

TO City of Florence Planning Department
FROM Hailey Sheldon on behalf of David Bielenberg and Mike Johnson
SUBJECT Myrtle Glen Subdivision: Addendum to Final PUD Application / Response to Notice of Incompleteness
DATE October 16, 2023
ENCLOSED New Attachments to Final PUD Application:
5. Architectural Plans for Triplexes
6. Paint Colors Plan
7. Depiction of Proposed Design vs Old Town & Mainstreet Architectural Standards

Please accept below our responses (in black font) to your 10/02/2023 Notice of Incompleteness (in grey).

6.2 The applicant shall provide a minimum 5-foot rear yard setback for each individual lot in compliance with FCC 10-10-4-D.

- Applicant narrative states this information is included on Attachment 1 Sheet G1 Cover.
 - Sheet G1 does not include dimensions of the rear yard setback.
 - Include dimension to demonstrate the rear yard setback has been met and Condition 6.2 has been satisfied.
- Applicant narrative states Attachment 2, Sheet S1 depicts the rear porch dimensions / protrusion.
 - Sheet S1 depicts the rear porch and provides dimension. However, the rear porch is not a rear yard setback. The sheet indicates a 3-foot-deep concrete landing and 11 ¼" step.
 - A rear lot line and evidence the 5-foot minimum setback is not satisfied with this image.

The applicant understands and agrees to provide a minimum 5-foot rear yard setback for each individual lot; our submitted civil plans depict this 5-foot rear setback.

Attachment 1 Sheet G1 Cover Sheet (which is to scale) satisfies this condition. Attachment 2, Sheet S1 depicts additional information (plans for porch and concrete landing). The porches are proposed to be built up to rear setback line; the (uncovered) concrete landings are proposed to be built in the back yards.

6.4 The applicant shall either provide long term bike parking that meets criteria in accordance with FCC 10-3-10-C or the applicant shall provide other long term bicycle parking onsite in accordance with FCC 10-3-10, this required long-term bicycle parking may either be located on individual sites or in common space. Long term bike parking will be verified prior to Certificate of Occupancy of each unit if provided on the individual lots, or with final PUD if provided in common or open space.

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By Clare Kurth at 11:23 am, Oct 16, 2023

- Applicant states long term bike parking to be located in individual lots. This can meet the condition provided Code criteria of FCC 10-3-10 are met.
 - Interior garage dimensions are not included in Attachment 2. Interior garage dimension are required to allow staff to calculate if FCC 10-3-10 criteria for long term bicycle parking can be met with design as proposed.

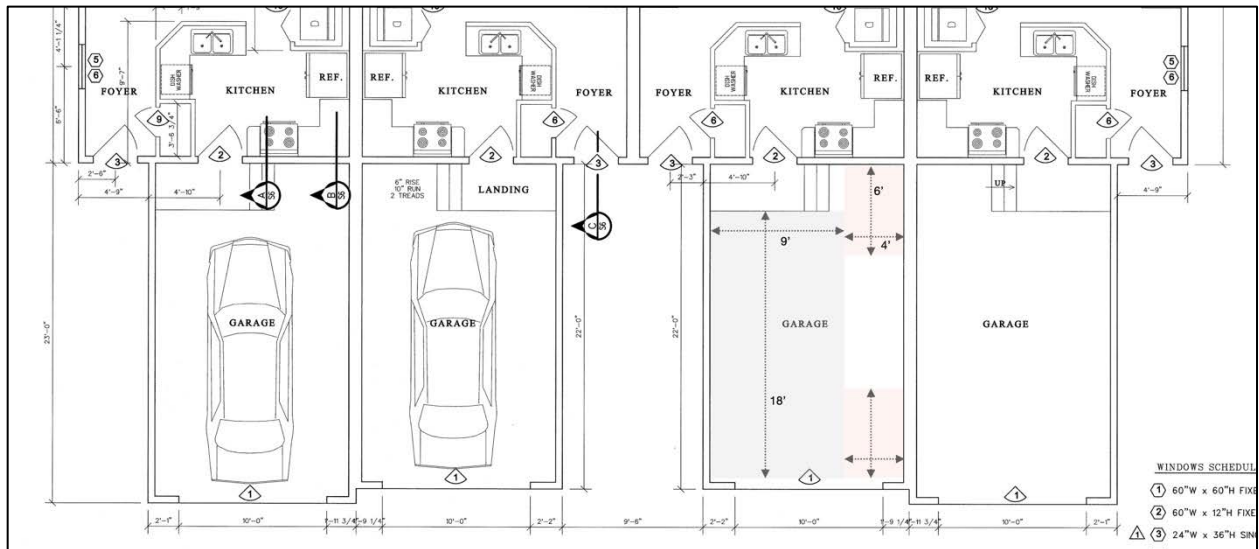
Long term bicycle parking is proposed to be located on individual lots.

Note the standard to be met:

10-3-10-C-1.: For residential developments that provide parking through a garage, bicycle parking may be provided as a wall-mounted rack located inside the garage. The minimum clearance distance from the wall to the automobile parking space shall be four feet (4’).

FCC 10-3-9-A: Motor vehicle parking spaces shall measure nine (9) feet and six (6) inches wide by nineteen (19) feet long.

Attachment 2 Sheet S2 depicts the interior dimensions of the garages, which are 13 feet wide and 22 to 23 feet deep. See below. The garages fit a standard city parking space (which is wider and longer than the vehicles which use them) and a 4x6’ bicycle space.



7.1. FCC 10-23-5-H-1 states high quality building design using Old Town and Mainstreet Architectural Standards or better. Different building facades and exterior design shall be used for each building grouping that meet the intent of FCC 10-6-6. This is to include but is not limited to a diversity of building materials and colors, window designs, garage door designs, roof eaves, light fixtures, driveway paving design/colors, and similar details etc. This shall be reviewed at final PUD.

- Applicant narrative Attachment 3 combined with the narrative included on pages 13-21 "satisfies Condition 7.1 because the proposed building design meets Old Town and Mainstreet Architectural Standards, and therefore the intent (and letter) of FCC 10-6-6."

- Condition 7.1 specifically requires each grouping of buildings to include a diversity of building materials, colors, window designs, etc. This condition is not met through Attachment 3 or the narrative statement.
 - All units and buildings appear to have the same materials and colors. This condition is not met.

Please see attached:

- New Exhibit 5: Architectural Plans for Triplexes
- New Exhibit 6: Paint Colors Plan

These new exhibits depict:

- Siding variation between buildings: triplex garage gables are proposed to be sided with Hardy cement board shingle patterned siding (as opposed to the Hardy plank horizontal lap siding on the fourplex garage gables).
- Depiction of paint color proposal

Our design proposes a diversity of building materials, colors, window designs, and “etc,” – both between buildings and units. These include:

1) Differences in building facades and exterior designs of buildings:

- Variation in paint colors between buildings.
- Variation in type of structure (triplexes and fourplexes)
- Variation in garage gable siding between triplexes and fourplexes

2) Differences in building facades and exterior designs of units:

- Variation in terracing between units. Only end units are proposed with 1’ deep terraces above the garage doors.
- Variation in rooflines between units. End units are proposed with lower garage rooflines than middle units.
- Variation in garage depth between units. The end unit garages protrude 1’ further into the driveway / towards 37th Street than the middle units.

3) Diversity of building materials and color:

- Diversity of siding:
 - Building siding:
 - Front, rear, and side elevations: Hardy plank cement horizontal lap siding
 - End gable siding:
 - Side elevations: Hardy cement board shingle patterned siding
 - Garage gables: varies between buildings between: Hardy cement board shingle patterned siding and Hardy plank horizontal lap siding.
- Diversity of other materials:
 - Doors and windows are proposed to be trimmed with wood.
 - Roof shingles are proposed to wrap over eave.
- Diversity of color:
 - Base paint color of each building proposed to alternate, as depicted on Attachment
- Diversity of window designs:

- Four types of windows are proposed for each unit, of varying sizes: fixed picture, half circle, single hung, and horizontal sliders.
- Note that the second floor dormer windows are true (not faux) dormers.
- See Attachment 2 Sheet S2 for the windows schedule.
- Diversity of garage door designs:
 - No diversity of garage *door* design is proposed. However, diversity of garage design is proposed:
 - Variation in garage gable siding. The garage gable siding is proposed to alternate between triplexes and fourplexes.
 - Variation in terracing. Only end units are proposed with 1' deep terraces above the garage doors.
 - Variation in garage depth. The end unit garages protrude 1' further into the driveway / towards 37th Street than the middle units.
 - Variation in garage rooflines. The garage rooflines vary between end and middle units.
- Diversity of roof eaves:
 - Roof eave elevation changes over the garages, front porches, and dormer windows.

7.1. (...cont...)

- The units as proposed do not meet FCC 10-6 design criteria for Old Town and Mainstreet architectural standards or better. Below is a list of examples where the design does not meet these standards. This is not meant to be an all-inclusive list.
 - FCC 10-6-6 states requirements "intended to create and maintain a built environment that is conducive to walking; reduces dependency on the automobile for short trips; provides natural surveillance of public spaces; creates a human-scale design, e.g., with buildings placed close to streets or other public ways."
 - Additional details and evidence to support the statements in FCC 10-6-6 are required.
 - Examples of items that are not included or met include, but are not limited to, a built environment conducive to walking; reduces dependency on the automobile for short trips (the most prominent feature of this PUD is the share parking and garages that are street facing) natural surveillance of the built environment (there are no front porches proposed and the only window facing public spaces are on the second floor).
 - FCC 10-6-6-2-B Historical Style Compatibility list 'Craftsman Bungalow' as a style example. The applicant narrative states the proposed architectural style is Craftsman.
 - Additional details are required to provide evidence the proposed house design meets a craftsman bungalow architectural style based on definitions provided in FCC 10-2 or Webster's Third New International Dictionary of the English Language, Unabridged which is considered a standard reference according to FCC 10-2-13.
 - FCC 10-6-6-5-D-4: Overhead doors shall not face the building's façade or a major public ROW.

- Applicant narrative argues that "Florence City Code prefers street facing garages ... " FCC 10-10-7-8-3 states the intent of attached single unit dwellings is to ensure minimal visual impact from vehicular use and storage areas. Florence City Code related to attached single unit dwellings specifically include intent to minimize visual impacts of vehicular storage such as garages and does not encourage street facing garages.

Note the standard to be met:

FCC 10-23-H-1: “The project shall meet the development standards for the underlying zone including but not limited to height, density, coverage, setbacks, lot area. However, the applicant may propose modifications to those standards as part of the PUD application without the need for a separate variance or adjustment application subject to FCC 10-5. For all proposed modifications, the applicant shall submit application and show how the proposed modification achieves the following: “1. High quality building design using Old Town and Mainstreet Architectural Standards or higher standards [...].”

Separately, but related: Condition 7.1 stipulates, in addition, that “Different building facades and exterior design shall be used for each building grouping that meet the intent of FCC 10-6-6.”

Our application narrative, pages 11-20, details (line by line) how the proposed design meets – and in some places exceeds – the overwhelming majority of Old Town and Mainstreet architectural standards – in order to demonstrate that we can meet the PUD standard of FCC 10-23-H-1. (In addition, our application narrative describes how we meet the diversity stipulation of Condition 7.1.)

Please see also new Attachment 7, which is a spreadsheet view of our proposal vs Old Town and Mainstreet architectural standards – intended to showcase we meet the overwhelming majority of those standards and therefore (and particularly with the addition of the diversity elements meeting Condition 7.1) – meet the standard of FCC 10-23-H-1.

7.2 The applicant shall submit a final grading plan illustrating all cuts and fills and final 1 ft. contours and grades to the edges of the development on all sides prior to final PUD.

- Applicant narrative states this information is included on Sheet C6 of Attachment 1. Please label the contours on the north side of the plan like provided in the southwest corner and north of Lot 23. The line type for "grading limits, typ" is overlain with other contours on the west side. Please label the grading limits where the dash dot line is not clearly visible.

Attachment 1 Sheet C6 Overall Site Grading Plan and Profile Views satisfies this condition. See Attachment 1 Sheet G3, which depicts the existing contours on site. Then see Attachment 1 Sheet C6 Overall Site Grading Plan and Profile Views. Sheet C6 depicts the limits of the grading area, over the existing contours.

7.3 With final PUD application a landscape and vegetation retention plan shall be submitted for the entire development. The buffer to the north shall include trees and shrubs planted or retained at a ratio of at least one tree per 30 ft. The Oak St. frontage and

the 37th St. frontage adjacent to unit 25 shall include landscaping consisting of at least one tree for every 30 feet of frontage. .

- Applicant narrative states Attachment 3 Landscaping Plan Satisfies this condition.
 - Details on the northern native vegetation buffer were not included. Staff is unable to determine based on landscaping plans submitted if trees along the northern property line will be retained at the minimum required one tree per 30 linear feet.
 - This portion of the condition is not met.
- Tree counts indicated on Attachment 3 Landscaping plan satisfy the tree requirements for street frontage requirements along Oak Street and 37h Street.

Attachment 3 Landscaping Plan satisfies this condition. As depicted on the plans and explained in the application narrative: the northern vegetative buffer is proposed to remain in place. This buffer area is approximately 5 feet deep, 650 feet long, and densely vegetated. Given all trees and shrubs are proposed to remain within this buffer, trees and shrubs will be retained at a ratio of at least one tree per 30 feet.

7.6 Open space shall be calculated using FCC 10-23-5-E criteria at 20% of the net development area and at least 25% of the 20% shall include area(s) designated and intended for recreation. As modifications are being requested to the development standards of the underlying zone, the recreation plan submitted at final PUD shall include more than the minimum required recreation area in accordance with FCC 10-23-5-H3 & 4. Due to the topographical constraints present on the site, exceeding minimum recreation requirements by may be provided through quality of amenities rather than increased square footage beyond minimum requirements, pending Planning Commission review and approval at final PUD.

The applicant proposes (1) a cumulative 5,854 square feet of recreational open space, exceeding the required recreational open space requirement of 10-23-5-E by 20 square feet (or 0.3%) and (2) 38,754 square feet of open space, exceeding the recreational open space requirement of 10-23-5-E by 15,419 square feet (or 66%). This is in addition to the private back porches.

7.7 A tentative concept plan with development amenities for the park area supporting both active and passive recreation shall be submitted with final PUD. Prior to issuance of the building permits for the fifth cluster of units the applicant shall submit and have approved a Final PUD approval for the proposed recreation area that is contained within the existing tax lots associated with this project.

- Applicant narrative states recreational open space is provided at 5,854 sq. ft. or 25% of the open space and required by the above conditions, which exceeds required recreational open space by 20 sq. ft.
 - Attachment 1, Sheet G5 indicates two open spaces. The Open space directly east of Lot 22 is proposed at 1,072 sq. ft. The open space on the western end of 37th St is proposed at 4,782 sq. ft.
 - Attachment 3 Landscaping Plans details the landscaping plan for these areas.
 - FCC 10-23-5-E specifies that open space must be platted for that purpose and that easements are not acceptable. Clarify how these areas are to reserved for open space.

Attachment 1 Sheet G5 Tentative Subdivision Plat depicts the proposed recreational open space areas “Recreational Open Space” and other open space/common area “Tract A.” If the City would like these areas labeled in a specific way on the final plat, please specify. The language on the final plat will match the corresponding deed restrictions/CCR stipulations.

- Additional details are required regarding the open space improvements and amenities. FCC 10-23-5-E-1 requires recreational open space to be developed to its intended use. Additional details are required for the walking path to demonstrate that this is built to suitable path standards.
- Applicant narrative states that "the HOA could choose to install additional amenities in these spaces."
 - Condition 7.7 requires a tentative concept plan and FCC 10-23-5 requires high-quality and durable amenities and incorporation of ADA accessibility features.
 - Additional details are required to meet these requirements

Attachment 3 Landscaping Plan, Sheet L1, Vegetation Detail Open Space A and Vegetation Detail Open Space B depict our proposal for the recreational open space areas.

As described in our application narrative: (1) these recreational (and other) open space areas may be used for dog walking, walking, yoga, and (2) the future HOA may choose to install additional amenities in these spaces, meeting their specific needs.

This proposal is not made to avoid developing recreational amenities.

This proposal is made based on the developers’ experience of residential demand. Lawns are more popular than individual-specific amenities, which go unused and unmaintained.

We find our proposal superior to a proposal to, for example, install a gazebo, playground equipment, barbeque pit. Those amenities (a) require maintenance, (b) complicate landscaping maintenance, (c) tend to go un-used in development which provide individual covered porches and back yards.

If the Planning Commission finds our proposal insufficient, we ask that the Planning Commission stipulate which amenity be developed in the recreational open space areas.

We ask that staff note:

- 1) We originally proposed less than the required 5% recreational space because (1) there are topographic constraints on subject property, (2) we exceed the 20% overall open space requirement by a significant amount (over 50%!).
- 2) We have now altered our proposal to develop the required 5% recreational space – and still (1) there are topographic constraints on subject property, (2) we exceed the 20% overall open space requirement by a significant amount (over 50%!).

In summary, in addition to items listed above and not below the remaining items missing so that this application may be deemed complete are:

- Evidence that each lot has the minimum required 5-foot setback.

- 7.1 requires a diversity of building materials, colors, window designs, garage door designs, etc., This condition is not met. Only a single design was submitted and not evidence of diversity in colors or design are stated in the narrative.
- The design as proposed does not meet Old Town and Mainstreet architectural design standards.
- Additional details of the trees to be retained in the northern native vegetation buffer are required for staff to determine if condition 7.3 is met.
- Additional details for the proposed recreational open space are required to meet Conditions 7.6 and 7.7 as well as FCC 10-23-5 requirements.

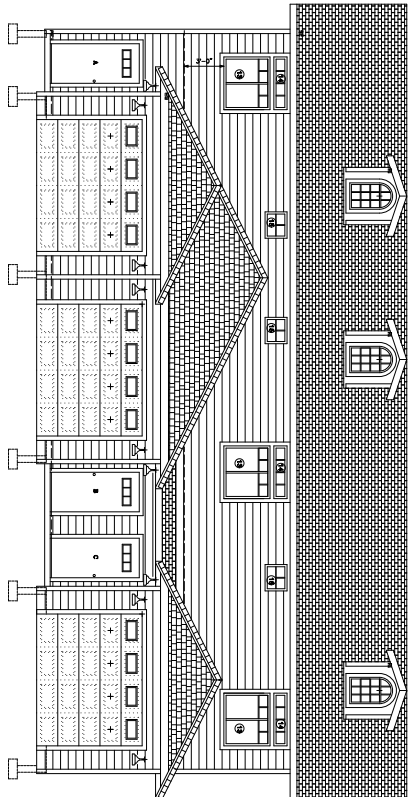
These items are addressed above in detail.

Thank you.

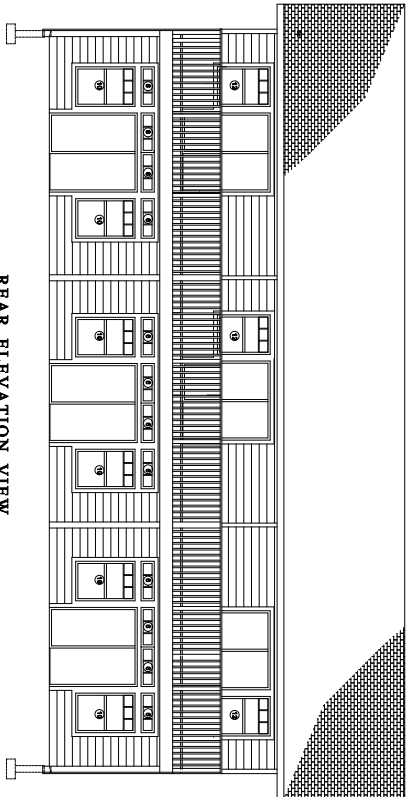
ATTACHMENT 5

Architectural Plans for Triplexes

Myrtle Glen Subdivision
Final PUD Application to City of Florence - Addendum 1
October 16, 2023



FRONT ELEVATION VIEW
1/4" = 1'



REAR ELEVATION VIEW
1/4" = 1'

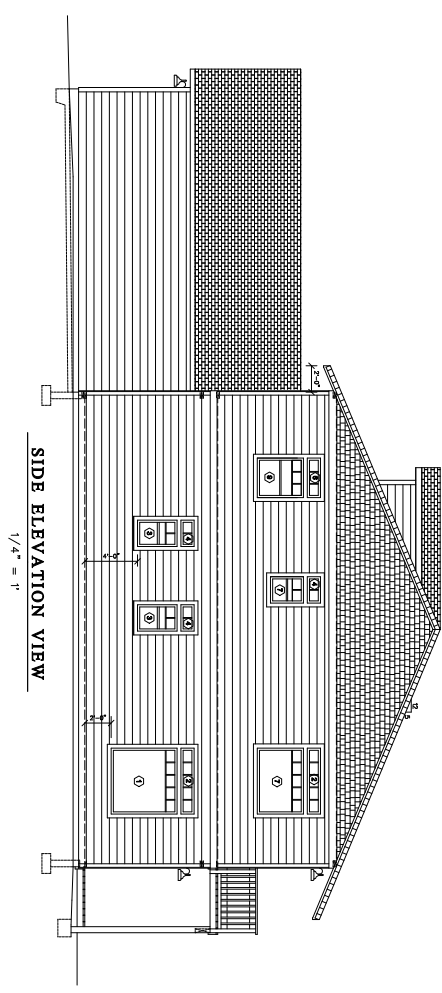
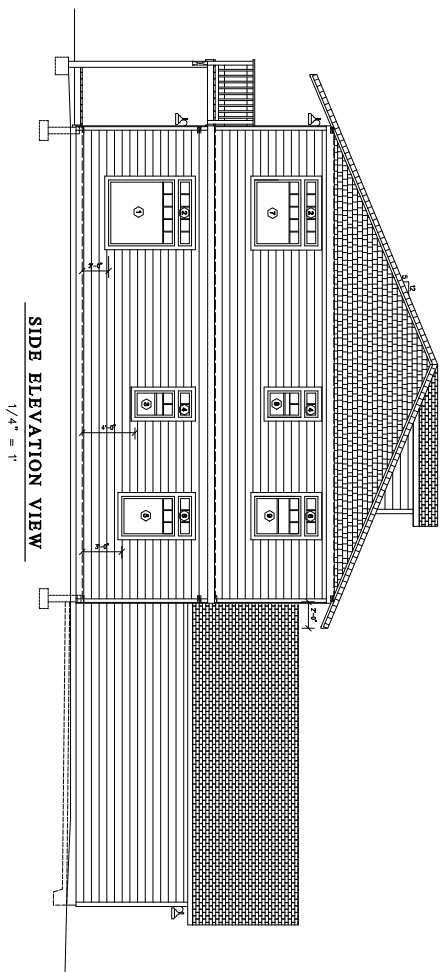
SHEET
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SHEET CONTENT	
ELEVATION VIEWS	
NO.	DESCRIPTION
1	FRONT ELEVATION
2	REAR ELEVATION
3	SECTION
4	DETAIL
5	DETAIL
6	DETAIL
7	DETAIL
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MYRTLE GLEN PUD
TOWNHOUSE FLOOR PLANS
TAX MAP: 18-12-22-11 T.L. 01200, 01100, & 0100
FOR
WILLIAM JOHNSON CONSTRUCTION, INC.
FLORENCE, OREGON

Mapleton Engineering
1901 E. MAPLETON ROAD
MAPLETON, OREGON 97048
PH: 503-268-8282
FAX: 503-268-1668

11/20/23



SHEET
S10
OF
10

DATE	BY	REVISIONS
7/12/23	MM	

DATE	BY	REVISIONS
7/12/23	MM	

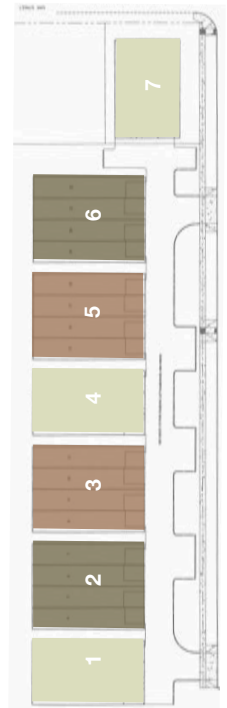
MYRTLE GLEN PUD
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 TAX MAP: 18-12-22-11 T.L. 01200, 01100, & 0100
 FOR
WILLIAM JOHNSON CONSTRUCTION, INC.
 FLORENCE, OREGON

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 1501 E. MAPLETON ROAD
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ATTACHMENT 6

Paint Colors Plan

Myrtle Glen Subdivision
Final PUD Application to City of Florence - Addendum 1
October 16, 2023



- Sherwin Williams, Benjamin Moore, or Rhodda paint is proposed.
- The proposed palette is green, brown, and tan, consistent with the Pacific Northwest palette.
- Base and trim colors proposed to generally alternate as depicted above.
- Garage doors proposed to be white.








- Similar palette to Oak Commons Planned Unit Development (depicted above)






ATTACHMENT 7




Depiction of Proposed Design vs Old Town & Mainstreet Architectural Standards



Myrtle Glen Subdivision
Final PUD Application to City of Florence - Addendum 1
October 16, 2023

Design Standard	Final PUD Application Narrative	Notice of Incompleteness	Addendum Response
 <p>Title 10: Chapter 6 Design Review: 10-6-6 Downtown Architectural Design The Architectural Design criteria are designed to address and implement the Florence Downtown Architectural Guidelines. Where applicable, the following criteria consider the historical character of Florence through proper building massing, siting, and materials which reflect important aspects of Oregon's traditional Northwest architecture. The type of building to which this code may apply may differ by district. The following requirements are intended to create and maintain a built environment that is conducive to walking; reduces dependency on the automobile for short trips; provides natural surveillance of public spaces; creates a human-scale design, e.g., with buildings placed close to streets or other public ways and large building walls divided into smaller planes with detailing; and maintains the historic integrity of the community. Development in the Old Town and Mainstreet districts shall comply with the standards in this section. The City Planning Official, the City Planning Official's designee, or the Planning Commission may require any of the following conditions in order to establish a minimum level of design quality and compatibility between buildings. The Planning Commission may approve adjustments or variances to the standards as part of a site Design Review approval, pursuant with FCC 10-5 and 10-6, respectively.</p>	<p>The applicant's proposed design meets the standards of 10-6-6, as described below, and therefore (a) is considered by Florence City Code to incorporate proper building massing, siting, and materials and (b) meets all of the conditions the Planning Commission may require in order to establish a minimum level of design quality and compatibility between buildings.</p>	<p>FCC 10-6-6 states requirements "intended to create and maintain a built environment that is conducive to walking; reduces dependency on the automobile for short trips; provides natural surveillance of public spaces; creates a human-scale design, e.g., with buildings placed close to streets or other public ways." Additional details and evidence to support the statements in FCC 10-6-6 are required. Examples of items that are not included or met include, but are not limited to, a built environment conducive to walking; reduces dependency on the automobile for short trips (the most prominent feature of this PUD is the shared parking and garages that are street facing) natural surveillance of the built environment (there are no front porches proposed and the only window facing public spaces are on the second floor).</p>	<p>This purpose statement explains the purpose of the FCC 10-6-6 Downtown Architectural Design; it is not a standard in-of-itself. It states: "<i>the following requirements [of FCC 10-6-6] are intended to create and maintain a built environment that is conducive to walking; reduces dependency on the automobile for short trips; provides natural surveillance of public spaces; creates a human-scale design, e.g., with buildings placed close to streets or other public ways and large building walls divided into smaller planes with detailing; and maintains the historic integrity of the community.</i>" The applicant's burden is to meet the preceding design standards; meeting those standards demonstrates the purpose of the section has been met.</p>
 <p>Title 10: Chapter 6 Design Review: 10-6-6-2 Building Style A. Context: Each building or addition shall be designed within the context of its larger surroundings and environment in terms of overall street massing, scale and configuration. B. Historic Style Compatibility: New and existing building design shall be consistent with the regional and local historical traditions. Where historic ornament and detail is not feasible, historic compatibility shall be achieved through the relation of vertical proportions of historic façades, windows and doors, and the simple vertical massing of historical buildings. Some examples of architectural styles currently or historically present in the Florence area are: Queen Anne, Shingle Style, Second Empire, Victorian, Italianate, Tudor Style, Craftsman Bungalow, American Foursquare, and Vernacular. 1. Existing buildings: Maintain and restore significant historic details. 2. New Buildings: Design shall be compatible with adjacent historic buildings.</p>	<p>The proposed architectural style is Craftsman. The proposed design is similar to neighboring single family, duplex, and small multifamily dwellings – one to two story, lap siding, 5:12 roof pitches.</p>	<p>FCC 10-6-6-2-B Historical Style Compatibility list 'Craftsman Bungalow' as a style example. The applicant narrative states the proposed architectural style is Craftsman. Additional details are required to provide evidence the proposed house design meets a craftsman bungalow architectural style based on definitions provided in FCC 10-2 or Webster's Third New International Dictionary of the English Language, Unabridged which is considered a standard reference according to FCC 10-2-13.</p>	<p>The applicant's proposed architectural style is Craftsman (not Craftsman Bungalow). A. Context requires "Each building or addition shall be designed within the context of its larger surroundings and environment in terms of overall street massing, scale and configuration." B. Historic Style Compatibility requires "New and existing building design shall be consistent with the regional and local historical traditions. Where historic ornament and detail is not feasible [...] 2. New Buildings: Design shall be compatible with adjacent historic buildings." As described in the 8/29 application narrative: "The proposed design is similar to neighboring single family, duplex, and small multifamily dwellings – one to two story, lap siding, 5:12 roof pitches." Moreover, the proposed design is popular - the look is prevalent and popular in Florence.</p>
 <p>Title 10: Chapter 6 Design Review: 10-6-6-3 Building Facades A. Horizontal Design Elements: Multi-story commercial storefront buildings shall have a distinctive horizontal base; second floor; and eave, cornice and/or parapet line; creating visual interest and relief. Horizontal articulations shall be made with features such as awnings, overhanging eaves, symmetrical gable roofs, material changes, or applied fascia detail. New buildings and exterior remodels shall generally follow the prominent horizontal lines existing on adjacent buildings at similar levels along the street frontage. Examples of such horizontal lines include but are not limited to: the base below a series of storefront windows; an existing awning or canopy line, or belt course between building stories; and/or an existing cornice or parapet line. Where existing adjacent buildings do not meet the City's current building design standards, a new building may establish new horizontal lines.</p>	<p>The roof-lines / horizontal lines of the proposed structures generally follow the prominent horizontal lines existing on adjacent structures (majority single family dwellings). The first-level/garage-level roof lines follow the roof lines of adjacent 1-story structures and the second level roof lines follow the roof lines of adjacent 2-story structures.</p>		

Design Standard	Final PUD Application Narrative	Notice of Incompleteness	Addendum Response
 <p>Title 10: Chapter 6 Design Review: 10-6-6-3 Building Facades B. Vertical Design Elements: Commercial storefront building faces shall have distinctive vertical lines of emphasis spaced at relatively even intervals. Vertical articulations may be made by material changes, variations in roof heights, applied fascia, columns, bay windows, etc. The maximum spacing of vertical articulations on long, uninterrupted building elevations shall be not less than one break for every 30 to 40 feet</p>	<p>The proposed spacing of street-facing vertical articulations exceed this standard (variation in roof height spaced every 14 to 20 feet).</p>		
 <p>Title 10: Chapter 6 Design Review: 10-6-6-3 Building Facades C. Articulation and Detailing: All building elevations that orient to a street or civic space must have breaks in the wall plane (articulation) of not less than one break for every 30 feet of building length or width, as applicable, as follows: 1. Plans shall incorporate design features such as varying rooflines, offsets, balconies, projections (e.g., overhangs, porches, or similar features), recessed or covered entrances, window reveals, or similar elements that break up otherwise long, uninterrupted elevations. Such elements shall occur at a minimum interval of 30-40 feet. In addition, each floor shall contain at least two elements meeting the following criteria: a. Recess (e.g., porch, courtyard, entrance balcony, or similar feature) that has a minimum depth of 4 feet; b. Extension (e.g., floor area, porch, entrance, balcony, overhang, or similar feature) that projects a minimum of 2 feet and runs horizontally for a minimum length of 4 feet; and/or c. Offsets or breaks in roof elevation of 2 feet or greater in height. d. A "break," for the purposes of this subsection, is a change in wall plane of not less than 24 inches in depth. Breaks may include, but are not limited to, an offset, recess, window reveal, pilaster, frieze, pediment, cornice, parapet, gable, dormer, eave, coursing, canopy, awning, column, building base, balcony, permanent awning or canopy, marquee, or similar architectural feature.</p>	<p>The proposed spacing of street-facing building elevations exceed this standard (variation in roof height spaced every 14 to 20 feet).</p> <p>Bottom Floor: 1) Offsets: in roof elevation of 2 feet or greater in height (garage roofs) 2) Extension: 22-23' foot deep, 14' wide garage extension every 14-20' 3) Recess: 3' foot deep, 9.5' wide front porch recess every 37.75 feet (center of each structure), on the first floor street-side. 4) Extension: garage roof overhang which projects 2' and runs horizontally for 14'. 5) Extension: approximately 13' wide terraces over two of the four garages on each structure (garages on the ends of each structure).</p> <p>Top Floor: 1) Extension: dormer windows (with roofs) every ~10' (four per structure) 2) Extension: top roof overhang which projects 2' and runs horizontally for 75'.</p> <p>The proposed design exceeds this design elements standard.</p>		
<p>Title 10: Chapter 6 Design Review: 10-6-6-3 Building Facades C. Articulation and Detailing 2. The Planning Commission, through Design Review, may approve detailing that does not meet the 24-inch break-in-wall-plan standard where it finds that proposed detailing is more consistent with the architecture of historically significant or historically-contributing buildings existing in the vicinity. 3. Changes in paint color and features that are not designed as permanent architectural elements, such as display cabinets, window boxes, retractable and similar mounted awnings or canopies, and other similar features, do not meet the 24-inch break-in-wall-plane standard. 4. Building elevations that do not orient to a street or civic space need not comply with the 24-inch break-in-wall-plan standard, but should complement the overall building design.</p>	<p>N/A</p>		

Design Standard	Final PUD Application Narrative	Notice of Incompleteness	Addendum Response
 <p>Title 10: Chapter 6 Design Review: 10-6-6-4 Permitted Visible Building Materials Building materials which have the same or better performance may be substituted for the materials below provided that they have the same appearance as the listed materials. A. Exterior Building Walls: 1. Lap siding, board and batten siding, shingles and shakes. Metal siding and vinyl siding shall not be permitted. 2. Brick or stone masonry with a minimum 2 1/2" deep solid veneer material. 3. Cement-based stucco. 4. Secondary materials: Any of the materials listed above as permitted may also be used as secondary materials or accents. In addition, the materials listed above are allowed as secondary materials, trims, or accents (e.g., flashing, wainscoting, awnings, canopies, ornamentation) when non-reflective and compatible with the overall building design, subject to approval. Secondary materials may be used on up to 30% of the façade.</p>	<p>1. Lap siding (specifically Hardiplank lap siding) is proposed, which meets this exterior building wall standard. 2. N/A 3. N/A</p>		
 <p>Title 10: Chapter 6 Design Review: 10-6-6-4 Permitted Visible Building Materials B. Roofs, Awnings, Gutters, and Visible Roofing Components: 1. Composition shingles, concrete, slate or cedar shingles, or concrete or clay tiles. Red composition shingle similar to the Kyle Building are encouraged. 2. Standing seam roofing: copper, terne metal or coated metal. 3. Gutters and downspouts: copper, terne metal, or coated metal. 4. Single or multi-ply roofing, where visibly concealed. 5. Glass, steel, wood or canvas fabric awnings. 6. Skylights: metal and wood framed glass and translucent polymer.</p>	<p>1. Composition shingles are proposed, meeting this roofing standard. 2. N/A 3. Galvanized steel with an acrylic coating (inside and out) with a rectangular downspout is proposed, meeting this gutter standard. 4. Wood ply roofing layer proposed to be concealed by composition shingles. 5. N/A 6. N/A</p>		
<p>Title 10: Chapter 6 Design Review: 10-6-6-4 Permitted Visible Building Materials C. Chimney Enclosures: Brick, cement-based stucco, stone masonry or wood shingles.</p>	<p>N/A</p>		
 <p>Title 10: Chapter 6 Design Review: 10-6-6-4 Permitted Visible Building Materials D. Windows, Entrances, and Accessories: 1. Wood, vinyl or pre-finished metal frames and sashes. 2. Glazed and unglazed entry doors shall be wood, pre-finished or coated metal or fiberglass. 3. Solid wood or fiberglass shutters. 4. The use of decorative detailing and ornamentation around windows (e.g., corbels, medallions, pediments, or similar features) is encouraged.</p>	<p>1. Vinyl windows, specifically Migard or equal, fixed picture and single-hung windows are proposed, meeting this window standard. See window schedule Attachment 2 Sheet S2. 2. N/A 3. N/A</p>		
 <p>Title 10: Chapter 6 Design Review: 10-6-6-4 Permitted Visible Building Materials E. Trellises, Decks, Stairs, Stoops, Porches, and Balconies 1. Architectural concrete, brick and stone masonry, solid wood or fiberglass columns, posts, piers and arches. 2. Wood, brick, concrete and stone masonry decks, stoops, stairs, porches, and balconies. 3. Solid wood, painted welded steel or iron trellises. 4. Railings, balustrades, and related components shall be solid wood, painted welded steel or iron.</p>	<p>1. Solid wood posts are proposed, meeting this standard. See beam schedule Attachment 2 Sheet S2 Roof Plan. 2. Wood decks are proposed, meeting this standard. 3. N/A 4. N/A</p>		
 <p>Title 10: Chapter 6 Design Review: 10-6-6-4 Permitted Visible Building Materials F. Landscape/Retaining Walls and Fences: Shall be subject to the FCC 10-34 and the following requirements: [...]</p>	<p>N/A</p>		

Design Standard	Final PUD Application Narrative	Notice of Incompleteness	Addendum Response
 <p>Title 10: Chapter 6 Design Review: 10-6-6-4 Permitted Visible Building Materials G. Building and Site Material Colors: Color finishes on all building exteriors shall be approved by the City and be of a muted coastal Pacific Northwest palette. Reflective, luminescent, sparkling, primary, and “day-glow” colors and finishes are prohibited. The Planning Commission/Planning Commission or their designee may approve adjustments to the standards as part of a site Design Review approval.</p>	<p>Sherwin Williams, Benjamin Moore, or Rhodda paint is proposed. The proposed palette is green, brown, and tan, consistent with the Pacific Northwest palette.</p>		
 <p>Title 10: Chapter 6 Design Review: 10-6-6-5 Material Applications and Configurations A. Building Walls: 1. For each building, there shall be one single, clearly dominant exterior wall material and finish. 2. Brick and stone front façades shall return at least 18” around side walls. 3. Building walls of more than one materials shall change along horizontal lines only, with a maximum of three materials permitted per façade. 4. Heavier materials, such as stone, shall only be used below lighter materials, such as siding. 5. Siding and shingles shall have a maximum 6” to the weather. 6. 4” minimum width corner, skirt, rake and eave trim shall run the full height of each façade, flush, or protrude beyond the surrounding wall surface. 7. Board and batten siding: battens shall be spaced a maximum of 8” on center.</p>	<p>1. Base paint color of each building proposed to be either tan, green or brown; trim proposed tan, green, or brown (brown with tan trim, green with brown trim, and so on). Garage doors proposed to be white. 2. N/A 3. N/A 4. N/A 5. Shingles proposed to have less than 6” of each shingle exposed (aka “to the weather”). 6. A 6”x6” Douglas Fir Larch post is proposed to run the full height of each corner of each structure, meeting this standard. 7. N/A</p>		
 <p>Title 10: Chapter 6 Design Review: 10-6-6-5 Material Applications and Configurations B. Roofs, Awnings, Gutters and Roofing Accessories: 1. Visibly sloped roofs shall pitch a minimum of 5:12 to a maximum 12:12 with symmetrical gable or hip configuration. 2. Eaves shall be continuous except at sheds and dormers. 3. Shed roofs shall attach to the main building wall or roof ridge with minimum 3:1 slope. 4. Flat roofs shall be concealed by cornices or parapets. 5. Gutters shall be round or ogee profile. Leaders shall be round or square. 6. All roof-mounted components such as mechanical equipment shall not be visible from street- level public rights-of-way. 7. Sloped roof eaves shall overhang exterior wall planes at least 12” and shall be visibly supported by exposed rafter ends or other compatible architectural detailing.</p>	<p>1. Roof pitches proposed 5:12 to 6:12, meeting this standard. (Dormers are 4:12.) See Attachment 2 Sheet S6. 2. All proposed eaves are continuous except at dormers. 3. N/A 4. N/A 5. Gutters are proposed to be ogee profile; leaders proposed to be square. 6. N/A 7. Sloped roof eaves proposed to overhang 1.5’-2’ and are supported by visible wood beams. See Attachment 2 Sheet S6.</p>		
<p>Title 10: Chapter 6 Design Review: 10-6-6-5 Material Applications and Configurations C. Towers: [...]</p>	<p>N/A</p>		

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 <p>Title 10: Chapter 6 Design Review: 10-6-6-5 Material Applications and Configurations D. Visible Windows, Glazing, and Entrances:</p> <ol style="list-style-type: none"> Windows shall be square and/or vertical rectangular shape with straight, bow, or arch tops. 10% of total windows maximum on the public façade may be circular, hexagonal, octagonal or other window configurations. Bay windows shall have visible bracket support. Overhead doors shall not face the building's primary street façade or a major public right-of-way. Door and window shutters shall be sized to cover the entire window. Exterior shutters shall be solid wood or fiberglass. No single lite or glass panel visible from the street shall be greater than 24 square feet in area except in storefront glazing systems. Multiple vertical windows may be grouped in the same horizontal opening provided they are separated by 4" minimum width vertical trim. Windows and doors in exterior walls shall be surrounded with 2 1/2" minimum width trim applied flush or projecting beyond the finished wall surface. Profiles of window mullions shall extend out beyond the exterior glass surface. Windows shall have muntins which create True Divided Lights or a similar simulated appearance. 	<ol style="list-style-type: none"> Windows are proposed to be rectangular with straight tops and rectangular with arch tops (dormers), meeting this standard. N/A N/A The proposed garage doors are technically front-facing overhead doors. However, Florence City Code prefers street-facing garages, and garage doors are generally overhead doors. Therefore, in this case, the garage doors should be permitted to face the primary street. Also, as described above, the garages include several design features desired by 10-6-6, including: windows, roof elevation breaks, terraces. N/A N/A N/A N/A All trim (window and door) proposed to be a minimum 3" width. No mullions are proposed. Picture and single-hung windows proposed. See Attachment 2 Sheet S2 for window schedule. 	<ul style="list-style-type: none"> FCC 10-6-6-5-D-4: Overhead doors shall not face the building's façade or a major public ROW. Applicant narrative argues that "Florence City Code prefers street facing garages ..." FCC 10-10-7-8-3 states the intent of attached single unit dwellings is to ensure minimal visual impact from vehicular use and storage areas. Florence City Code related to attached single unit dwellings specifically include intent to minimize visual impacts of vehicular storage such as garages and does not encourage street facing garages. 	<p>Let us re-phrase: The proposed garage doors are technically front-facing overhead doors. However, it is typical for residential garage doors to face the public street (as opposed to a back yard or alley). Also, as described above, the garages include several design features desired by 10-6-6, which mitigate this inconsistency with the standard, including: windows, roof elevation breaks, terraces.</p>
 <p>Title 10: Chapter 6 Design Review: 10-6-6-5 Material Applications and Configurations E. Visible Decks and Balconies: All balconies and decks attached to building faces, whether cantilevered or supported below or above, shall be visibly supported by vertical and horizontal elements such as brackets, columns, or beams. Exterior posts and columns, solid or encased, shall be minimum 5 1/2" in cross-section.</p>	<p>Balconies and decks are attached to the rear of the building. Regardless, they are supported by vertical and horizontal wooden beams. See beam schedule on Attachment 2 Sheet S5.</p>		
<p>Title 10: Chapter 6 Design Review: 10-6-6-5 Material Applications and Configurations F. Visible Landscape/Retaining Walls and Fences: [...]</p>	<p>N/A</p>		
<p>Title 10: Chapter 6 Design Review: 10-6-6-5 Material Applications and Configurations G. Mechanical Equipment: [...]</p>	<p>N/A</p>		