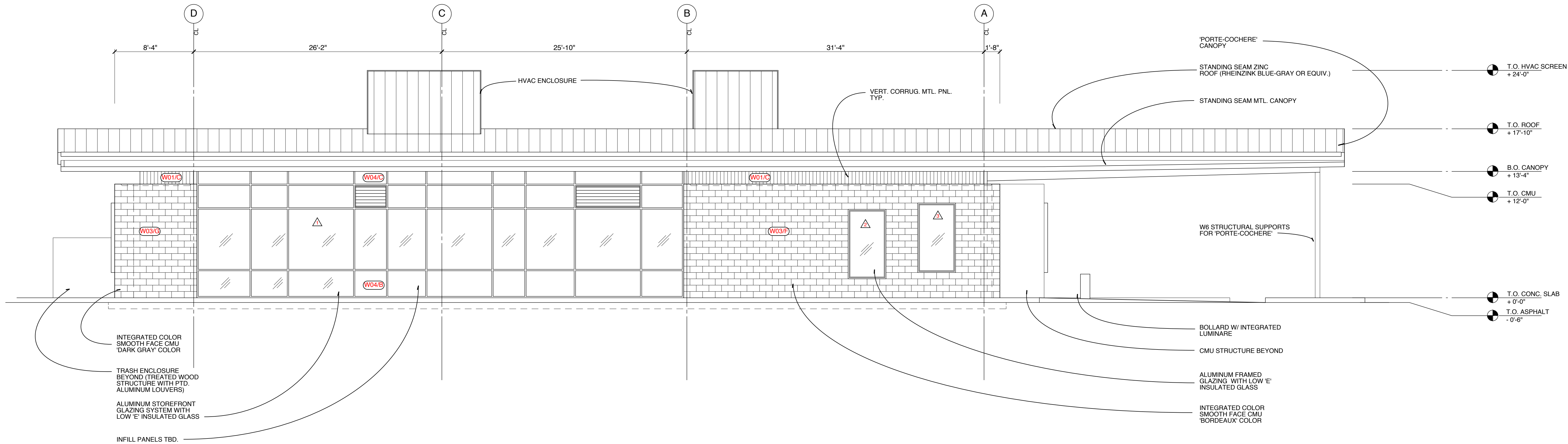
NOTES | 02
NO SCALE

FLOOR PLAN | 01
3/16"=1'-0"

FLORENCE Dialysis Clinic 2820 Kingwood St., Florence, OR 97439		PREPARED BY:  Jones, Partners: Architecture 800 McGarry St. #436, Los Angeles, CA 90021 tel. 213.327.0034 info@jonespartners.com	
SCALE: 3/16" = 1'-0"	DRAWN BY: [CHECKED BY:] DATE: 09/09/11	PROJECT NO.: [PROJECT NAME]: FLORENCE Dialysis Clinic SHEET NO.: [SHEET TITLE]: A100 FLOOR PLAN	
OWNER Florence Dialysis, LLC 3355 RiverBend Dr. Suite 200 Springfield, OR 97477 541.485.6478		CONSULTANTS SOILS CIVIL ENGINEER STRUCTURAL ENGINEER MEP ENGINEER	
K&A Engineering 91051 S. Willamette Street PO Box 8486 Coburg, OR 97408 tel. 541.664.9399		REVISIONS NO. DATE DESCRIPTION 1 08/09/11 LIA SUBMISSION 2 09/09/11 PLANNING COMMISSION SUBMISSION	
Olson & Morris 380 O Street Suite 200 Springfield, OR 97477 tel. 541.302.9790		Hobbsch-Lewin 131 N. El Molino Ave., Suite 160 Pasadena, CA 91101 tel. 626.281.5400	
MFA 2007 SE ASH ST. Portland, OR 97214 tel. 503.234.0548			

NOTE:
ALL WINDOW TYPES WITHIN 24" OF A VERTICAL EDGE OF
A DOOR SHALL BE TEMPERED "SAFTEY" GLASS. REFER
TO OSSC SECTION 2406 FOR SAFTEY GLAZING
REQUIREMENTS.

RE: 06/A600 FOR WINDOW SCHEDULE



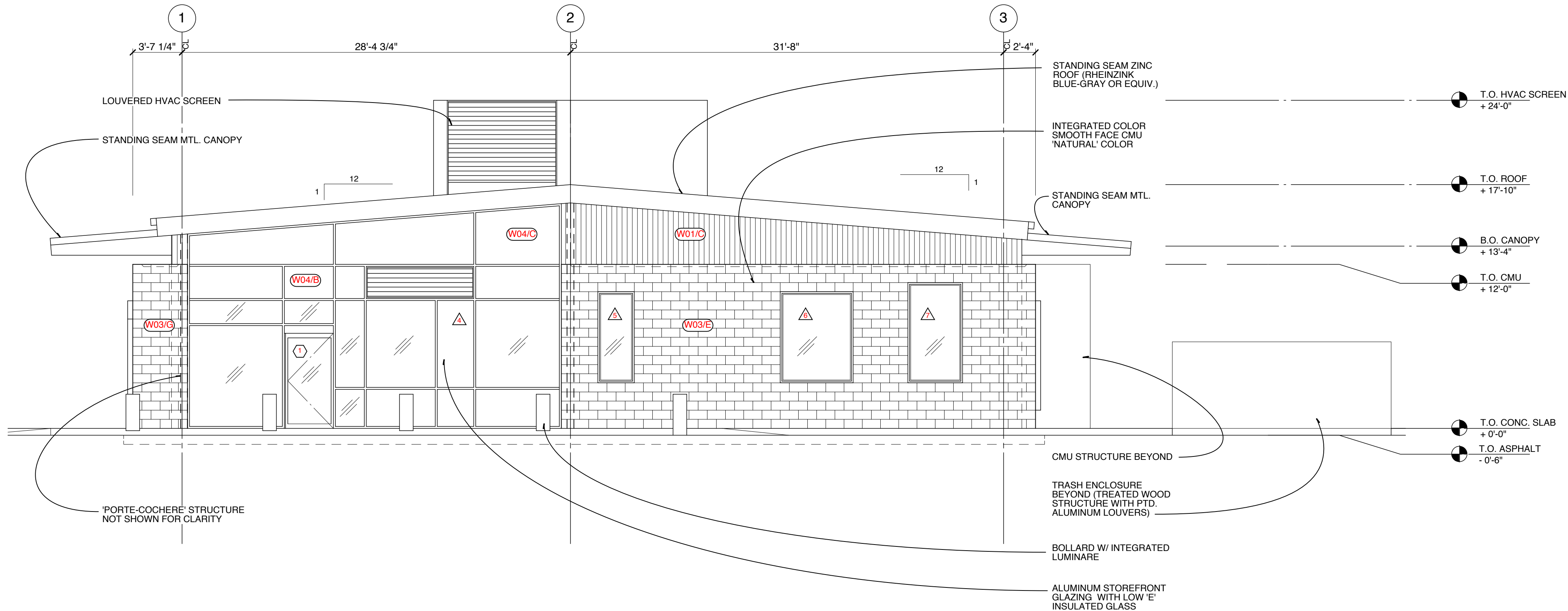
NORTH ELEVATION | 02
3/16"=1'-0"

COLOR SCHEDULE	
A	BENJAMIN MOORE 2134-20 "MIDSUMMER NIGHT"
B	BENJAMIN MOORE HC-167 "AMHERST GRAY"
C	BENJAMIN MOORE 2122-20 "STEEP CLIFF GRAY"
D	BENJAMIN MOORE READY MIXED "SUPER WHITE"

EXTERIOR MASONRY SCHEDULE	
E	INTEGRATED COLOR SMOOTH FACE CMU BASALITE "NATURAL" 8X8X16
F	INTEGRATED COLOR SMOOTH FACE CMU BASALITE "GRANITE" 8X8X16
G	INTEGRATED COLOR SMOOTH FACE CMU BASALITE "BORDEAUX" 8X8X16
H	INTEGRATED COLOR SMOOTH FACE CMU BASALITE "KHAKI" 8X8X16

- ELEVATION NOTES**
1. SEALANT USED AT ALL EXTERIOR CONTROL JOINTS. THE COLOR SHALL MATCH CMU, NOT GROUT COLOR. SEALANT COLOR SHALL BE APPROVED BY ARCHITECT.
 2. AFTER FINAL CLEANING OF MASONRY, CONTRACTOR SHALL APPLY A CLEAR MASONRY SEALER TO ALL EXTERIOR MASONRY.
 3. LOCATE CONTROL JOINTS TO CLEAR ANY STRUCTURAL LINTELS. FIELD VERIFY PRIOR TO CONTROL JOINT INSTALLATION.
 4. CONTRACTOR TO VERIFY RWL LOCATIONS AND CONNECTIONS FOR STORMWATER DRAINAGE WITH CIVIL ENGINEER.

WALL FINISH SCHEDULE	
W01	PTD. 7.2x1.5 VERTICAL CORRUGATED MTL. PNL.
W02	PTD. GSM MTL. PNL.
W03	CONCRETE MASONRY
W04	SPANDREL GLASS STOREFRONT INFILL



WEST ELEVATION | 01
3/16"=1'-0"

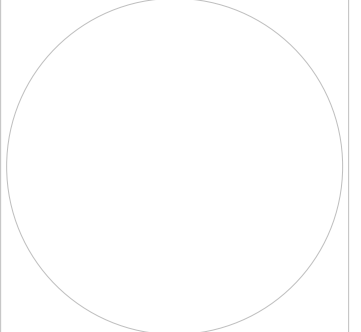
WALL FINISH SCHEDULE | 03
NO SCALE

OWNER
Florence Dialysis, LLC
3355 RiverBend Dr.
Suite 200
Springfield, OR 97477
541.485.6478

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PO Box 8486 Coburg, OR 97408 tel. 541.664.9399
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Pasadena, CA 91101 tel. 626.281.5400
MFIA 2007 SE ASH ST.
Portland, OR 97214 tel. 503.234.0548

CONSULTANTS
SOILS
CIVIL ENGINEER
STRUCTURAL ENGINEER
MEP ENGINEER

REVISIONS	
NO.	DATE
1	08/09/11
2	09/09/11
DESCRIPTION	
LUA SUBMISSION	
PLANNING COMMISSION SUBMISSION	

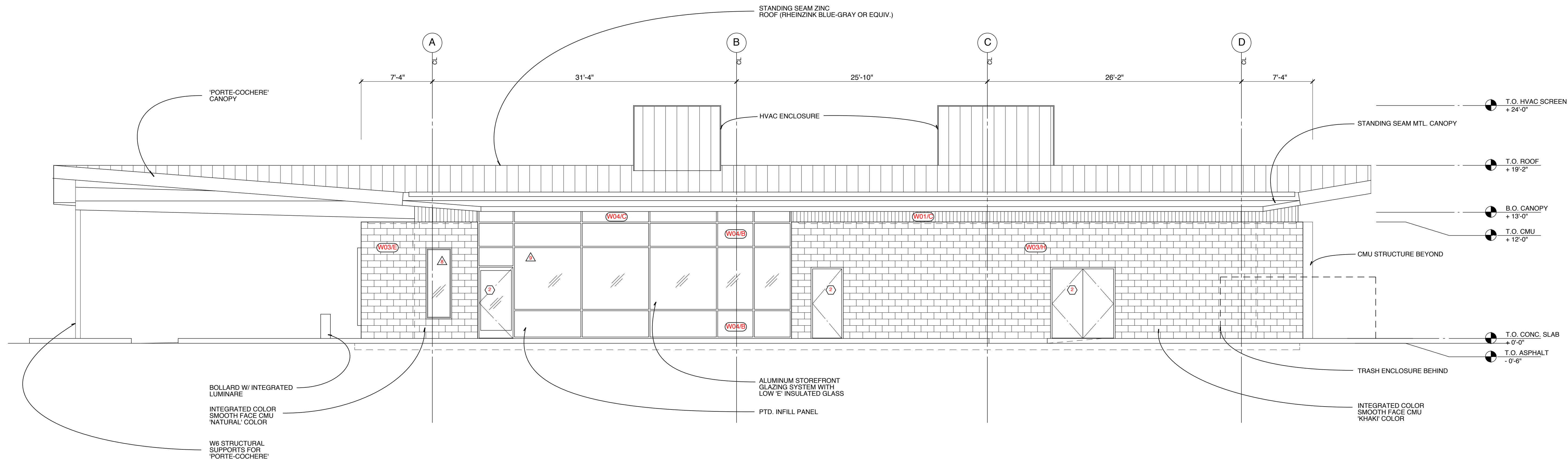


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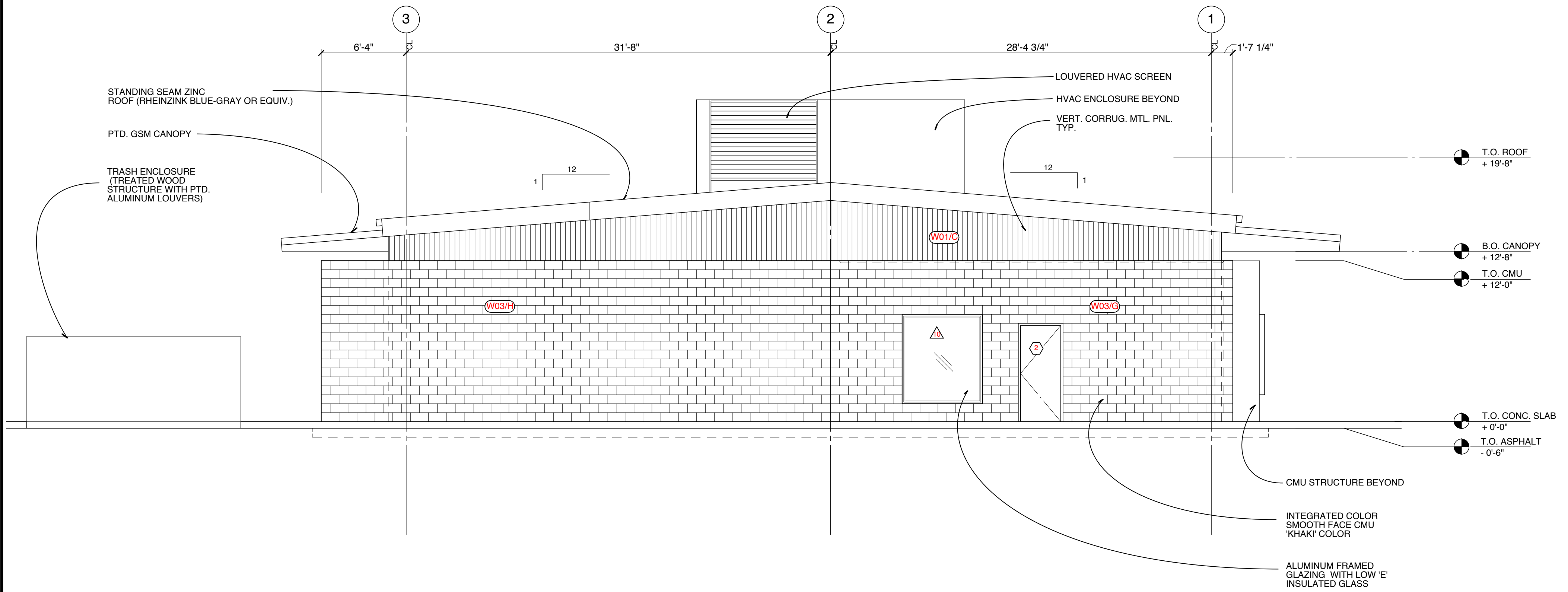
FLORENCE Dialysis Clinic
2820 Kingwood St., Florence, OR 97439
SCALE: 3/16" = 1'-0"
DRAWN BY: [CHECKED BY:]
DATE: 09/09/11
PROJECT NO: P0311/1
PROJECT NAME: FLORENCE Dialysis Clinic
SHEET TITLE: BUILDING ELEVATIONS
A200

NOTE:
ALL WINDOW TYPES WITHIN 24" OF A VERTICAL EDGE OF
A DOOR SHALL BE TEMPERED 'SAFETY' GLASS. REFER
TO OSSC SECTION 2406 FOR SAFETY GLAZING
REQUIREMENTS.

RE: 06/A600 FOR WINDOW SCHEDULE



SOUTH ELEVATION | 02
3/16"=1'-0"



EAST ELEVATION | 01
3/16"=1'-0"

FLORENCE Dialysis Clinic 2820 Kingwood St., Florence, OR 97439		DRAWN BY: [blank] DATE: 09/09/11	
SCALE: 3/16" = 1'-0"		PROJECT NO: P0311/1	
PROJECT NAME: FLORENCE Dialysis Clinic		SHEET TITLE: BUILDING ELEVATIONS	
PREPARED BY: J.P.A. Jones, Partners: Architecture 800 McGarry St. #436, Los Angeles, CA 90021 tel. 213.327.0034 info@jonespartners.com		CONSULTANTS SOILS CIVIL ENGINEER STRUCTURAL ENGINEER MEP ENGINEER	
NO. DATE DESCRIPTION 1 08/09/11 LIA SUBMISSION 2 09/09/11 PLANNING COMMISSION SUBMISSION		REVISIONS	
OWNER Florence Dialysis, LLC 3355 Riverbend Dr. Suite 200 Springfield, OR 97477 541.485.6478		K&A Engineering 91051 S. Willamette Street PO Box 8486 Coburg, OR 97408 tel. 541.664.9399 Olson & Morris 380 O Street, Suite 200 Springfield, OR 97477 tel. 541.302.9780 Hobbsch-Lewin 131 N. El Molino Ave., Suite 160 Pasadena, CA 91101 tel. 626.281.5400 MFA 2007 SE ASH ST. Portland, OR 97214 tel. 503.234.0548	

GENERAL CONSTRUCTION NOTES:

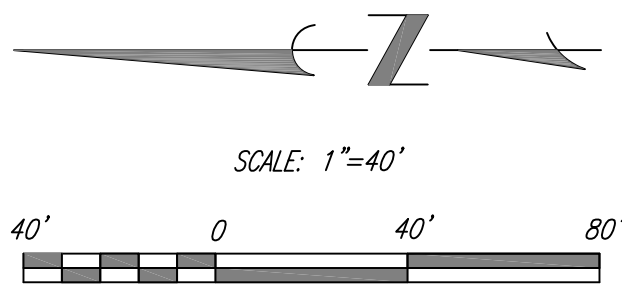
1. LOCATION OF UTILITIES AS SHOWN ARE APPROXIMATE. CONTRACTOR SHALL HAVE SERVING UTILITIES FIELD LOCATE UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL FOLLOW ALL REQUIREMENTS OF OAR 952-001-0010 THROUGH 952-001-0090. ONE CALL PHONE NUMBER 811.
2. ELEVATIONS BASED UPON A RAILROAD SPIKE IN EXISTING PINE TREE AS SHOWN. ELEVATION=100.00'.
3. CONSTRUCTION OF ALL PRIVATE SEWERS SHALL COMPLY WITH THE CURRENT OREGON STATE PLUMBING CODES, THE LOCAL AUTHORITY AND AS SPECIFIED HEREIN. SEWER AND MANHOLE TESTING SHALL COMPLY WITH THE CURRENT OREGON STATE PLUMBING SPECIALTY CODES AND THE LOCAL AUTHORITY.
4. THE CONTRACTOR SHALL OVEREXCAVATE ALL AREAS WHERE SUBBASE COMPACTION DOES NOT MEET THE REQUIRED STANDARD SPECIFICATIONS, AS DETERMINED BY FIELD INSPECTION AND TESTING. THE CONTRACTOR SHALL OVEREXCAVATE AT 6" BELOW SUBGRADE, LAY APPROVED GEOTEXTILE FABRIC AND COMPACT GRANULAR BACKFILL MATERIAL. CONTRACTOR SHALL COORDINATE ALL INSPECTION AND TESTING WITH THE PROJECT GEOTECHNICAL ENGINEER.
5. PROVIDE SHORING OF ALL TRENCHES AS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES.
6. WHERE CONNECTING TO AN EXISTING PIPE, THE CONTRACTOR SHALL EXPOSE EXISTING PIPE AND ALLOW THE ENGINEER TO VERIFY EXACT LOCATION AND ELEVATION PRIOR TO LAYING NEW PIPE.
7. REQUESTS BY THE CONTRACTOR FOR CHANGES TO THE PLANS MUST BE APPROVED BY THE CONSULTING ENGINEER, OWNER AND THE CITY OF FLORENCE BEFORE THE CHANGES ARE IMPLEMENTED.
8. THE CONTRACTOR SHALL EMPLOY CONSTRUCTION PRACTICES WHICH WILL MINIMIZE THE EROSION OF DISTURBED GROUND DURING THE CONSTRUCTION ACTIVITY. THE PRACTICES SHALL COMPLY WITH THE OREGON DEPARTMENT OF ENVIRONMENTAL QUALITY NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM PERMIT. PURSUANT TO ORS 468.740 AND THE FEDERAL CLEAN WATER ACT.
9. WHEN PERFORMING EXCAVATIONS, THE CONTRACTOR SHALL COMPLY WITH THE PROVISIONS OF OAR 952-001-0010 TO 952-001-0090, WHICH INCLUDE REQUIREMENTS THAT THE CONTRACTOR HAND-EXPOSE (POT-HOLE) UNDERGROUND FACILITIES AND USE REASONABLE CARE TO AVOID DAMAGING THEM.
10. PROVIDE DUST CONTROL AT ALL TIMES.

GENERAL SITE NOTES:

1. THE PROPERTY IS LOCATED IN ZONE X ON FIRM MAPS 41039C1134 F DATED 09/27/85 AND IS IN AN AREA DETERMINED TO BE OUTSIDE 500-YEAR FLOOD PLAIN.
2. EXISTING PUBLIC AND PRIVATE UTILITIES ARE SHOWN. PROPOSED PRIVATE UTILITIES ARE SHOWN ON SHEET C2 & C3. PRIVATE UTILITIES (WATER, ELECTRIC, PHONE & CABLE) ARE SHOWN CONCEPTUALLY AND WILL BE DESIGNED BY PRIVATE UTILITY PROVIDERS.
3. FIRE HYDRANTS ARE LOCATED AS SHOWN.
4. TREES TO BE SAVED SHOWN ON SITE PLAN A001.
5. REFER TO KA ENGINEERING REPORT DATED 4/13/2011 FOR DETAILED SOIL INFORMATION.
6. EXISTING EASEMENTS ARE AS SHOWN.



VICINITY MAP
NTS



SHEET INDEX

- C1. SITE ASSESSMENT PLAN
- C2. SITE GRADING PLAN
- C3. SITE UTILITY AND WASTEWATER PLAN
- C4. SITE STORM DRAINAGE PLAN
- C5. SITE PAVING PLAN
- C6. CIVIL DETAILS
- C7. CIVIL DETAILS

LEGEND

- FOUND MONUMENT
- BOUNDARY
- ADJACENT PROPERTY LINE
- - - - - EXISTING CURB AN GUTTER
- ⊥ EXISTING ROAD SIGN
- 8"W — EXISTING WATER LINE
- ⊙ EXISTING FIRE HYDRANT
- ⊙ EXISTING WATER VALVE
- QW — EXISTING QWEST LINE
- ⊡ EXISTING PHONE PEDESTAL
- ⊡ EXISTING ELECTRICAL VAULT
- ⊡ EXISTING ELECTRICAL TRANSFORMER
- EXISTING POWER POLE
- OHE — EXISTING OVER HEAD ELECTRICAL LINE
- UGE — EXISTING UNDER GROUND ELECTRICAL LINE
- ⊙ EXISTING STREET LIGHT
- ⊡ EXISTING STREET LIGHT JUNCTION BOX
- 8"WW — WW EXISTING WASTEWATER MANHOLE & PIPE
- ⊙ EXISTING CATCH BASIN
- TP1 ⊙ EXISTING TEST PIT
- ⊙ EXISTING TREES



Existing Conditions Map

for
Florence Dialysis
Lane County Oregon
Florence

DATE: 3/24/11

PROJECT No. 4163

SCALE: HORIZ. 1"=20'

VERT.

REVIEWED BY:

REVIEWED BY:

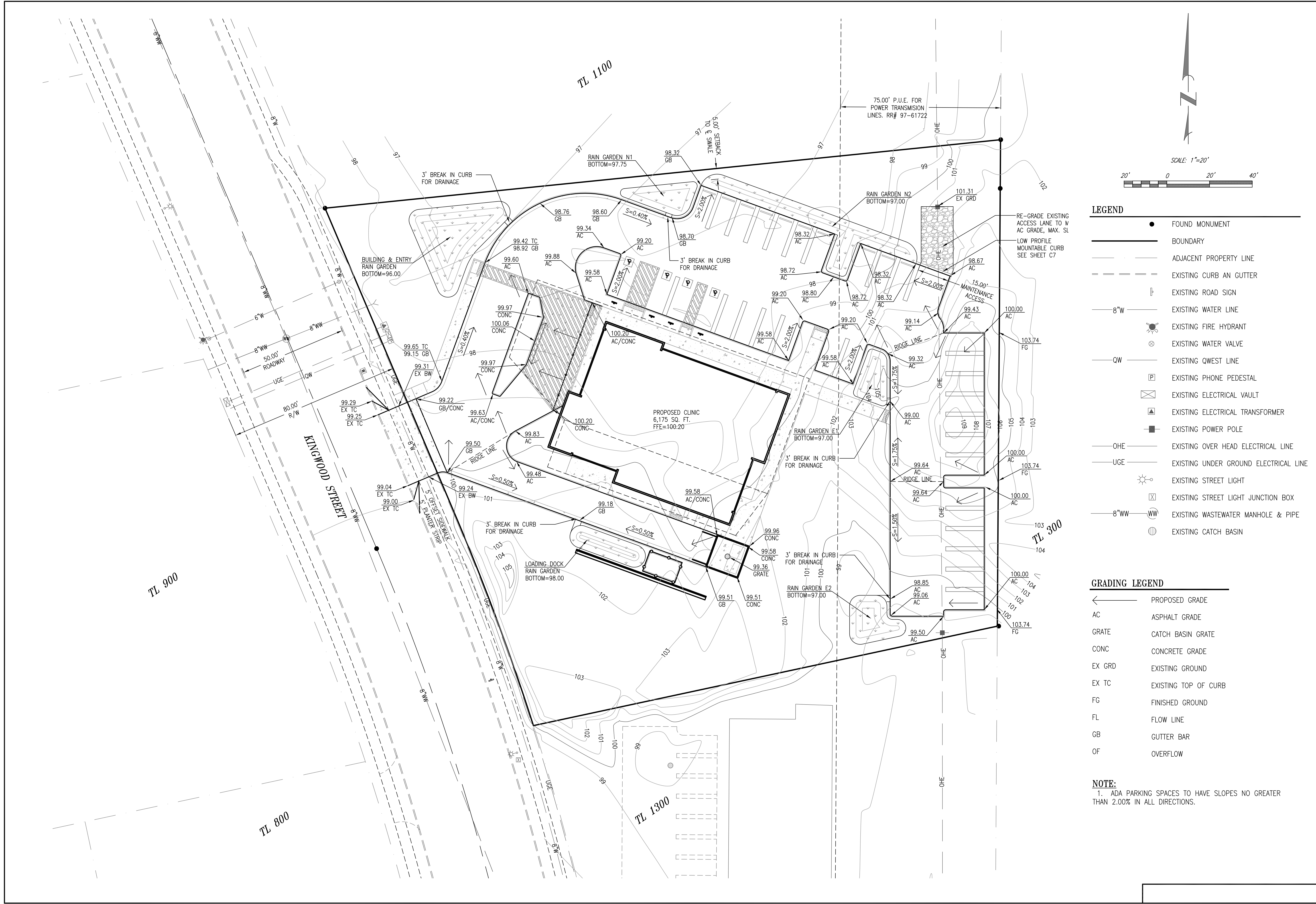
REVIEWED BY:

COA

REVISIONS:

1. UUA 8/2/11

SHEET
C1
of
7

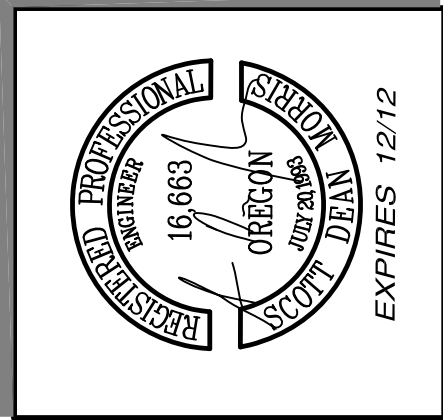


- LEGEND**
- FOUND MONUMENT
 - BOUNDARY
 - ADJACENT PROPERTY LINE
 - - - EXISTING CURB AN GUTTER
 - EXISTING ROAD SIGN
 - 8"W — EXISTING WATER LINE
 - EXISTING FIRE HYDRANT
 - EXISTING WATER VALVE
 - QW — EXISTING QWEST LINE
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 - EXISTING ELECTRICAL VAULT
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 - EXISTING STREET LIGHT
 - EXISTING STREET LIGHT JUNCTION BOX
 - 8"W — EXISTING WASTEWATER MANHOLE & PIPE
 - EXISTING CATCH BASIN

- GRADING LEGEND**
- PROPOSED GRADE
 - AC ASPHALT GRADE
 - GRATE CATCH BASIN GRATE
 - CONC CONCRETE GRADE
 - EX GRD EXISTING GROUND
 - EX TC EXISTING TOP OF CURB
 - FG FINISHED GROUND
 - FL FLOW LINE
 - GB GUTTER BAR
 - OF OVERFLOW

NOTE:
1. ADA PARKING SPACES TO HAVE SLOPES NO GREATER THAN 2.00% IN ALL DIRECTIONS.

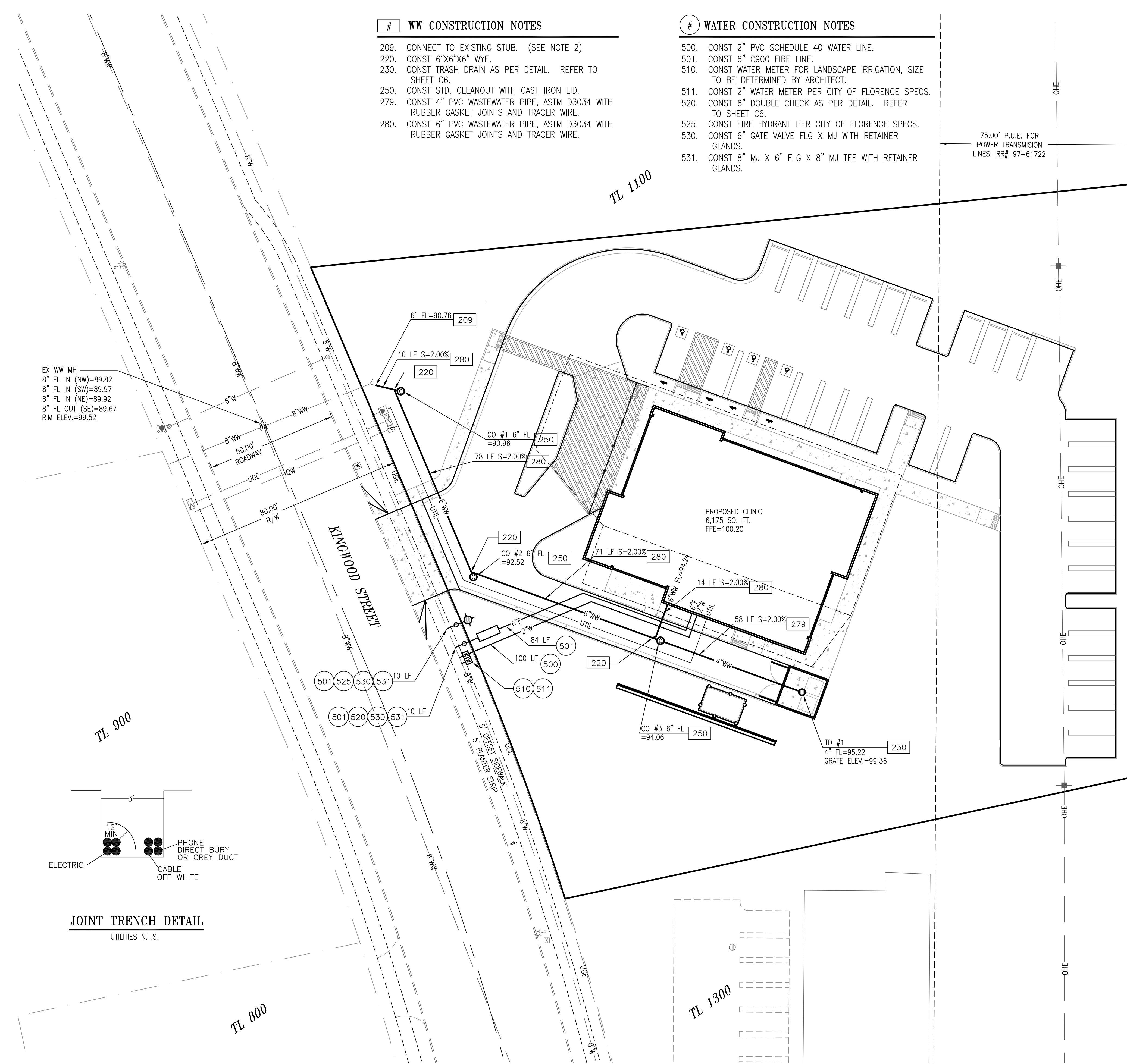
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380 Q ST. SUITE 200
SPRINGFIELD, OR 97477
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scott@olsonmorris.com



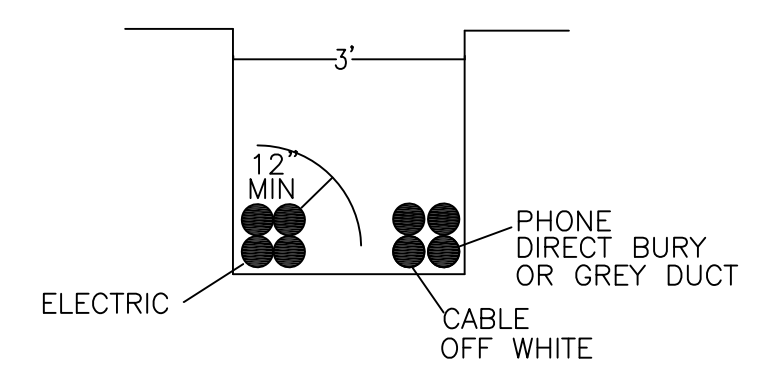
Site Grading Plan
for
Florence Dialysis
Lane County Oregon
Florence

DATE:	3/24/11
PROJECT No:	4163
SCALE:	HORIZ. 1"=20'
VERT.	
REVIEWED BY:	
REVIEWED BY:	
REVIEWED BY:	
COA:	

REVISIONS:	
1. UUA 8/2/11	



EX WW MH
8" FL IN (NW)=89.82
8" FL IN (SW)=89.97
8" FL IN (NE)=89.92
8" FL OUT (SE)=89.67
RIM ELEV.=89.52



JOINT TRENCH DETAIL
UTILITIES N.T.S.

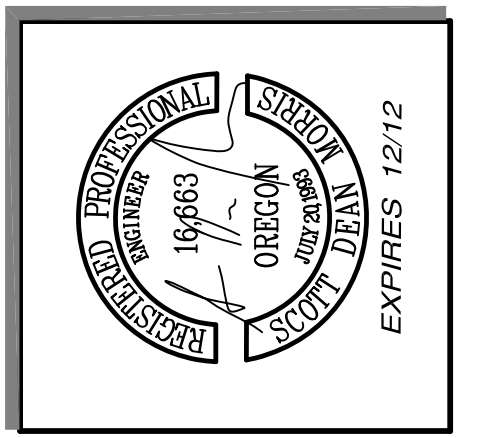
- WW CONSTRUCTION NOTES**
- 209. CONNECT TO EXISTING STUB. (SEE NOTE 2)
 - 220. CONST 6"x6"x6" WYE.
 - 230. CONST TRASH DRAIN AS PER DETAIL. REFER TO SHEET C6.
 - 250. CONST STD. CLEANOUT WITH CAST IRON LID.
 - 279. CONST 4" PVC WASTEWATER PIPE, ASTM D3034 WITH RUBBER GASKET JOINTS AND TRACER WIRE.
 - 280. CONST 6" PVC WASTEWATER PIPE, ASTM D3034 WITH RUBBER GASKET JOINTS AND TRACER WIRE.

- WATER CONSTRUCTION NOTES**
- 500. CONST 2" PVC SCHEDULE 40 WATER LINE.
 - 501. CONST 6" C900 FIRE LINE.
 - 510. CONST WATER METER FOR LANDSCAPE IRRIGATION, SIZE TO BE DETERMINED BY ARCHITECT.
 - 511. CONST 2" WATER METER PER CITY OF FLORENCE SPECS.
 - 520. CONST 6" DOUBLE CHECK AS PER DETAIL. REFER TO SHEET C6.
 - 525. CONST FIRE HYDRANT PER CITY OF FLORENCE SPECS.
 - 530. CONST 6" GATE VALVE FLG X MJ WITH RETAINER GLANDS.
 - 531. CONST 8" MJ X 6" FLG X 8" MJ TEE WITH RETAINER GLANDS.

- LEGEND**
- BOUNDARY
 - ADJACENT PROPERTY LINE
 - EXISTING CURB AN GUTTER
 - EXISTING ROAD SIGN
 - EXISTING WATER LINE
 - EXISTING FIRE HYDRANT
 - EXISTING WATER VALVE
 - PROPOSED DOMESTIC WATER LINE
 - PROPOSED FIRE LINE
 - PROPOSED WATER VALVE
 - PROPOSED FIRE HYDRANT
 - EXISTING QWEST LINE
 - EXISTING PHONE PEDESTAL
 - EXISTING ELECTRICAL VAULT
 - EXISTING ELECTRICAL TRANSFORMER
 - EXISTING POWER POLE
 - EXISTING OVER HEAD ELECTRICAL LINE
 - EXISTING UNDER GROUND ELECTRICAL LINE
 - EXISTING STREET LIGHT
 - EXISTING STREET LIGHT JUNCTION BOX
 - PROPOSED UTILITIES (ELECTRIC, CABLE & PHONE)
 - EXISTING WASTEWATER MANHOLE & PIPE
 - PROPOSED WASTEWATER SYSTEM
 - PROPOSED CLEANOUT
 - EXISTING CATCH BASIN

- NOTES:**
- LOCATION OF UTILITIES ON SITE ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY PRIOR TO CONSTRUCTION. ONE CALL #811.
 - CONTRACTOR SHALL POTHOLE EXISTING WASTEWATER LATERAL AND VERIFY, IN COORDINATION WITH THE PROJECT ENGINEER, FLOW LINE ELEVATION PRIOR TO CONSTRUCTION.
 - CONTRACTOR SHALL COORDINATE TAPS TO CITY WATER MAIN WITH CITY OF FLORENCE PUBLIC WORKS.
 - CONTRACTOR SHALL COORDINATE UTILITY WORK WITH SERVICE PROVIDERS.
ELECTRIC - CENTRAL LINCOLN PEOPLES UTILITY DISTRICT
PHONE - QWEST
 - NO NATURAL GAS AT SITE.
 - PHONE, CABLE & ELECTRIC PROPOSED TO BE JOINT TRENCH PER DETAIL.
 - SEE SHEET C7 FOR THRUST BLOCKING DETAILS FOR WATER SYSTEM.

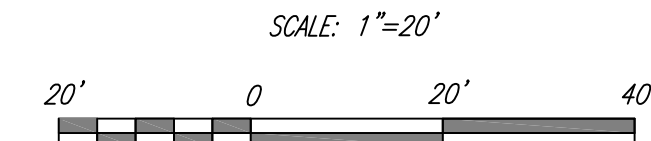
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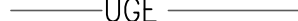








Site Utility / Wastewater Plan
for
Florence Dialysis
Lane County Oregon
Florence

DATE:	3/24/11
PROJECT No:	4163
SCALE:	1"=20'
REVIEWED BY:	NAME
REVIEWED BY:	NAME
COA:	NAME

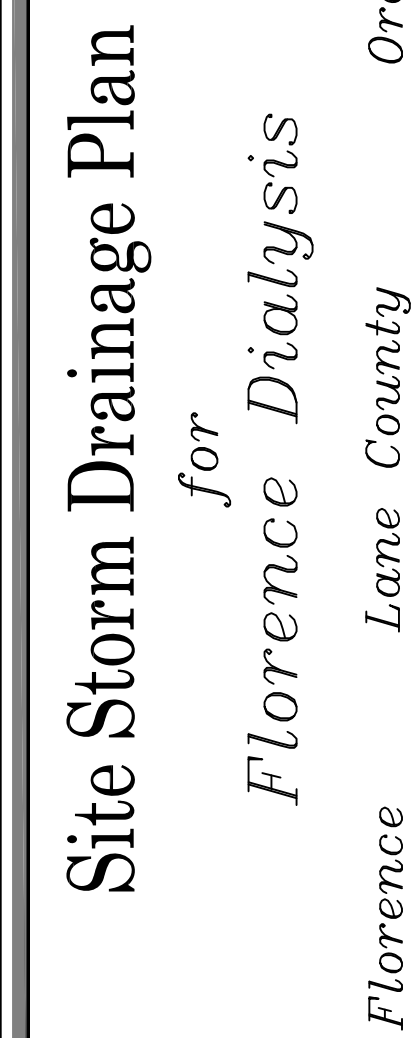
REVISIONS:	
1. JUA 8/2/11	



- | | |
|---|---------------------------------------|
|  | FOUND MONUMENT |
|  | BOUNDARY |
|  | ADJACENT PROPERTY LINE |
|  | EXISTING CURB OR GUTTER |
|  | EXISTING ROAD SIGN |
|  | EXISTING WATER LINE |
|  | EXISTING FIRE HYDRANT |
|  | EXISTING WATER VALVE |
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|  | EXISTING STREET LIGHT |
|  | EXISTING STREET LIGHT JUNCTION BOX |
|  | EXISTING WASTEWATER MANHOLE & PIPE |
|  | EXISTING CATCH BASIN |
|  | PROPOSED STORM DRAINAGE PIPE |
|  | PROPOSED CLEANOUT |

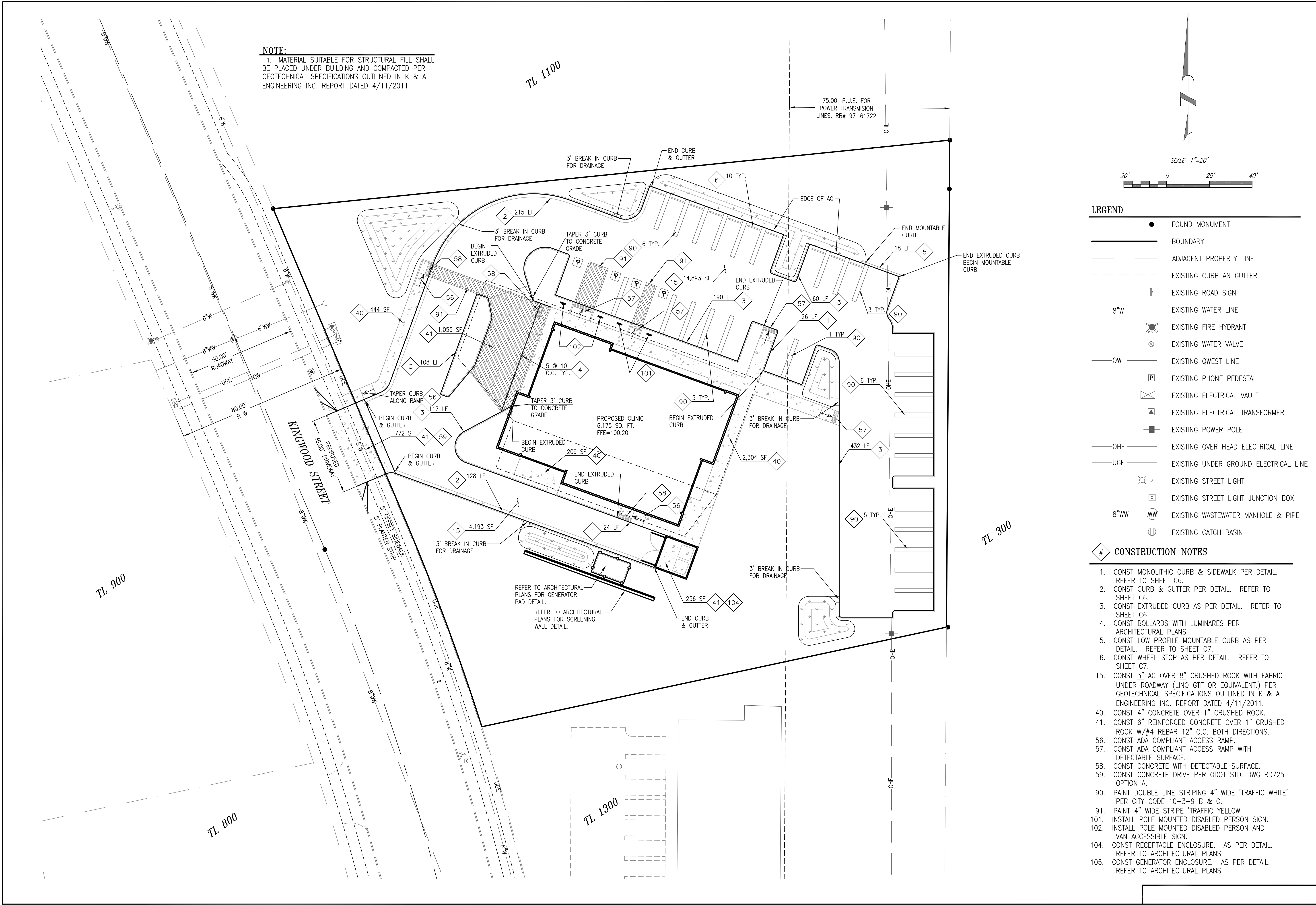
419. CONST 4"x4"x4" WYE.
420. CONST 4"x6"x4" TEE.
444. CONST INFILTRATION RAIN GARDEN AS PER DETAIL.
REFER TO SHEET C7.
446. CONST 3' BREAK IN CURB WITH 6" ROUND ROCK
SPLASH PAD PER DETAIL.
450. CONST STD. CLEANOUT WITH CAST IRON LID.
477. CONST 4" STORM DRAIN PIPE, ABS SCHEDULE 40 DWV
W/RUBBER GASKET JOINTS.
478. CONST 6" STORM DRAIN PIPE, ABS SCHEDULE 40 DWV
W/RUBBER GASKET JOINTS.

NOTE:
1. ALL ROOF AREAS TO BE TIED TO PIPING SHOWN.
DOWNSPOUTS NOT ALLOWED TO DAYLIGHT ONTO PARKING
OR DRIVE AREAS.



REVISIONS:
1. LUA 8/2/11

SHEET
C4
of
7

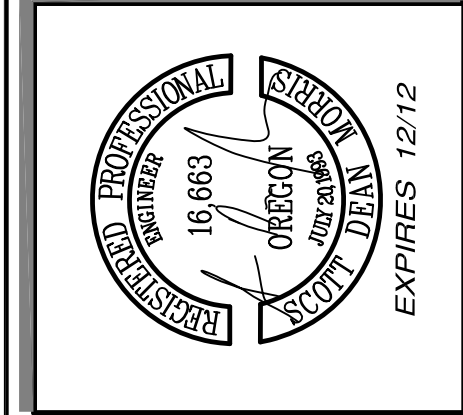


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 - QW EXISTING QWEST LINE
 - EXISTING PHONE PEDESTAL
 - EXISTING ELECTRICAL VAULT
 - EXISTING ELECTRICAL TRANSFORMER
 - EXISTING POWER POLE
 - OHE EXISTING OVER HEAD ELECTRICAL LINE
 - UGE EXISTING UNDER GROUND ELECTRICAL LINE
 - EXISTING STREET LIGHT
 - EXISTING STREET LIGHT JUNCTION BOX
 - 8"W EXISTING WASTEWATER MANHOLE & PIPE
 - EXISTING CATCH BASIN

CONSTRUCTION NOTES

1. CONST MONOLITHIC CURB & SIDEWALK PER DETAIL. REFER TO SHEET C6.
2. CONST CURB & GUTTER PER DETAIL. REFER TO SHEET C6.
3. CONST EXTRUDED CURB AS PER DETAIL. REFER TO SHEET C6.
4. CONST BOLLARDS WITH LUMINAIRES PER ARCHITECTURAL PLANS.
5. CONST LOW PROFILE MOUNTABLE CURB AS PER DETAIL. REFER TO SHEET C7.
6. CONST WHEEL STOP AS PER DETAIL. REFER TO SHEET C7.
15. CONST 3" AC OVER 8" CRUSHED ROCK WITH FABRIC UNDER ROADWAY (LINQ GTF OR EQUIVALENT.) PER GEOTECHNICAL SPECIFICATIONS OUTLINED IN K & A ENGINEERING INC. REPORT DATED 4/11/2011.
40. CONST 4" CONCRETE OVER 1" CRUSHED ROCK.
41. CONST 6" REINFORCED CONCRETE OVER 1" CRUSHED ROCK W/#4 REBAR 12" O.C. BOTH DIRECTIONS.
56. CONST ADA COMPLIANT ACCESS RAMP.
57. CONST ADA COMPLIANT ACCESS RAMP WITH DETECTABLE SURFACE.
58. CONST CONCRETE WITH DETECTABLE SURFACE.
59. CONST CONCRETE DRIVE PER ODOT STD. DWG RD725 OPTION A.
90. PAINT DOUBLE LINE STRIPING 4" WIDE 'TRAFFIC WHITE' PER CITY CODE 10-3-9 B & C.
91. PAINT 4" WIDE STRIPE 'TRAFFIC YELLOW'.
101. INSTALL POLE MOUNTED DISABLED PERSON SIGN.
102. INSTALL POLE MOUNTED DISABLED PERSON AND VAN ACCESSIBLE SIGN.
104. CONST RECEPTACLE ENCLOSURE. AS PER DETAIL. REFER TO ARCHITECTURAL PLANS.
105. CONST GENERATOR ENCLOSURE. AS PER DETAIL. REFER TO ARCHITECTURAL PLANS.

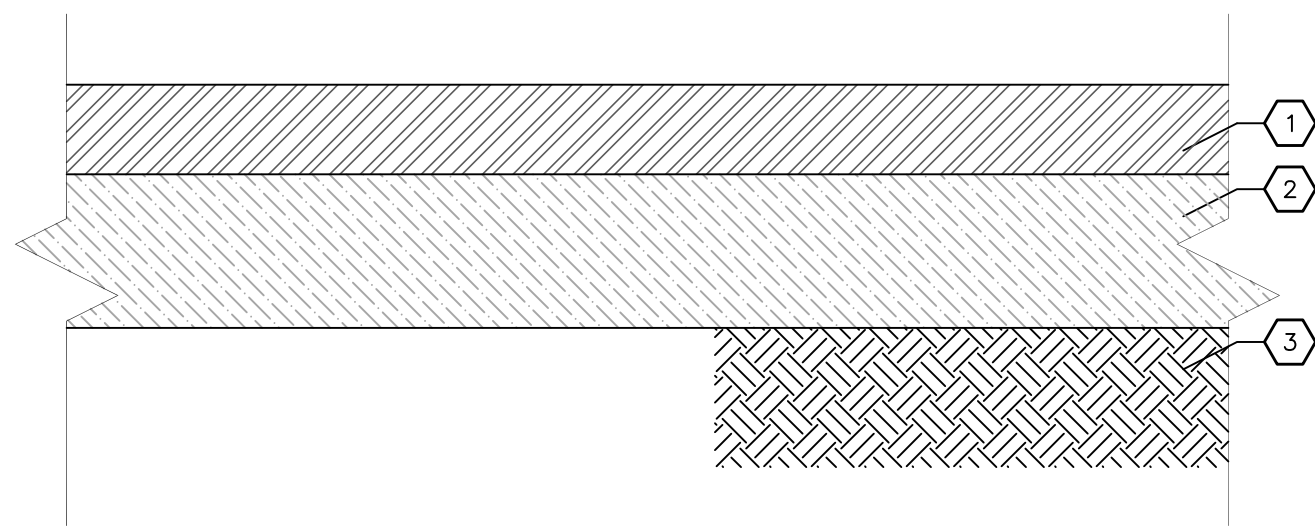
Olson & Morris
Consulting Engineers & Surveyors
380 Q ST. SUITE 200
SPRINGFIELD, OR 97477
PHONE: (541) 302-9790
FAX: (541) 485-3253
scott@olsonmorris.com



Site Paving Plan
for
Florence Dialysis
Lane County Oregon
Florence

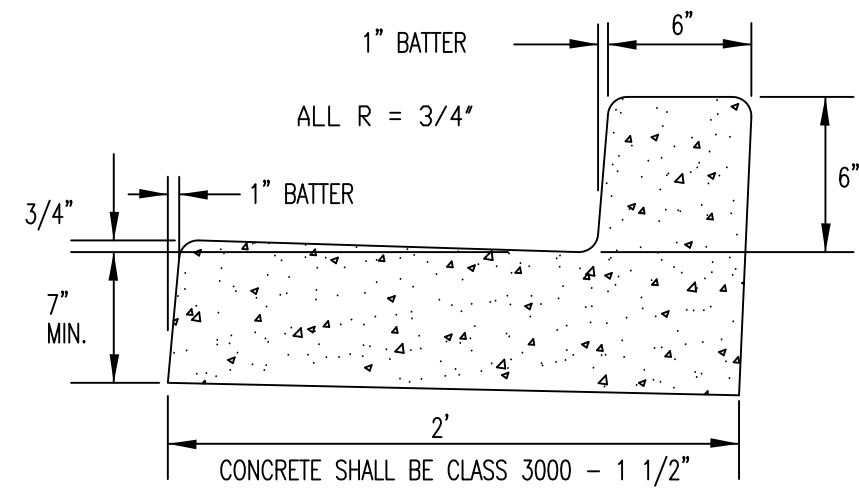
DATE:	3/24/11
PROJECT NO:	4163
SCALE:	1"=20'
REVIEWED BY:	NAME
REVIEWED BY:	NAME
COA:	NAME

REVISIONS:	
1. UUA	8/2/11

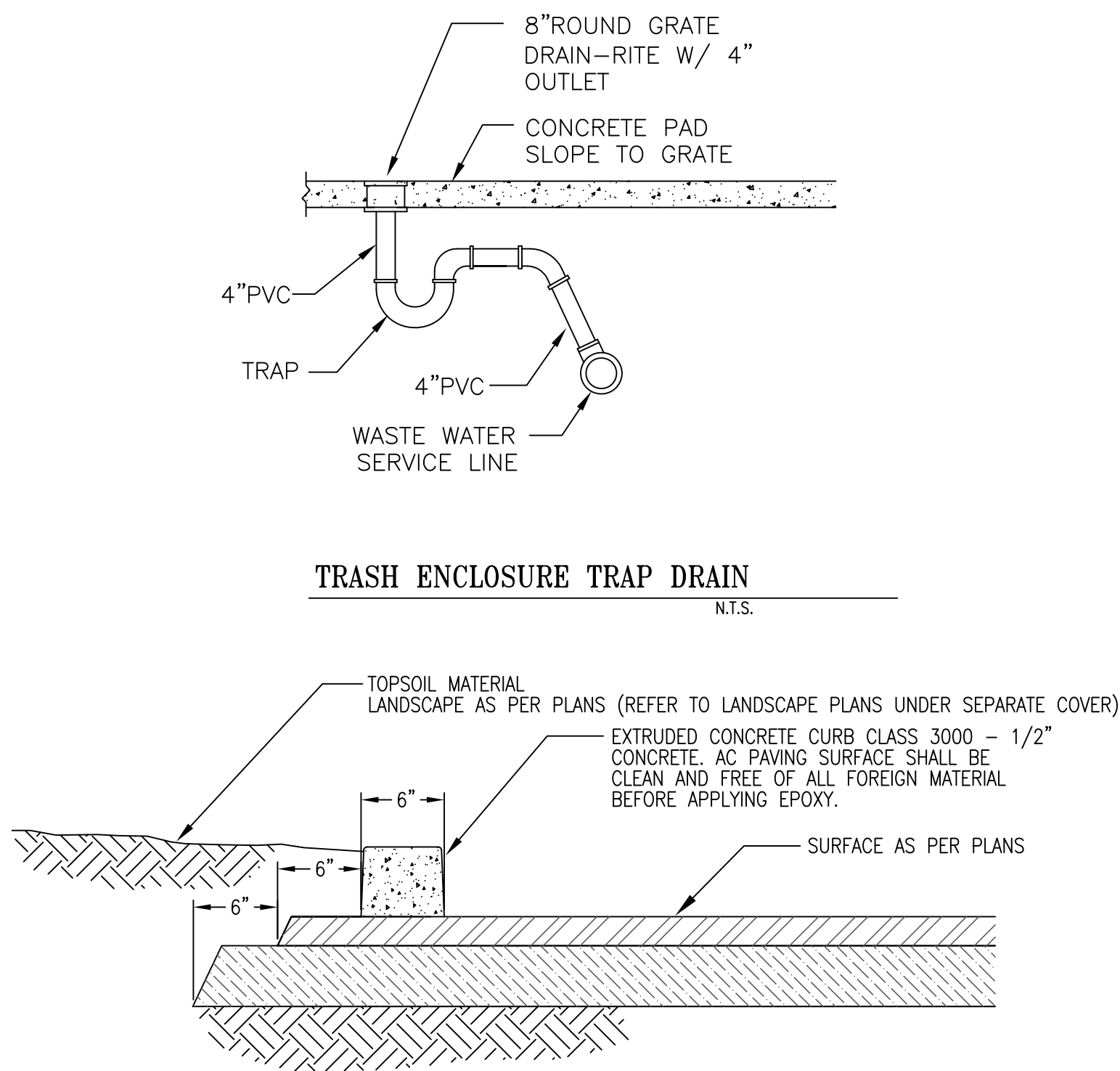


PAVEMENT SECTION DETAIL
N.T.S.

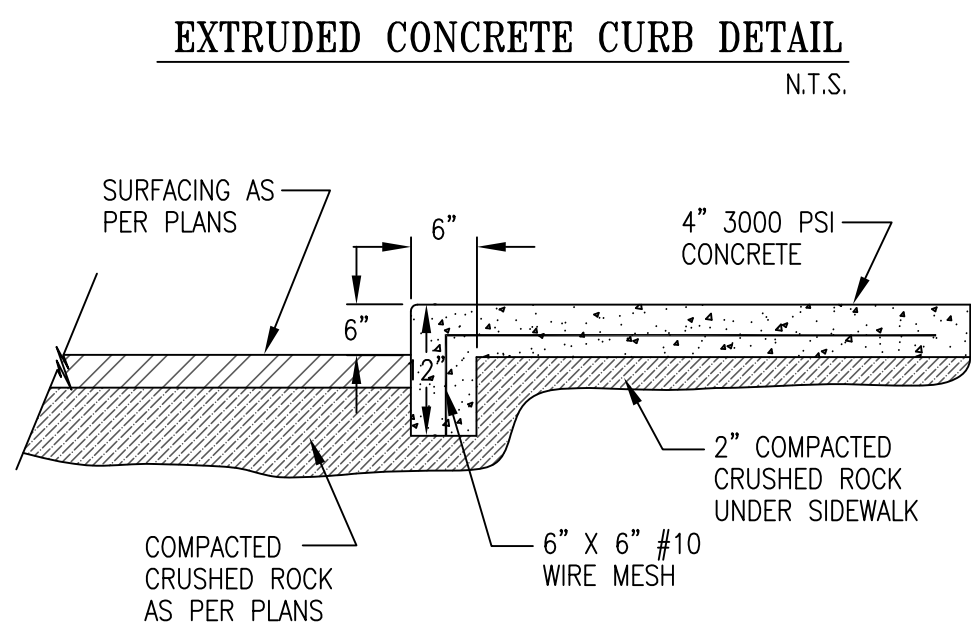
- KEYED NOTES**
- 1 3" ASPHALT PAVING- 3" 3/4" HMAC
 - 2 8" (MIN.) CLEAN, GRADED AND COMPACTED STONE (NO SLAG).
 - 3 WELL-DRAINED SUB-GRADE COMPACTED TO A MIN. 95% OF MAX. AS DETERMINED BY ASTM D698 (STANDARD PROCTOR)



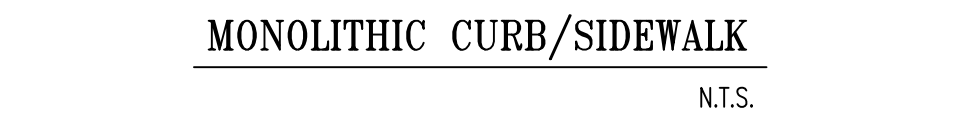
STANDARD CURB AND GUTTER DETAIL
N.T.S.



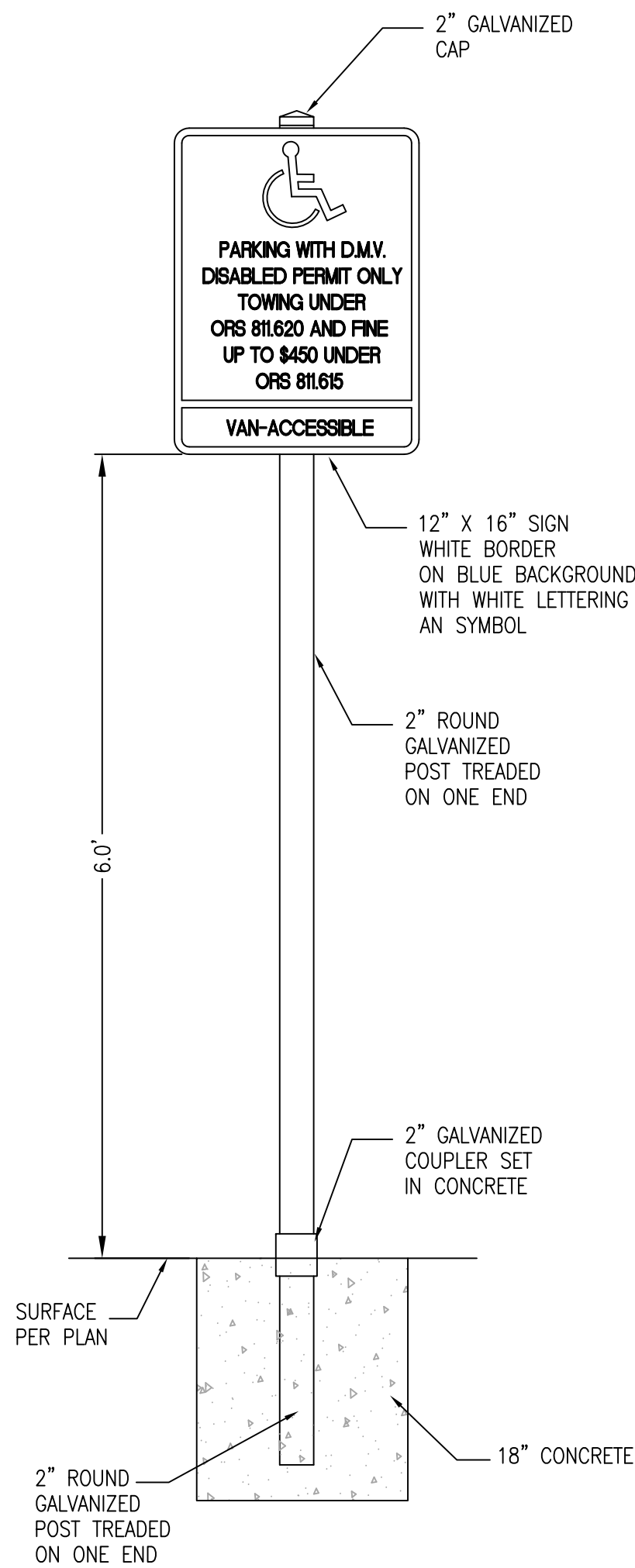
TRASH ENCLOSURE TRAP DRAIN
N.T.S.



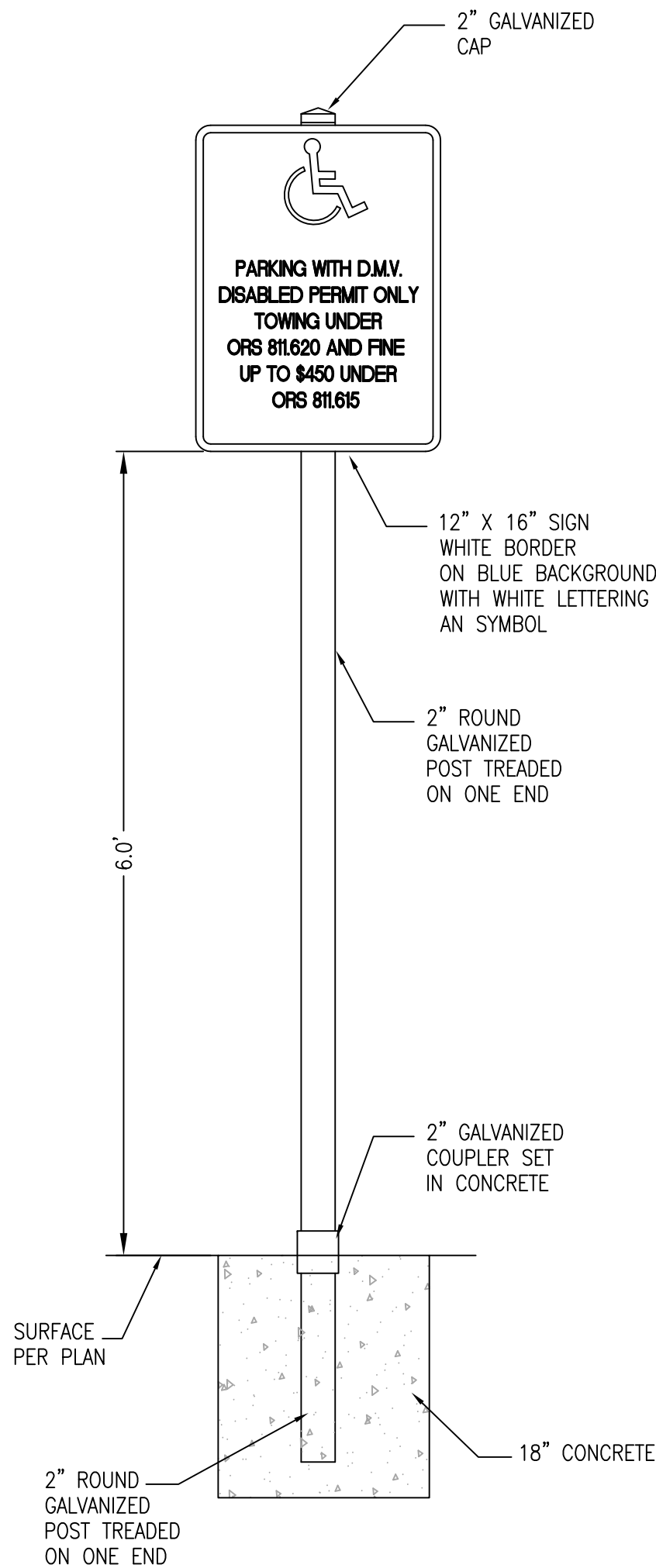
EXTRUDED CONCRETE CURB DETAIL
N.T.S.



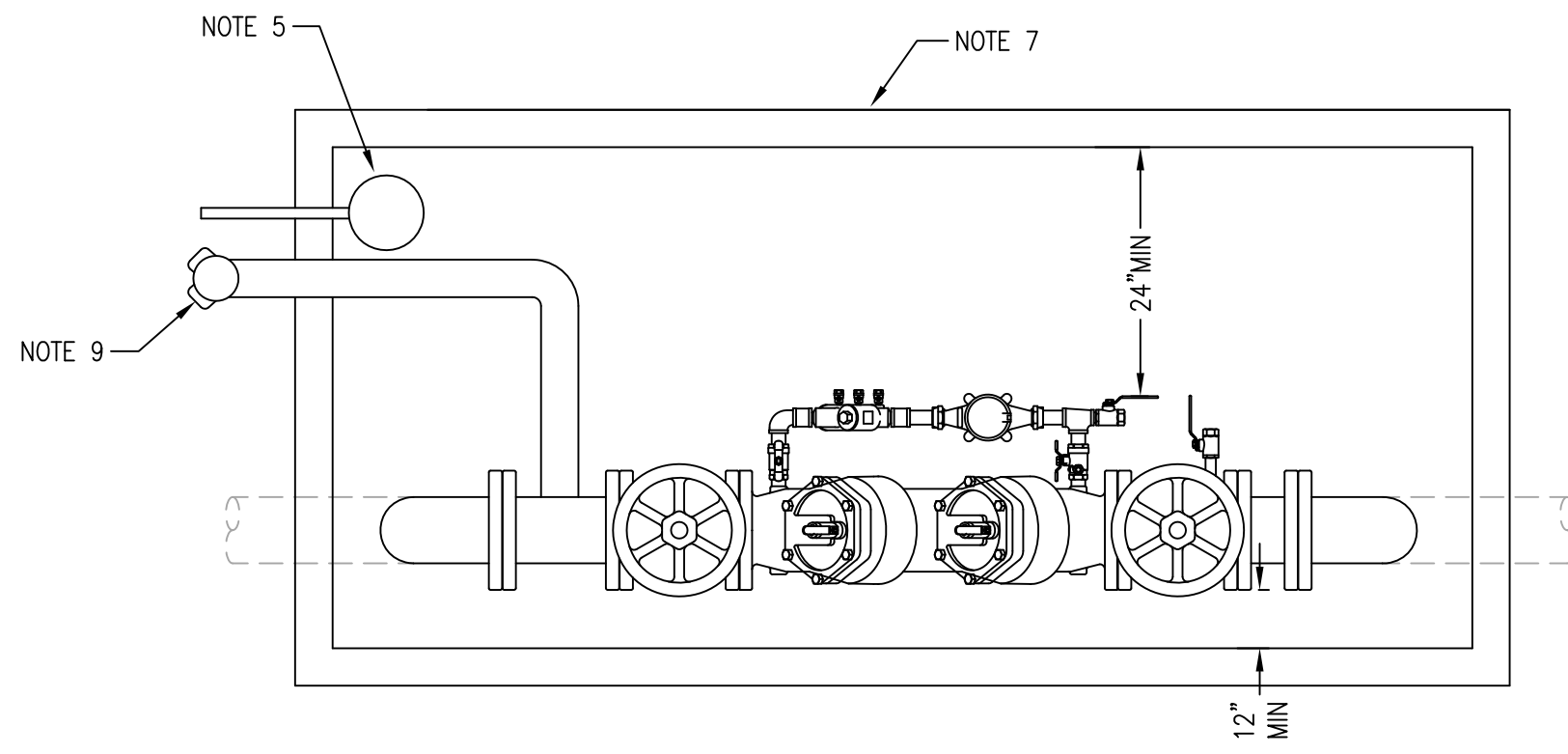
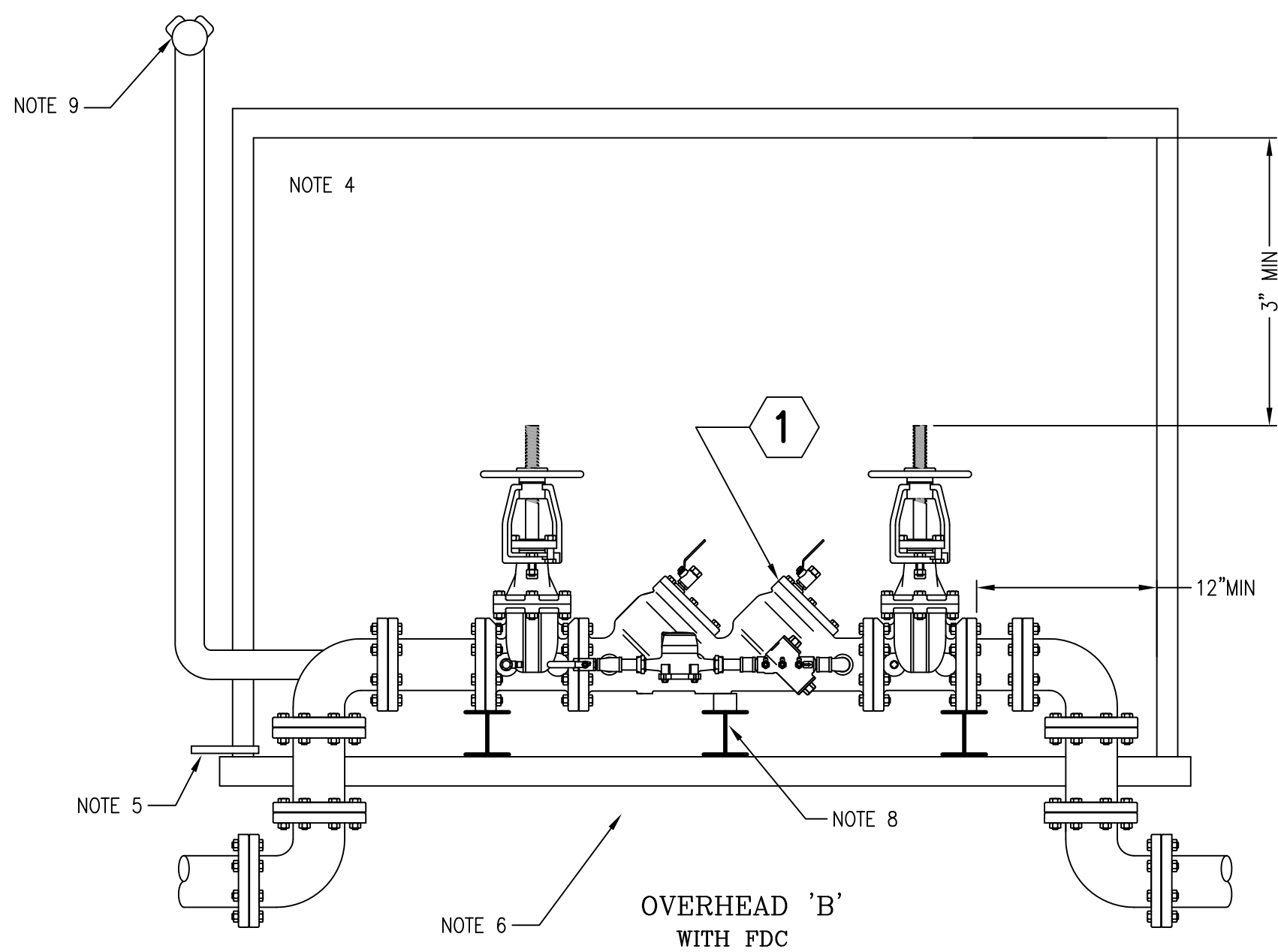
MONOLITHIC CURB/SIDEWALK
N.T.S.



POLE MOUNTED ADA W/VAN
ACCESSIBLE SIGN DETAIL
N.T.S.



POLE MOUNTED ADA SIGN DETAIL
N.T.S.

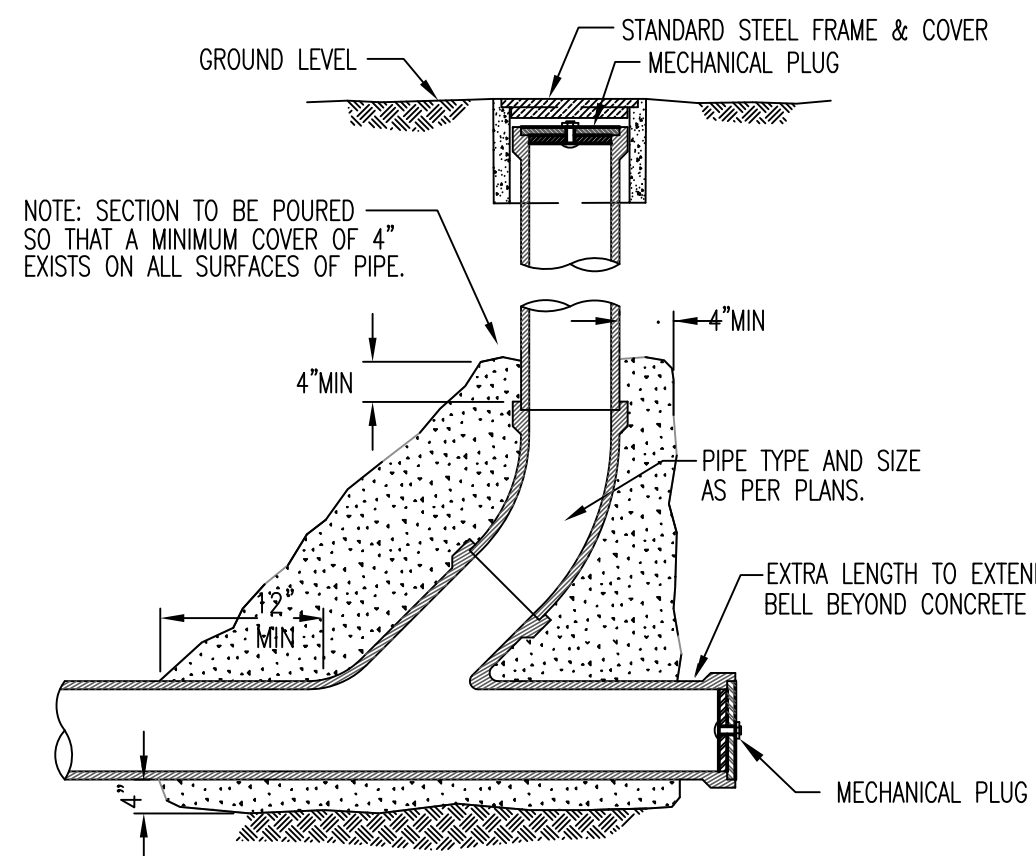


- 1 = APPROVED DETECTOR DOUBLE CHECK ASSEMBLY INCLUDING FACTORY SUPPLIED SHUTOFF VALVES.

DETECTOR DOUBLE CHECK ASSEMBLY
2-1/2" - 10", BELOW GROUND
N.T.S.

NOTES:

1. Detector double check vault or enclosure shall be installed at point of service, or in an alternate location approved by serving utility for their respective service area, but no more than 10 feet from point of service.
2. Detector double check assembly may be installed vertically, provided that the assembly:
 - a) is internally spring loaded (not weighted checks)
 - b) is 4" or smaller
 - c) is recommended by the manufacturer for vertical installations
 - d) has the normal flow upward
3. All clearances apply to outside and in-building installations.
4. Insulation - freeze protection to be installed and/or heat source to keep enclosure at a minimum temperature of 40°F (NFPA 13-4-5.4.1).
5. Sump Pump drain to proposed storm drainage system.
6. Compacted gravel or undisturbed base.
7. Service provider approved under ground concrete vault.
8. All assemblies 2-1/2" and larger shall have flange supports.
9. Fire department connection to be 5" Storz fitting.
10. Contractor to coordinate electrical conduit location with electrical contractor.



CLEAN OUT DETAIL
N.T.S.

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FAX: (541) 485-3253
scott@olsonmorris.com

REGISTERED PROFESSIONAL
16,663
OREGON
EXPIRES 12/12

Civil Details
for
Florence Dialysis
Lane County Oregon
Florence

DATE: 3/24/11
PROJECT No: 4163
SCALE: 1/8"=1'-0"
REVIEWED BY: N.E.P.
REVIEWED BY: N.E.P.
COA: N.E.P.

REVISIONS:
1. U.A. 8/2/11

SHEET
C6
of
7

BEARING AREA OF THRUST BLOCKS IN SQ. FT.						
FITTING SIZE	TEE, WYE AND HYDRANT	STRADDLE BLOCK	90° BEND PLUGGED CROSS TEE PLUGGED ON RUN	45° BEND	22 1/2° BEND	11 1/4° BEND
4	1.3	1.6	1.8	1.0		
6	2.8	3.7	4.0	2.2	1.1	
8	5.0	6.5	7.1	3.8	2.0	1.0
10	7.9	10.2	11.1	6.0	3.1	1.5
12	11.3	14.7	16.0	8.7	4.4	2.2
16	20.1	26.1	28.4	15.4	7.8	3.9
20	31.4	40.8	44.4	24.0	12.3	6.2
24	45.2	58.8	64.0	34.6	17.7	8.9

VALUES BASED ON 200 PSI WATER PRESSURE & 2,000 PSF SOIL BEARING CAPACITY.

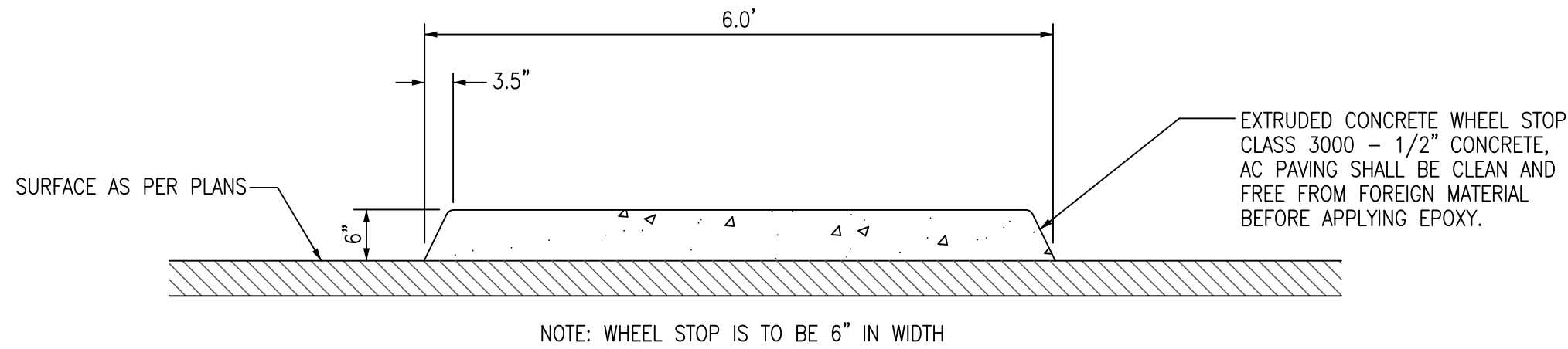
TABLE No. 1 HORIZONTAL BLOCKING

THRUST BLOCK VOLUMES IN CU. YDS.			
FITTING SIZE	45° BEND	22 1/2° BEND	11 1/4° BEND
4	1.1	0.4	0.2
6	2.7	1.0	0.4
8	4.0	1.5	0.6
10	6.0	2.3	0.9
12	8.5	3.2	1.3
14	11.5	4.3	1.8
16	14.8	5.6	2.3

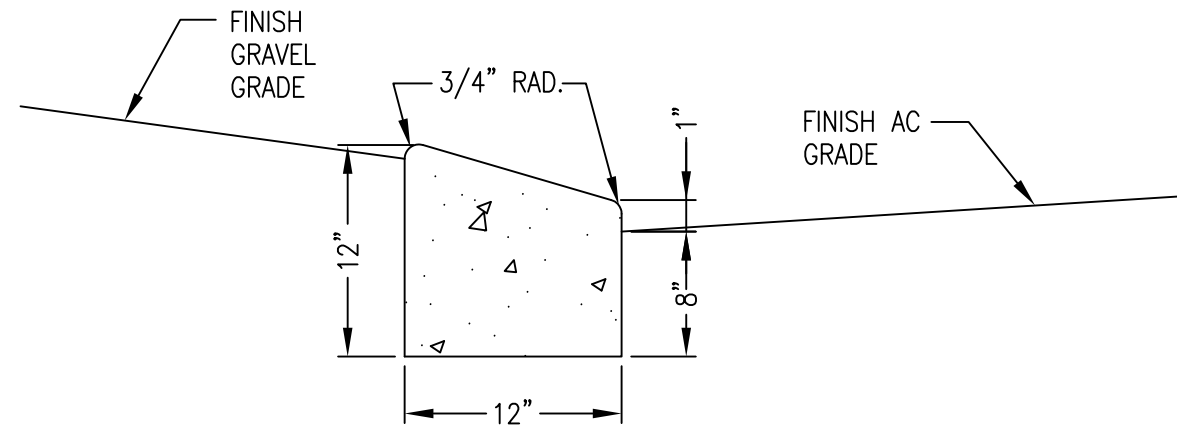
TABLE No. 2 VERTICAL BLOCKING

FITTING SIZE	ROD SIZE	EMBEDMENT
12" & LESS	#6	30"
14" - 16"	#8	36"

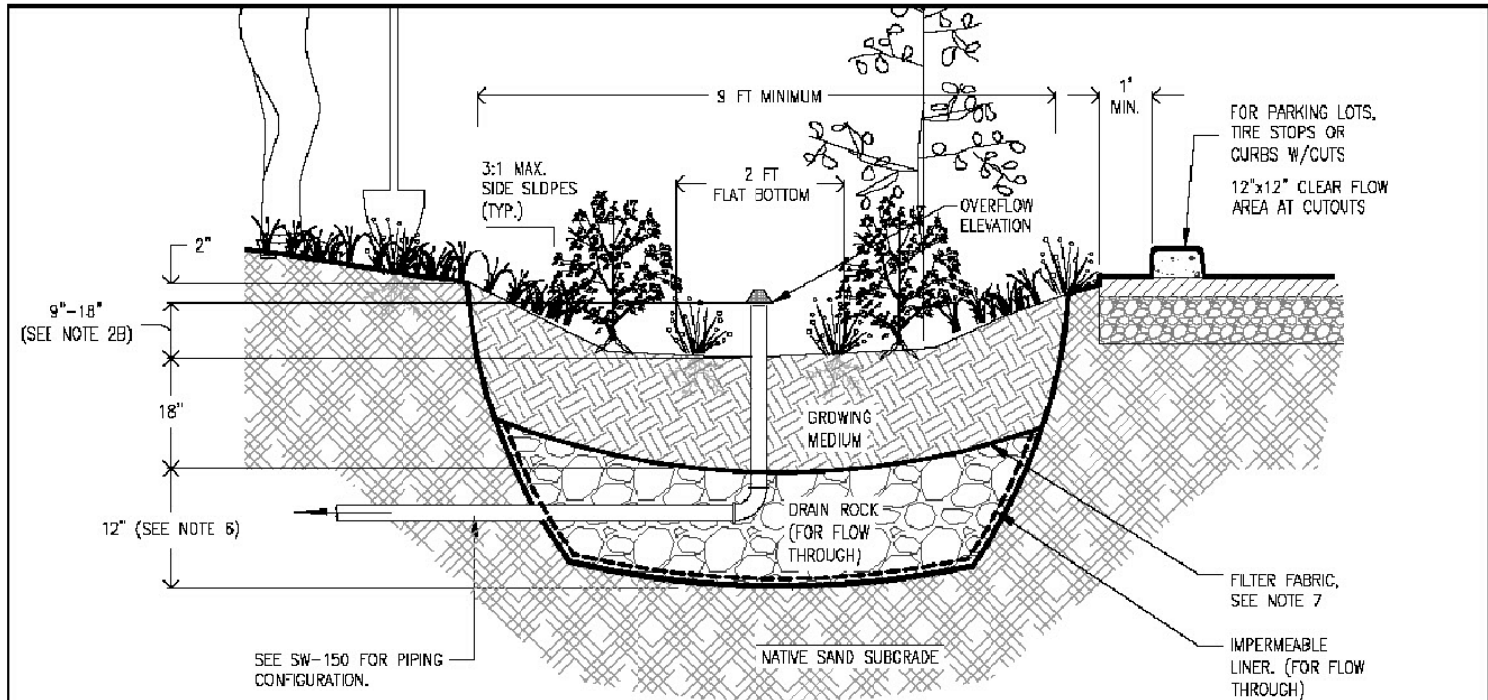
TABLE No. 3 REINFORCING




WHEEL STOP DETAIL
N.T.S.



LOW PROFILE MOUNTABLE CURB
N.T.S.



- Provide protection from all vehicle traffic, equipment staging, and foot traffic in proposed infiltration areas prior to, during, and after construction.
- Dimensions:
 - Width of basin: 9' minimum.
 - Depth of basin (from top of growing medium to overflow elevation): Simplified: 12", Presumptive: 9'-10".
 - Flat bottom width: 2' min.
 - Side slopes of basin: 3:1 maximum.
- Setbacks (from midpoint of facility):
 - Infiltration basins must be 10' from foundations and 5' from property lines.
 - Flow-through outlets must be lined with connection to approved discharge point according to SWDM Section 2.1.
- Overflow:
 - Overflow required for Simplified Approach.
 - Inlet elevation must allow for 2" of freeboard, minimum.
 - Protect from debris and sediment with strainer or grate.
- Piping: shall be ABS Sch.40, cast iron, or PVC Sch.40. 3" pipe required for up to 1,500 sq ft of impervious area, otherwise 4" min. Piping must have 1% grade and follow the Uniform Plumbing Code.
- Drain rock:
 - None required for infiltration basin.
 - Size for flow-through basin: 3/4" washed.
- Separation between drain rock and growing medium: Use filter fabric (see SWDM Exhibit 2-6).
- Growing medium:
 - 18" minimum.
 - See Appendix B for specification.
- Vegetation: Follow landscape plans otherwise refer to plant list in SWDM Appendix G. Minimum container size is 1 gallon. # of plantings per 100sf of facility area:
 - Zone A (wet): 115 herbaceous plants OR 100 herbaceous plants and 4 shrubs.
 - Zone B (moderate to dry): 1 tree AND 3 large shrubs AND 4 medium to small shrubs.The delineation between Zone A and B shall be either at the outlet elevation or the check dam elevation, whichever is lowest.
- Install washed pea gravel or river rock to transition from inlets and splash pad to growing medium.
- Inspections: Call City of Florence Public Works (541) 997-4106 to schedule appropriate inspections.



STORMWATER MANAGEMENT MANUAL TYPICAL DETAILS

CITY OF FLORENCE

PUBLIC WORKS DEPARTMENT

285 Stevens Street
Florence, OR 97530
Phone: 541-997-4106

- Simplified / Presumptive Design Approach -

Rain Garden

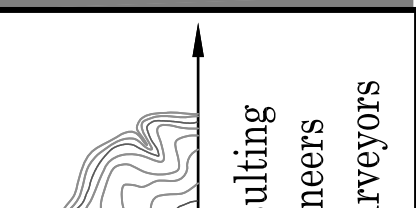
DATE: 11-30-10

NUMBER

SW-140

NOTE:
RAIN GARDENS FOR THIS PROJECT ARE DESIGNED TO BE INFILTRATION FACILITIES WITH NO OVERFLOW PIPING. SEE BELOW.

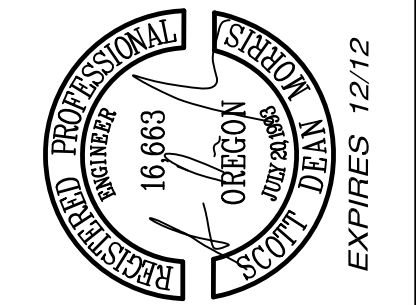
INFILTRATION
N.T.S.



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REGISTERED PROFESSIONAL ENGINEER

16,663

OREGON

EXPIRES 12/12

Civil Details for

Florence Dialysis

Florence Lane County Oregon

DATE: 3/24/11

PROJECT No. 4163

SCALE: 1/8"=1'-0"

REVIEWED BY: N.T.S.

REVIEWED BY: N.T.S.

COA: N.T.S.

REVISIONS:

1. LJA 8/2/11

SHEET

C7 of 7