

**FINDINGS OF FACT  
FLORENCE PLANNING COMMISSION  
Exhibit "A"**

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**Public Hearing Date:** August 9, 2016  
**Date of Report:** August 2, 2016  
**Application:** PC 16 09 DR 02

**Planner:** Wendy FarleyCampbell

**I. PROPOSAL DESCRIPTION**

**Proposal:** A request for a phased design review to construct an office building in the Mainstreet District

**Applicant:** Tracy Bacon, Johnson Broderick Engineering LLC

**Property Owners:** Adam Falk

**Location:** 1457 8<sup>th</sup> St.

**Site:** Map # 18-12-27-41 Tax lots 8900, 9000, 9200

**Comprehensive Plan Map Designation:** Downtown

**Zone Map Classification:** Mainstreet District, Area B

**Surrounding Land Use / Zoning:**

**Site:** Undeveloped (Previously Retail Service) / Mainstreet District Area B  
**North:** Library / Mainstreet District Area B  
**South:** Post Office / Mainstreet District Area B  
**East:** Offices / Mainstreet District Area B  
**West:** Parking Lot / Mainstreet District Area B

**Streets / Classification:**

West – Maple St. / Local; North – Alley & 9<sup>th</sup> Street / Alley and Collector; East – Highway 101 / Arterial; South – 8<sup>th</sup> St. / Local

**II. NARRATIVE:**

The original house located at 1457 8th Street was demolished in early 2016 and was last used as a retail service use (dog grooming). That portion of the lot has sat vacant since the demolition. This lot combined with the lot to the west with the existing Options building constitutes the whole of the new office use site proposed to redevelop and expand. The applicant proposes a two phase process whereby the eastern portion of the building and all of the parking will be constructed in Phase 1. Phase 2 will include the western portion of the building and associated landscaping and stormwater improvements. Demolition of the remaining buildings on the site will occur prior to redevelopment. Vegetation preservation credit is proposed.

JBE Engineering LLC. submitted a design review application to construct office buildings and associated site improvements on June 13, 2016. The application was deemed complete on July 20, 2016. The proposed Phase 1 office building will be 4165 square feet and includes 17 parking spaces (11 on-site accessed off the alley & 6 on-street), water line replacement and upsizing within the 8<sup>th</sup> St. right-of-way, stormwater infrastructure, sidewalk installation, and other utility and landscape improvements.

### **III. NOTICES & REFERRALS:**

**Notice:** On July 20, 2016 notice was mailed to surrounding property owners within 100 feet of the property. The property was posted on July 22, 2016. Notice was published in the Siuslaw News on August 3, 2016.

As of the date of this report, the City had received no public comments on the proposal.

**Referrals:** On July 20, 2016 referrals were sent to the Florence Building, Police and Public Works Departments, U.S. Post Office, Central Lincoln PUD, Urban Renewal District, and Siuslaw Valley Fire and Rescue.

As of the date of this report, the City had received no referral comments on the proposal.

### **IV. APPLICABLE REVIEW CRITERIA**

#### **Florence City Code, Title 10:**

Chapter 1: Zoning Administration, Sections 1 through 5

Chapter 3: Off-Street Parking, Sections 2 through 5 and 8 through 10

Chapter 6: Design Review, Sections 5 & 9

Chapter 27: Main Street/Area B, Sections 2, 4 & 5

Chapter 34: Landscaping, Sections 3-2 through 3-8, 4 and 5

Chapter 35: Access & Circulation, Sections 2-2, 2-3, 2-7, 2-8, 2-12, 2-13, 2-14 & 3

Chapter 36: Public Facilities, Sections 2-7, 2-16, 2-18, 2-22, 3 & 5

Chapter 37: Lighting, Sections 2 through 4

#### **Realization 2020 Florence Comprehensive Plan:**

Chapter 2: Land Use, Commercial Policies 3, 4 & 6, Other Plan Designations, Policy 1

### **V. FINDINGS**

Code criteria are listed in **bold**, with findings beneath. Only applicable criteria have been listed.

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**FLORENCE CITY CODE**

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**TITLE 10: CHAPTER 3: OFF-STREET PARKING AND LOADING**

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**10-3-2: GENERAL PROVISIONS:**

- A. The provision for and maintenance of off-street parking and loading spaces are continuing obligations of the property owners. No building or other permit shall be issued until plans are presented that show property that is and will remain available for exclusive use as off-street parking and loading space.**

The applicant provided a site plan which demonstrates that the proposed offices will be served by 17 parking spaces (11 on-site and 6 on-street). This criterion is met.

- B. At the time of new construction or enlargement or change in use of an existing structure within any district in the City, off-street parking spaces shall be provided as outlined in this Chapter, unless requirements are otherwise established by special review or City Council action. Additional parking spaces shall meet current code.**

The proposed parking meets current code, addressed below.

- D. Required parking spaces shall be available for the parking of passenger automobiles of residents, customers, patrons and employees, and shall not be used for storage of materials of any type.**

The parking required and typical of this use will be available for the parking of passenger automobiles of patrons and employees. The spaces provided shall be maintained for parking and shall not be converted to storage or other use.

- E. Ingress and egress for parking and loading shall not endanger or impede the flow of traffic.**

The two on-site parking areas proposed for the north side of the site (rear) will access off the alley onto Maple St. The western lot provides two 90 degree parking aisles arranged parallel with one-another centered on an access aisle. The eastern lot provides five spaces that access directly from the alley from which they are arranged perpendicular and require backing movements into the alley for egress. The alley is presently paved to accommodate one-way traffic abutting and to the east of the site and two way traffic to the west of the site. The alley is not a through alley in that it is not platted beyond the library. Therefore the only egress point is towards Maple St. The most eastern proposed parking spaces that back onto the alley will presently only encounter traffic coming from the east. The access aisle backing maneuver area for this parking meets the turning radius to and from the parking spaces. A turnaround partial hammerhead is located adjacent to the trash enclosure creating a location for vehicles to turn-around.

**10-3-3: MINIMUM STANDARDS BY USE: The number of required off-street vehicle parking spaces shall be determined in accordance with the standards in Table 10-3-1.**

Where a use is not specifically listed in this table, parking requirements are determined by finding that a use is similar to one of those listed in terms of parking needs, or by estimating parking needs individually using the demand analysis option described below:

- A. Parking that counts toward the minimum requirement is parking in garages, carports, parking lots, bays along driveways, and shared parking. Parking in driveways does not count toward required minimum parking.

The applicant has proposed parking within parking lots and on-street as allowed by code. The number required by code is provided as part of FCC 10-3-4 below.

**10-3-4: MINIMUM REQUIRED PARKING BY USE:** During the largest shift at peak season, fractional space requirements shall be counted as the next lower whole space (rounded down). Square footages will be taken from the gross floor area (measurements taken from exterior of building). Applicants may ask the Design Review Board a reduction for parking spaces as part of their land use application. The applicant will have to provide the burden of evidence to justify the reduction proposed. The Design Review Board and/or staff may require the information be prepared by a registered traffic engineer. Table 10-3-1 lists the minimum parking spaces required by use, with a minimum no less than two (2) spaces.

**Table 10-3-1, Minimum Required Parking By Use:**

**C. Commercial and Retail Trade Types**

Offices	1 space per 400 sq. ft. floor area
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The applicant is proposing an office building constructed in two phases. The first phase is 4165 sq. ft. and the second phase is proposed to be 2970 sq. ft. totaling 7135 sq. ft. of building space. There are two conference rooms proposed in the Phase 1 building that total approximately 470 sq. ft. This criteria review presumes the use of the conference rooms will be exclusively for the use of the counseling tenant and not rented out or made available for other public, agency, commercial or non-profit use. That type of use of the conference spaces, when operating concurrent with the regular building use, requires 10 additional vehicular parking spaces plus 1 space for each 200 sq. ft. of floor area. **(Informational 7)** The office building use for both phases requires provision of 17 parking spaces. The applicant has proposed construction of two parking lots which will provide eleven parking spaces and six spaces will be offered on-street along 8<sup>th</sup> St. This criterion is met.

**10-3-5: VEHICLE PARKING - MINIMUM ACCESSIBLE PARKING:**

- A. Accessible parking shall be provided for all uses in accordance with the standards in Table 10-3-2; parking spaces used to meet the standards in Table 10-3-2 shall be counted toward meeting off-street parking requirements in Table 10-3-1;
- B. Such parking shall be located in close proximity to building entrances and shall be designed to permit occupants of vehicles to reach the entrance on an unobstructed path or walkway;
- C. Accessible spaces shall be grouped in pairs where possible;



**D. Where covered parking is provided, covered accessible spaces shall be provided in the same ratio as covered non-accessible spaces;**

**E. Required accessible parking spaces shall be identified with signs and pavement markings identifying them as reserved for persons with disabilities; signs shall be posted directly in front of the parking space at a height of no less than 42 inches and no more than 72 inches above pavement level. Van spaces shall be specifically identified as such.**

The proposal includes one van accessible ADA parking space within the western parking lot. The proposal meets the minimum number of ADA parking spaces required by Table 10-3-2 (1 for every 25). The parking space dimensions exceed the minimum 8' width requirement and meet the minimum 8' loading space width requirement. Accessible parking spaces shall meet the requirements of FCC 10-3-5 and shall be identified with signs and pavement markings identifying them as reserved for persons with disabilities. Signs shall be posted directly in front of the parking space at a height of no less than 42 inches and no more than 72 inches above pavement level. Van spaces shall be specifically identified as such. **(Condition 3)**

**10-3-8: PARKING AREA IMPROVEMENT STANDARDS: All public or private parking areas, loading areas and outdoor vehicle sales areas shall be improved according to the following: All required parking areas shall have a durable, dust free surfacing of asphaltic concrete, cement concrete , porous concrete, porous asphalt, permeable pavers such as turf, concrete, brick pavers or other materials approved by the City. Driveways aprons shall be paved for the first fifty feet (50') from the street.**

**B. All parking areas except those required in conjunction with a single-family or duplex dwelling shall be graded so as not to drain storm water over public sidewalks. All drainage systems shall be connected to storm sewers where available. Parking lot surfacing shall not encroach upon a public right of way except where it abuts a concrete public sidewalk, or has been otherwise approved by the City.**

All parking areas are proposed to be asphalted to their juncture with the alley. The parking areas propose to drain into on-site catch basins that would be connected to an on-site pre-treatment system that then overflows into infiltrators within the 8<sup>th</sup> St. right-of way. The drainage system does drain over public sidewalks. These criteria are met.

**C. Parking spaces shall be located or screened so that headlights do not shine onto adjacent residential uses.**

There are no adjacent residential uses. This criterion is not applicable.

**D. Except for parking areas required in conjunction with a single-family or duplex dwelling, all parking areas shall provide:**

**1. A curb of not less than six inches (6") in height near abutting streets and interior lot lines. This curb shall be placed to prevent a motor vehicle from encroaching on adjacent private property, public walkways or sidewalks or the minimum landscaped area required in paragraph D2 of this subsection.**

**2. Except for places of ingress and egress, a five foot (5') landscaped area wherever it abuts street right-of-way. In areas of extensive pedestrian traffic or when design of an existing parking lot makes the requirements of this paragraph unfeasible, the Design Review Board may approve other landscaped areas on the property in lieu of the required five foot (5') landscaped area. See also FCC 10-34-3-6 and -7 for parking lot landscaping standards.**

The site plan illustrates 6" high curbs along the western interior property line and along the northern landscape planters adjacent to the alley. The vehicular access aisle turnaround for the eastern parking lot does not illustrate a curb along the eastern property line. A curb of not less than six inches in height shall be placed along the eastern property line abutting the turn-around area to prevent motor vehicle encroachment onto the adjacent private property. **(Condition 4)** Five foot wide landscape islands are proposed along the northern property line on either side of the western parking lot area abutting the alley. The remainder of the parking area includes ingress and egress area. Except as conditioned above, these criteria are met.

**E. No parking area shall extend into the public way except by agreement with the City.**

The applicant proposes to locate the bicycle parking partially within the 8<sup>th</sup> St, public right-of-way. The applicant shall apply for and receive a private use of a public right-of-way permit for the bicycle parking encroaching into the 8<sup>th</sup> St. right-of-way prior to issuance of a building permit. **(Condition 5)**

**F. Except for parking in connection with dwellings, parking and loading areas adjacent to a dwelling shall be designed to minimize disturbance by the placement of a sight obscuring fence or evergreen hedge of not less than three feet (3') nor more than six feet (6') in height, except where vision clearance is required. Any fence, or evergreen hedge must be well kept and maintained.**

The proposed parking is not adjacent to a dwelling. The criterion is not applicable.

**G. Lighting: Refer to Section 10-37 of this Title for requirements.**

The proposed lighting criteria will be addressed below as part of FCC 10-37.

**H. Except for single-family and duplex dwellings, groups of more than two (2) parking spaces shall be so located and served by a driveway so that their use will require no backing movements or other maneuvering within a street right of way other than an alley.**

The proposed parking plan does not include backing movements onto a street right of way. There are five parking spaces that propose to back onto an alley as allowed under this criterion. This criterion is met.

- I. Unless otherwise provided, required parking and loading spaces shall not be located in a required front or side yard.**

The applicant has not proposed parking spaces within a required front or side yard. The parking is proposed at the rear of the site along the western property line and the northern property line. The Mainstreet District does not require side or rear yards. The proposal meets the criterion.

- J. Building permits are required for all parking lot construction or resurfacing.**

The proposal includes construction of eleven total parking spaces. The applicant shall obtain all applicable building permits as part of this proposal. **(Informational 1)**

- K. A plan, drawn to a suitable scale, indicating how the off- street parking and loading requirements are to be met shall accompany an application for a building permit. The plan shall indicate in detail all of the following:**

- 1. Individual parking and loading spaces.**
- 2. Circulation area.**
- 3. Access to streets and property to be served.**
- 4. Curb cut dimensions.**
- 5. Dimensions, continuity and substance of screening, if any.**
- 6. Grading, drainage, surfacing and subgrading details.**
- 7. Obstacles, if any, to parking and traffic circulation in finished parking areas.**
- 8. Specifications for signs, bumper guards and curbs.**
- 9. Landscaping and lighting.**

The applicant has provided landscaping and lighting plans for the office site, as well as a parking plan demonstrating the location of ADA accessible parking space and the number of parking spaces. The applicant shall provide this information at the time of submittal of building permit applications. **(Informational 2)**

**10-3-9: PARKING STALL DESIGN AND MINIMUM DIMENSIONS: All off-street parking spaces (except those provided for single-family and duplex homes) shall be improved to conform to City standards for surfacing, stormwater management, and striping and where provisions conflict, the provisions of FCC Title 9 Chapter 5 shall prevail. Standard parking spaces shall conform to minimum dimensions specified in the following standards and Figures 10-3(1) and Table 10-3-3:**

- A. Motor vehicle parking spaces shall measure nine (9) feet and six (6) inches wide by nineteen (19) feet long.
- B. Each space shall have double line striping with two feet (2') wide on center.
- C. The width of any striping line used in an approved parking area shall be a minimum of 4" wide.
- D. All parallel motor vehicle parking spaces shall measure eight (8) feet six (6) inches by twenty-two (22) feet;
- E. Parking area layout shall conform to the dimensions in Figure 10-3(1), and Table 10-3-3, below;
- F. Parking areas shall conform to Americans With Disabilities Act (ADA) standards for parking spaces (dimensions, van accessible parking spaces, etc.). Parking structure vertical clearance, van accessible parking spaces, should refer to Federal ADA guidelines.

**FIGURE 10-3 (1)**

Table 10-3-3 – Parking Area Layout							
Space Dimensions in feet	Parking Angle <°	Stall Depth		Aisle Width		Stall width (B)	Curb Length (F)
		Single (C)	Double (E)	One Way (D)	Two Way (D)		
	30°	15.6	26.7	12	18	9.5	19.0
	45°	18.4	33.4	13	18	9.5	13.4
	60°	20	38.8	17	18	9.5	11.0
	70°	20.3	40.6	18	19	9.5	10.1
	80°	20	41.2	22	22	9.5	9.6
	90°	19	40.5	23	23	9.5	9.5

All on-site and on-street parking spaces proposed meet the dimensional criteria above. The access aisles conform to the dimension criteria. ADA criteria were reviewed earlier. The proposed parking and maneuver areas meet the stall design and dimension criteria

**10-3-10: BICYCLE PARKING REQUIREMENTS:** All new development that is subject to Site Design Review, shall provide bicycle parking, in conformance with the standards and subsections A-H, below.

**A. Minimum Size Space:** Bicycle parking shall be on a two (2) feet by six (6) feet minimum.

**B. Minimum Required Bicycle Parking Spaces.** Short term bicycle parking spaces shall be provided for all non-residential uses at a ratio of one bicycle space for every ten vehicle parking spaces. In calculating the number of required spaces, fractions shall be rounded up to the nearest whole number, with a minimum of two spaces.

**C. Long Term Parking.** Long term bicycle parking requirements are only for new development of group living and multiple family uses (three or more units). The long term parking spaces shall be covered and secured and can be met by providing a

bicycle storage room, bicycle lockers, racks, or other secure storage space inside or outside of the building; Multifamily= 1 per 4 units/ Group Living = 1 per 20 bedrooms/ Dormitory = 1 per 8 bedrooms.

**D. Location and Design.** Bicycle parking should be no farther from the main building entrance than the distance to the closest vehicle space other than handicap parking, or fifty (50) feet, whichever is less and shall be easily accessible to bicyclists entering the property from the public street or multi-use path.

**E. Visibility and Security.** Bicycle parking for customers and visitors of a use shall be visible from street sidewalks or building entrances, so that it provides sufficient security from theft and damage;

**F. Lighting.** For security, bicycle parking shall be at least as well lit as vehicle parking.

**H. Hazards.** Bicycle parking shall not impede or create a hazard to pedestrians. Parking areas shall be located so as to not conflict with vision clearance standards. If bicycle parking cannot be provided safely, the Design Review Board or Community Development Director may waive or modify the bicycle parking requirements.

Seventeen vehicular parking spaces are required and provided requiring the need for 2 bicycle parking spaces. A revision to the site plan, dated August 1, 2016, illustrates two bicycle parking spaces measuring 6' by 4' west of the 8<sup>th</sup> St. front entry to the building. They encroach 30" into the 8<sup>th</sup> St. right-of-way. They were moved from the east side of the entry where they encroached into the ADA accessible path. A right-of-way permit is required and has been conditioned above. The parking must be visible and secure and is criterion is met by providing bicycle racks adjacent to the front door. Due to the proximity to the front door the required pedestrian door light will provide lighting at least as lit as the vehicle parking. The two elective bicycle parking spaces at the rear of the lot just south of the eastern parking lot also meet the above criteria. The required and elective bicycle parking meets the criteria listed above.

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## **TITLE 10: CHAPTER 27: MAINSTREET DISTRICT**

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### **10-27-2: PERMITTED BUILDINGS AND USES;**

**aaa. Offices for the following:**

- **Physicians, osteopaths, dentists, optometrists, opticians, chiropractors, and others licensed by the State of Oregon to practice healing arts**

The proposed counseling office use is a permitted use in the Mainstreet District. The applicant has submitted a request for a design review per FCC 10-6.

### **10-27-4: LOT AND YARD PROVISIONS:**

**A. Minimum Lot dimensions:** The minimum lot width shall be 25'.

**B. Minimum Lot Area:** The minimum lot area shall be 2500 square feet.

The buildable lot is 130.15 ft. wide and is 15,847 sq. ft. The lot recently underwent a lot consolidation to avoid a deed restriction to tie the lots together due to improvement overlaps between lots. The resulting lot meets the minimum lot width and area requirements.

**C. Lot Coverage: The Design Review Board may allow up to a maximum of 90% lot coverage by buildings and other impervious surfaces.**

The applicant has proposed 10,550 sq. ft. of impervious surfaces (5000 sq. ft. building and 5500 of paving and flatwork) totaling 67% lot coverage. The lot coverage criteria are met.

**D. Yard Regulations:**

**Area “B”: Conversion to mixed use or commercial use shall conform to Mainstreet District standards.**

**Area “A” as shown on the following page:**

- 1. Front yards: Front yards may vary from 0’ to 10’ from back of property line. Ten percent of the frontage, or a minimum of 6’, may be utilized for pedestrian walkways connecting to interior parking lots. Upper story windows, balconies, benches and tables and awnings may encroach into the sidewalk area as long as a minimum 8’ wide pedestrian way is maintained within the sidewalk area.**
- 2. Side and rear yards: Buildings may be zero lot line, provided that all Building Code requirements are met. In each block, there will be at least one opening for public access to interior parking lots. Where a commercial use abuts a residential district, a fifteen foot (15’) buffer may be required.**

The site is located within Area B. Since it is a commercial use the site must meet the Area A yard standards. The site plan illustrates that the setbacks will be as follows: 8<sup>th</sup> St. front yard 0’, (3 ¾ feet to the building with the canopy posts at the zero lot line), northern rear yard 26 ½’, eastern side yard 5’ and western side yard 68’ for Phase 1 and 5’ for Phase 2. The site plan illustrates a 3’ patio roof extension into the 8<sup>th</sup> St. right-of-way. The criteria state the encroachment is acceptable if the pedestrian ways are maintained. No pedestrian ways are encroached upon with the proposed extension. The yard criteria are met and the proposed placement of the building is appropriate for the zoning district within which it is located.

**10-27-5: SITE AND DEVELOPMENT PROVISIONS:**

**A. Building or Structural Height Limitations**

**Area “B”: Conversion to mixed use or commercial use shall conform to Mainstreet District standards.**

**Buildings shall be a minimum of 20’ in height. This measurement may include a building façade as opposed to a total building height of 20’. If a façade is used, it must be designed so that it is not readily apparent that it is only a façade. The maximum height shall be 38’ for a building or structure without an approved fire extinguishing system unless otherwise approved by the Planning**

**Commission/Design Review Board. The Planning Commission/Design Review Board may allow heights up to 50 feet/four stories provided that: ....**

The tallest roof gable height is 21' as measured from the finished grade at the front of the building to the peak. The other two gables measure approximately 17 ¾" and 15'. Current code defines roof height as the peak of the highest gable. The 20' minimum building height criterion is met.

**B. Fences, Hedges, Walls and Landscaping: Landscaping shall be in accordance with FCC 10-34, except as modified by the following specific standards:**

**Area "B": Conversion to mixed use or commercial use shall conform to Mainstreet District standards.**

**A minimum of 10% landscaping is required. The calculation of the required minimum may include street trees installed and maintained by the applicant, planters and window boxes which are the property of the applicant/owner, as well as plantings within courtyard areas. All landscaping included within the 10% calculation must be installed and maintained by the applicant or his/her successors.**

**Interior parking lots may be separated from rear courtyards by walls, fences or hedges 4' in height or less. Eating establishments may separate outdoor eating areas from parking lots and adjacent buildings or structures by a fence, wall or hedge not to exceed 6' in height. Pedestrian walkways may be separated from abutting uses by plantings or fences which allow visual surveillance of the walkway and surrounding areas.**

**Where a commercial use abuts a residential district, see FCC 10-34-3-7-D.**

Staff finds that the application meets the 10% criterion. The application includes a landscaping plan that consists of approximately 1329 sq. ft. (10.6%) of landscaping from 420 sq. ft. of preservation credit, 420.5 sq. ft. from stormwater planters, 185' from parking lot planting beds and approximately 300 sq. ft. in the front yard. 1260 sq. ft. of landscaping was required for the 12,600 sq. ft. of the lot proposed to be developed within Phase 1. Landscaping is reviewed in more depth later in the report under FCC 10-34 Landscaping. The site plan indicates a fence surrounding the trash enclosure. No additional fencing is proposed. The site does not abut a residential district.

**C. Access and Circulation. Refer to Section 10-35 Access and Circulation of this Title for Requirements.**

**1. Access Management Plan: All access points to Highway 101 shall be governed by the Access Management Plan for Highway 101 in Downtown Florence.**

**2. Sidewalks abutting buildings on Highway 101, Highway 126, and local streets within the Mainstreet District shall be at least 8' in width, except collector streets within the Mainstreet District without on-street parking as described below. Sidewalk area beyond the standard 6' sidewalk width may be surfaced with pavers, brick or other similar materials. Maintenance and repair of pavers, brick, etc. are the responsibility of the business/property owner.**

**a. Sidewalks on collector streets within the Mainstreet District may be reduced to 6' in width with 6' of clear walkway if there is no on-street parking on that side of the street.**

**3. Access to all floors of all commercial buildings and structures shall meet ADA requirements.**

The site does not abut Highway 101 therefore the Access Management Plan is not applicable. The site includes provision for an 8' wide sidewalk along 8<sup>th</sup> St. a local street. The building is single story and the site plan includes provision for ADA access at both the front and rear doors via accessible pathways. The 8<sup>th</sup> St. ADA pathway is proposed within the right-of-way. If required by Public Works this amenity will require a private use of the public right-of-way permit. Regardless, its maintenance like that of the abutting sidewalks will be the ongoing obligation of the property owner. **(Condition 6)** See section FCC 10-35 for additional criteria review.

#### **D. Parking and Loading Spaces**

**Area "A" as shown on the following page:**

**Parking spaces may be located on-street in front of the front yard of the lot (if approved by ODOT on Highways 101/126) and/or may be in interior shared parking lots within the block where the applicant's lot is located, or in a shared lot in another block. Business/property owners are strongly encouraged to cooperate in proposing joint parking agreement areas as part of development or redevelopment proposals. Parking will not be permitted in front yards. The Planning Commission may grant parking under a temporary arrangement if an interior or off-site shared parking lot is planned and approved, but not yet constructed, and/or may require the applicant or owner to sign a non-remonstrance agreement for parking improvements. Parking standards in Chapter 3 of this Title shall be used as a guideline for determining parking need.**

**Bicycle racks shall be provided either in the interior parking lot, or by an entrance if located outside the required minimum 6' pedestrian walkway.**

**Area "B":**

**Single family residential uses shall meet the standards of the Single Family Residential District. Multifamily units shall meet the standards of the Multi-family district. Conversion to mixed use or commercial use shall conform to Mainstreet District standards**

These criteria were addressed as part of FCC 10-3 above.

#### **E. Vision Clearance.**

**Refer to Section 10-1-14 and 10-35-2-13 of this Title for definitions and requirements.**

The site and landscape plans will meet or be conditioned to meet the requirements of FCC 10-35-2-13 for vision clearance, addressed below.

#### **F. Signs.**

**Shall be in accordance with Title 4 Chapter 7 of this Code. (Ord. 4, 2011)**



No business signs are proposed with this application. Directional signs within the alley are proposed and are reviewed with criteria in the FCC 10-36 section of the report.

#### **G. Lighting.**

**Street lighting, building lighting and lighting of parking lots and walkways shall conform to the following lighting standards:**

- 1. Light fixtures shall conform to the lighting styles in the Architectural Guidelines.**
- 2. Lighting shall be pedestrian scaled.**
- 3. Refer to Section 10-37 of this Title for additional requirements.**
- 4. Wiring for historic fixtures shall be underground. Other overhead wiring shall be placed underground, where possible.**

The lighting plans propose two parking lot light fixtures and wall sconce lamps at each entry door. The parking lot mounting height is proposed to be 20' and the sconce mounting height is 12'. Industry standard research shows pedestrian scaled lighting height to range from 12' 16' in height. Since much of the building is less than 20' in height the parking lot lights mounted at 20' in height will be higher than most of the building. The parking lot lighting shall be reduced to a maximum of 16' in height. **(Condition 7)** The parking lot light style is contemporary rather than representative of a historic style desired by the Architectural Guidelines. The applicant shall select a lighting style that reflects elements, shape or design representative of an architectural style found in neighboring area from a period between 1890 and 1940. **(Condition 7)** The sconce selected is representative of the inverted dome bowls popular between 1915 and 1930. The stair step detailing is similar to styling seen in art deco reproductions. The utility plan appears to illustrate all proposed wiring to be underground. Except as conditioned the lighting proposal meets the 10-27 criteria. 10-37 criteria are reviewed later in the report.

#### **H. Design Review.**

**All uses except single family and residential duplex units shall be subject to Design Review criteria to insure compatibility and integration with the Mainstreet character, and to encourage revitalization. Architectural design shall be reviewed against the Downtown Architectural Guidelines to determine compatibility, with the exception of solar photovoltaic and solar thermal energy systems as allowed by HB3516.**

Design Review criteria are reviewed in the FCC 10-6 section of the report.

#### **I. Trash Enclosures.**

**All trash enclosures shall be located in side or rear yards, and shall be screened from street or pedestrian courtyard view with a permanent solid fence or wall at least 6' high. Service shall be from an abutting alley or interior parking lot where possible. Gates opening to non-street faces may be slatted chain link.**

The site plan illustrates a trash enclosure in the north east corner of the property within the rear and eastern side yards. Construction will include a 6'-8' high masonry fence with a low relief roof covering. Service to the fence is from the alley. The gates are proposed to be metal with no additional specificity. If the gates to the trash enclosure are chain link they shall be slatted. **(Condition 8)**

**J. General Provisions.**

- 1. Outdoor storage of materials and display of merchandise for sale shall be subject to approval by the Design Review Board.**
- 2. Where there is manufacturing, compounding, processing or treatment of products for wholesale, the front twenty-five (25) feet of the building's ground floor facing the principal commercial street shall be used for commercial sales, business or professional offices.**
- 3. Any use allowed must not cause unreasonable odor, dust, smoke, noise, vibration or appearance.**

The applicant is not proposing outdoor storage or display of materials or merchandise, manufacturing or processing of products for sale, nor a use that causes any of the situations mentioned in "C" above. Staff finds that "A" & "B" above do not apply and "C" is met.

**K. Public Facilities: Refer to Section 10-36 of this Title for requirements.**

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**FCC Title 10 Chapter 36 Public Improvements**

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**10-36-2-1: Development Standards.** The following standards shall be met for all new uses and developments:

**D. All new public streets and alleys shall be paved per the City of Florence Standards and Specifications document. Alleys may also be improved with porous concrete, porous asphalt, permeable pavers such as turf concrete, brick pavers or other materials approved by the City. The City does not maintain alleys.**

The proposed new development has street frontage on 8<sup>th</sup> Street and on the alley. Access is proposed from the existing partially improved alley. The applicant proposes to widen the alley to 20' to permit 2-way traffic access to their parking lots and provide the required 23' access aisle width for their five head in parking spaces. Prior to commencement of alley improvements an application for a right-of-way permit improvement to the alley shall be applied for and approval received. The alley shall be improved in accordance with 10-36-2-1-D & 10-36-2-7 and requisite City of Florence Standard Drawing. **(Informational 3)**

**10-36-2-18: Curbs, Curb Cuts, Ramps, and Driveway Approaches: Concrete curbs, curb cuts, curb ramps, bicycle ramps and driveway approaches shall be constructed in accordance with Chapter 35, Access and Circulation, City of Florence Standards and Specifications and the following standards:**

- A. Curb exposure shall be per City Standards and Specifications.**
- B. There shall be no curbs on alleys unless otherwise approved by the Public Works Director.**

The site plan illustrates curbs along the alley separating the landscape beds from the travel lane. The applicant shall obtain permission for curb installation along the alley prior to their installation. **(Informational 4)**

**10-36-2-21: Street Signs: The cost of signs required for new development, including stop signs and any other roadway signs, shall be the responsibility of the developer**

and shall be installed as part of the street system developed and approved through the land use process. Signs shall be installed by developers per City of Florence Standards and Specifications.

The site plan illustrates installation of a traffic sign adjacent to the alley at the point where it narrows to one-lane. The sign shall be installed by the developer after applying for and receiving approval from the Public Works Dept. **(Informational 5)**

### **10-36-3: SANITARY SEWERS, WATER, STORMWATER, AND FIRE PROTECTION**

**A. Sewers, Water, and Stormwater Mains Required:** Sanitary sewers, water mains, and stormwater drainage shall be installed to serve each new development and to connect developments to existing mains in accordance with the City's Wastewater Master Plan, Water System Master Plan, and Stormwater Master Plan, Florence Code Title 9 Chapters 2, 3 and 5, and the applicable construction specifications. When streets are required to be stubbed to the edge of the subdivision; stormwater, sewer and water system improvements shall also be stubbed to the edge of the subdivision for future development.

**B. Sewer, Water, and Stormwater Plan Approval.** Development permits for stormwater drainage, sewer and water improvements shall not be issued until the Public Works Director or their designee has approved all stormwater, sanitary sewer and water plans in conformance with City standards, and Florence Code Title 9 Chapters 2, 3 and 5.

The applicant proposes to install a new 8" water main within the 8<sup>th</sup> St. right-of-way. Stormwater plans were submitted that include collection of parking lot drainage into catch basins and water quality pre-treatment within on-site planters and overflow into infiltrators within the 8<sup>th</sup> St. right-of-way. Sewer is available within the 8<sup>th</sup> St. right-of-way. Prior to building permit issuance or construction of utilities the applicant shall apply for and receive approval of right-of-way permits from the Public Works Director for the stormwater, sanitary sewer and water improvement and connection plans. A private use of a public right-of-way permit is required for the stormwater infiltrators within the 8<sup>th</sup> St. right-of-way. **(Condition 9)**

**E. Fire Protection.** All new development shall conform to the applicable provisions of the Oregon Fire Code. Developers shall provide verification of existing and proposed water service mains and hydrant flow supporting the development site. Fire flow analyses and plans for hydrants and water service mains shall be subject to review and approval by the Building Official or Fire Marshal.

**F. Inadequate Facilities:** Development permits may be restricted by the City where a deficiency exists in the existing water, sewer or stormwater system that cannot be rectified by the development and that if not rectified will result in a threat to public health or safety, surcharging of existing mains, or violations of state or federal standards pertaining to operation of domestic water and sewerage treatment systems.

To address a lack of adequate fire flow for the proposed project the City will be extending a 12" main from the east side of Highway 101 to the west side where the applicant will

connect to it with a new 8" line within the 8<sup>th</sup> St. right-of-way extending to the 6" line within the Maple St. right-of-way. This will replace the 4" line within the 8<sup>th</sup> St. right-of-way. Options Counseling requires fire flow of 2,250 gallons per minute. After the water line improvement 2,500 gallons per minute will be available.

#### **10-36-7: CONSTRUCTION PLAN APPROVAL AND ASSURANCES:**

**A. Plan Approval and Permit:** No public improvements, including sanitary sewers, storm sewers, streets, sidewalks, curbs, lighting, parks, or other requirements shall be undertaken except after the plans have been approved by the City Public Works Director, permit fee paid, and permit issued.

**B. Performance Guarantee:** The City may require the developer or subdivider to provide bonding or other performance guarantees to ensure completion of required public improvements.

#### **10-36-8: INSTALLATION:**

**A. Conformance Required:** Improvements installed by the developer either as a requirement of these regulations or at his/her own option, shall conform to the requirements of this Chapter, approved construction plans, and to improvement standards and specifications adopted by the City.

**B. Adopted Installation Standards:** The Standard Specifications for Public Works Construction, Oregon Chapter APWA, are hereby incorporated by reference; other standards may also be required upon recommendation of the Public Works Director.

**C. Commencement:** Work shall not begin until the City has been notified in advance in writing.

**D. Resumption:** If work is discontinued for more than one month, it shall not be resumed until the City is notified in writing.

**E. City Inspection:** Improvements shall be constructed under the inspection and to the satisfaction of the City Public Works Department. The City may require minor changes in typical sections and details if unusual conditions arising during construction warrant such changes in the public interest. Modifications to the approved design requested by the developer may be subject to City review. Any monuments that are disturbed before all improvements are completed by the subdivider shall be replaced prior to final acceptance of the improvements; it shall be the responsibility of the developer's registered professional land surveyor to provide certification to the City that all boundary and interior monuments have been reestablished and protected.

**F. Engineer's Certification and As-Built Plans:** A registered civil engineer shall provide written certification in a form required by the City that all improvements, workmanship, and materials are in accord with current and standard engineering and construction practices, conform to approved plans and conditions of approval prior to City acceptance of the public improvements, or any portion thereof, for operation and maintenance. The developer's engineer shall also provide two (2) sets of "as-built" plans along with an electronic copy, in conformance with the City Engineer's specifications, for permanent filing with the City.

**G. Acceptance of Public Improvements:** Public improvements shall only be accepted by the City after the "as-built" plans and actual improvements are approved, and all

easements are recorded. Upon acceptance of public improvements, the City will accept ownership and maintenance responsibility.

**H. Warranty of Public Facilities:** All public improvements shall be warranted against defects in materials and workmanship for a period of one year following acceptance of the improvements by the City. Once accepted, a minimum one (1) year warranty agreement on materials and workmanship shall be initiated between the City of Florence and the developer. A warranty bond or other financial security acceptable to the City in the amount of 12 percent of the original public improvement construction cost shall be maintained throughout the warranty period.

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**FCC TITLE 10: CHAPTER 6, DESIGN REVIEW**

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**10-6-5: General Criteria:** The Design Review Board may require any of the following conditions it deems necessary to secure the purpose and intent of this Chapter...The Board shall consider the following criteria reviewing applications and may set conditions or standards which regulate and limit the following: (Ord. 680, 1-11-83)

**A. Visual buffers, setbacks, yards, coverage, height, density and similar design features.**

Visual buffers, setbacks, yards, coverage, height, and similar design features have been discussed in section 10-27 above.

**B. Lot area, dimensions and percentage of coverage.**

Lot area, dimensions and percentage of coverage have been discussed in section 10-27 above.

**C. Installation and maintenance of fences, walls, hedges, screens and landscaping according to standards set forth in FCC 10-34 Landscaping, and any requirements of the underlying zoning district.**

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**FCC TITLE 10: CHAPTER 34, LANDSCAPING**

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**10-34-2-2: Native Vegetation.** Preservation of existing native vegetation is strongly encouraged and preferred over removal of vegetation and re-planting. Existing native vegetation may be credited toward the landscape requirements of Section 10-34-3-3 if it is preserved in accordance with the following standards:

**A. Living plant material covers a minimum of 70 percent of the area proposed for preservation;**

**B. Preservation area(s) are a minimum of 30 square feet for any one area with dimensions a minimum of 5 feet on any side to ensure adequate space for healthy plant growth;**

**C. Preservation area(s) are setback from new construction areas a minimum of 10 feet from new structures, and a minimum of 5 feet from new hard-surface areas (e.g.**

parking lot, walkways), and replanted with native vegetation if damaged during construction;

**D. The preservation area is clearly marked and identified for protection on the landscaping plan as well as on-site (e.g. construction fencing) prior to site disturbance.**

**E. Existing noxious weeds within the preservation area are removed prior to approval of the installed landscaping; and**

**F. Preservation areas with grade changes around the perimeter are addressed with appropriate transition or stabilization measures (e.g. retaining wall) to avoid erosion.**

The applicant proposes to retain approximately 461 sq. ft. of native vegetation (after subtracting the area to be occupied by a new transformer) within the northwest corner of the property. The area is 18.5' by 27' meeting the dimensional criteria and a site visit indicates that it also meets the coverage criteria for preservation credit. The native preservation credit area (461 sq. ft.) shall be taped or fenced off prior to building permit issuance and any noxious vegetation shall be removed prior to issuance of a certificate of occupancy.

**(Condition 10)** The site plan proposes a perimeter curb as a stabilization and encroachment prevention measure.

**10-34-2-3: Significant Vegetation. “Significant vegetation” means:**

**A. Native vegetation, ...**

**10-34-2-4: Preservation Credit. The City may grant a “Preservation Credit” if existing significant vegetation on the site is preserved, in the form of a reduction of the overall landscape area and planting requirements of Sections 10-34-3-3. The City may authorize credits which effectively reduce the required landscaping if the following standards are met:**

**A. Significant vegetation species and areas to be preserved shall be mapped and flagged in support of the site development application. Significant trees shall be mapped individually and identified by species and diameter...Appropriate protection from construction damage shall be in place prior to site disturbance.**

**B. Native vegetation, wetland, riparian, and steep slope vegetation shall meet the standards set forth in Section 10-34-2-2 subsections A through F above.**

**C. Dead or diseased vegetation and split, leaning, or unstable trees shall not qualify as preserved vegetation.**

**D. Mature vegetation shall be trimmed and pruned as appropriate by qualified personnel to form a long-term element of the site landscaping.**

**E. Landscape credit for preserved significant vegetation areas shall be granted at the ratio of 2 to 1 (e.g. every one square foot of preserved significant vegetation shall be counted as two square feet in meeting the total specified landscape area for a site). However, in no case shall the requirement for actual landscaped area be reduced below 2/3 of the area that would be required with no credit.**

**F. Landscape credit for preserved trees shall be granted at the ratio of one less new tree planting for every two (2) inches diameter of preserved significant trees (e.g. a preserved tree of six inch diameter counts as three newly planted trees). This credit can be applied against required front yard, parking island, buffer, and/or street trees. However in no case shall this credit reduce the requirement for newly planted trees below 2/3 of the number that would be required with no credit. All preserved trees shall be protected from construction compaction or grade changes of more than six inches on the surface area in relation to the crown of the tree canopy.**

The preservation area is mapped on the site and demolition plans. The trees are identified by species and diameter. The landscaper will be supplementing the native area following construction and pruning the material. The area is required to be flagged and protected from construction.

The Mainstreet District requires the site to have a minimum of 10% of landscape area. The applicant has calculated 1859 sq. ft. of on-site landscaping area to be provided in both Phases 1 (909 sq. ft.) and 2 (422 sq. ft.) and 528 sq. ft. of calculable preservation credit area. The lot area of 15,847 sq. ft. requires 1,584 sq. ft. of landscaping. Credit for the preservation area is granted at a ratio of 2 to 1. However the reduction cannot reduce below 2/3 of the requirement. The applicant is claiming 461 sq. ft. of the site as qualifying for preservation credit which calculates to 922 sq. ft. of credit for which only 528 may be used. The above code permits one less new tree to be planted for every two inches diameter of preserved trees greater than 4 inches in diameter. The same limit is imposed in that the minimum number of required trees cannot fall below 2/3 of number of required trees. The plan proposes retention of 3 trees in the preservation area totaling 44" of diameter (2-18" and 1-8"). The 130 linear feet of frontage requires five trees. The preservation credit to be applied is one tree (1/3 of total required limit) The preservation area meets or can be conditioned to meet the above criteria for area. The number of required trees and other landscaping requirements are discussed in section 10-34-3-3 below.

**10-34-3-3: Landscape Area and Planting Standards. The minimum landscaping area is 15% of the lot area, unless specified otherwise in the applicable zoning district for the proposed use. This required minimum landscaping area may be reduced if preservation credits are earned as specified in Section 10-34-2-4.**

**A. Landscaping shall include planting and maintenance of the following:**

- 1. One tree per 30 lineal feet as measured along all lot lines that are adjacent to a street.**
- 2. Six shrubs per 30 lineal feet as measured along all lot lines that are adjacent to a street.**
- 3. Living plant materials shall cover a minimum of 70 percent of the required landscape area within 5 years of planting.**
- 4. Except for preservation of existing significant vegetation, the required plant materials on-site shall be located in areas within the first 20 feet of any lot line that abuts a street. Exceptions may be granted where impracticable to meet this requirement or the intent is better served. Required trees may be located within the right-of-way and must comply with Section 10-34-4. Plant materials may be installed in any arrangement and do not need to be equally spaced nor linear in**

**design. Plantings and maintenance shall comply with the vision clearance standards of FCC 10-35-2-13.**

**5. Pocket-planting with a soil-compost blend around plants and trees shall be used to ensure healthy growth.**

**B. Noxious Weeds shall be removed during site development and the planting of invasive or noxious weeds is prohibited.**

Proposal--The Mainstreet District requires 10% landscaping area. The application qualifies for preservation credit as detailed above and includes 528 sq. ft. and one tree. The landscape plan while provided for the entire site will be installed in phases commensurate with the building phases. Phase 1 can qualify for its proportionate landscape requirements without reliance on Phase 2 quantities for plantings or area. Due to the elective language of some of the Phase 2 landscaping only review of Phase 1 is performed at this time. Phase 2 will be reviewed with it design review for the building.

Trees & Shrubs--The 130 linear feet of frontage requires placement of 5 trees and 26 shrubs. Four trees are required with the credit. The landscape plan illustrates provision of 103 shrubs and 5 trees (3 new maples as street trees and two vine maples (one within a planting strip and one within the vegetation retention area)). Due to the pedestrian-oriented code requirements related to front yards for this district it is found that it is nearly impracticable to locate the additional trees within the front 20 feet of a street abutting lot line. Locating them within the preservation area serves a better intent by supplementing the area by providing a mid-level canopy. The landscape plans state that plants will be installed in a soil compost blend, irrigation, and bark. The street trees will be installed with root barriers near the infiltrators. These criteria are met.

**10-34-3-7: Buffering and Screening. Buffering and screening are required under the conditions listed below (Criteria A-D.) Walls, fences, and hedges shall comply with the vision clearance requirements and provide for pedestrian circulation, in accordance with FCC 10-35-2-13.**

Parking and maneuvering area buffering is not required for this development due to the provision of garage parking and absence of extraneous loading/driveway areas. No outdoor storage, mechanical equipment or manufacturing is proposed. The use is a multi-family residential building which is not required to provide buffering to abutting uses other than commercial, industrial or other non-residential use. These criteria are met.

**10-34-5: FENCES AND WALLS: Construction of fences and walls shall conform to all of the following requirements: A-F**

Fences and walls were addressed earlier.

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#### **Title 10-6 DESIGN REVIEW (continued)**

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**D. The location and design of access and egress points for vehicles and pedestrians, including access points along State highways according to standards**



set forth in FCC 10-35 Access and Circulation, and any requirements of the underlying zoning district.

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**TITLE 10: CHAPTER 35: ACCESS AND CIRCULATION**

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**10-35-2-7: Intersection Separation; Backing onto Public Streets. New and modified accesses shall conform to the following standards:**

- A: Separation Distance from Driveway to Pavement; Alley 15 ft., Local Street 25 feet.**
- B. Where the City finds that reducing the separation distance is warranted....**

The applicant is not proposing any driveways onto 8<sup>th</sup> St. The driveway off the alley is approximately 90 ft. from the alley's intersection with Maple St. All driveways meet the separation criterion.

**C: Access to and from off-street parking areas shall be designed to prevent backing onto a public street.**

This criterion is addressed in the FCC 10-3 parking review.

**10-35-2-9: Site Circulation. New developments shall be required to provide a circulation system that accommodates expected traffic on the site. Pedestrian and bicycle connections on the site, including connections through large sites, and connections between sites (as applicable) and adjacent sidewalks, trails or paths, must conform to the provisions in Section 10-35-3.**

All of the Phase 1 building's six exterior doors have exterior access onto a 5' wide or greater sidewalk. The two stormwater planters south of the parking lot shall ensure the required 6" wide planter wall does not encroach into the required 5' wide pedestrian access along the northern building wall. ADA access is available to the back door and also to the front door via a pathway within the 8<sup>th</sup> St. right-of-way. All on-site parking areas have pedestrian access to the building. On-site circulation is provided.

**10-35-2-12: Driveway Design: All openings onto a public right-of-way and driveways shall conform to the following:**

- A. Driveway Approaches. Driveway approaches, including private alleys, shall be approved by the Public Work Director and designed and located with preference given to the lowest functional classification street. Consideration shall also be given to the characteristics of the property, including location, size and orientation of structures on site, number of driveways needed to accommodate anticipated traffic, location and spacing of adjacent or opposite driveways.**
- B. Driveways. Driveways shall meet the following standards, subject to review and approval by the Public Works Director:**

1. Driveways for single family residences shall have a width of not less than ten (10) feet and not more than twenty-four (24) feet.
  2. Driveways shall have a minimum width of ten (10) feet, except where a driveway serves as a fire apparatus lane, in which case city-approved driveway surface of 12 feet minimum width shall be provided within an unrestricted, twenty (20) foot aisle, or as approved by the Fire Code Official.
  5. The maximum allowable driveway grade is fifteen (15) percent, except that driveway grades exceeding fifteen (15) percent may be allowed, subject to review and approval by the Public Works Director and Fire Code Official, provided that the applicant has provided an engineered plan for the driveway. The plan shall be stamped by a registered geotechnical engineer or civil engineer, and approved by the Public Works Director.
- C. **Driveway Apron Construction.** Driveway aprons (when required) shall be constructed of concrete and shall be installed between the street right-of-way and the private drive, as shown in Figure 10-35(2) (pictured on next page). Driveway aprons shall conform to ADA requirements for sidewalks and walkways, which generally require a continuous unobstructed route of travel that is not less than three (3) feet in width, with a cross slope not exceeding two (2) percent, and providing for landing areas and ramps at intersections. Driveways are subject to review by the Public Works Director.

The applicant shall apply for and receive approval of a right-of-way permit for driveway apron construction prior to construction of the driveway apron onto the alley. **(Condition 11)**

**10-35-2-13: Vertical Clearances:** Driveways, private streets, aisles, turn-around areas and ramps shall have a minimum vertical clearance of 13' 6" for their entire length and width.

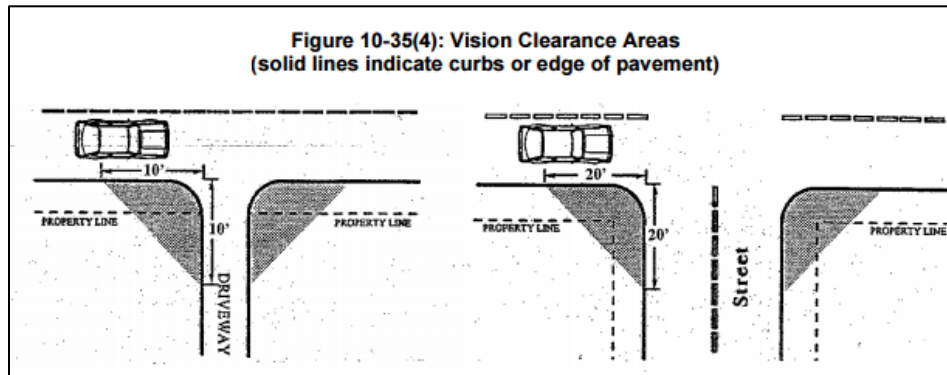
The applicant has not proposed any structures that would have less than the minimum vertical clearance within the above listed areas.

**10-35-2-14: Vision Clearance:** No visual obstruction (e.g., sign, structure, solid fence, or shrub vegetation) shall block the area between two and one-half feet (2 ½') and eight (8) feet in height in "vision clearance areas" on streets, driveways, alleys, mid-block lanes, or multi-use paths where no traffic control stop sign or signal is provided, as shown in Figure 10-35(4). The following requirements shall apply in all zoning districts:

- B. At the intersection of an alley or driveway and a street, the minimum vision clearance shall be ten feet (10').

The sides of the minimum vision clearance triangle are the curb line or, where no curb exists, the edge of pavement. Vision clearance requirements may be modified

by the Public Works Director upon finding that more or less sight distance is required (i.e., due to traffic speeds, roadway alignment, etc.). This standard does not apply to light standards, utility poles, trees trunks and similar objects. Refer to Section 10-1-4 of this Title for definition.



The areas subject to vision clearance are the planters on either side of the driveway access off the alley and adjacent to the eastern parking area. *Escallonia rubra compacta* is proposed in the eastern landscape bed. The western bed will retain the existing native vegetation within the vision clearance area. Presuming the *escallonia* can meet the vision clearance area and the native vegetation is trimmed back the vision clearance areas are free of visual obstructions. All vision clearance areas shall be free of visual obstructions from 2' 6" to 8' in height. **(Condition 12)**

**10-35-3: PEDESTRIAN ACCESS AND CIRCULATION:** All new development shall be required to install sidewalks along the street frontage, unless the City has a planned street improvement, which would require a non-remonstrance agreement.

#### **10-35-3-1: Sidewalk Requirements:**

**A. Requirements:** Sidewalks shall be newly constructed or brought up to current standards concurrently with development under any of the following conditions:

- 1. Upon any new development of property.**

Sidewalks are required for this redevelopment project. Sidewalks are available on 8<sup>th</sup> St. west of the project site. Sidewalks are not located adjacent to either of the two original sites making up this project. The site plan illustrates sidewalks along the front of the Phase 1 building but not continuing west to the adjacent library parking site. The applicant shall apply for and receive right of way permits for construction and improvement of sidewalks and ADA transitions, meeting the City Standards and Specifications connecting to those existing on 8th Street prior to the issuance of a Certificate of Occupancy. **(Condition 13)**

**B. Exceptions:** The Public Works Director may issue a permit and certificate allowing noncompliance with the provisions of subsection (A) of this section and obtain instead a nonremonstrance agreement for future improvements when, in the Public Works Director's determination, the construction of a sidewalk is impractical for one or more of the following reasons:

1. **Sidewalk grades have not and cannot be established for the property in question within a reasonable period of time.**
2. **Future installation of public utilities or street paving would, of necessity, cause severe damage to existing sidewalks.**
3. **Topography or contours make the construction of a sidewalk impractical.**
4. **Physical improvements are present along the existing street that prevents a reasonable installation within the right-of-way or adjacent property.**
5. **If the proposed development is in a residential zoning district and there are no sidewalks within 400 linear feet.**

The applicant may request exception or non-compliance of the required criteria from Public Works by checking with the Public Works Director for their determination if any of the above conditions exist onsite.

- C. **Appeals: If the owner, builder or contractor considers any of the requirements impractical for any reason, s/he may appeal the decision to the Planning Commission.**
- D. **Timing: Sidewalks shall be constructed and approved by the Public Works Department prior to final inspection for the associated building permit. No certificate of occupancy may be issued until the required sidewalks are constructed or financially secured.**

The construction of sidewalks is required prior to the issuance of a Certificate of Occupancy as stated above.

**10-35-3-2: Site Layout and Design. To ensure safe, direct, and convenient pedestrian circulation, all developments shall provide a continuous pedestrian system. The pedestrian system shall be based on the standards in subsections A - C, below:**

**A. Continuous Walkway System. The pedestrian walkway system shall extend throughout the development site and connect to all future phases of development, and to existing or planned off-site adjacent trails, public parks, and open space areas to the greatest extent practicable. The developer may also be required to connect or stub walkway(s) to adjacent streets and to private property with a previously reserved public access easement for this purpose in accordance with the provisions of Section 10-35-2, Vehicular Access and Circulation, and Section 10-36-2 Street Standards.**

**B. Safe, Direct, and Convenient. Walkways within developments shall provide safe, reasonably direct, and convenient connections between primary building entrances and all adjacent streets,**

**C. Connections Within Development.** Connections within developments shall be provided as required in subsections 1 - 3, below:

1. Walkways shall be unobstructed and connect all building entrances to one another to the extent practicable, as generally shown in Figure 10-35(5);
2. Walkways shall connect all on-site parking areas, storage areas, recreational facilities and common areas, and shall connect off-site adjacent uses to the site to the extent practicable. Topographic or existing development constraints may be cause for not making certain walkway connections; and
3. For large parking areas with 80 or more parking spaces and depending on the layout of the parking lot, the City may require raised walkways a minimum of 5 feet wide to provide pedestrian safety.

These criteria are addressed and conditioned elsewhere in the report.

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**Title 10-6 DESIGN REVIEW (continued)**

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**E. Noise, vibration, smoke, dust, odor, light intensity and electrical interference's.**

Other than construction none of the above concerns are proposed inconsistent with a multi-family use.

**F. Parking and outside display areas, dimensions, surfacing and on-site traffic circulation according to standards set forth in FCC 10-3 Parking and Loading.**

Parking is discussed above. Applicant proposes no outside display or storage areas. Loading and driveway areas are dimensionally adequate for the development.

**G. Architectural quality and aesthetic appearance, including compatibility with adjacent buildings.**

**H. Color, building materials and exterior appearance in accordance with the policies established by the City in the Downtown Implementation Plan, and in applicable zoning districts.**

To insure compatibility and integration with the Mainstreet character, and to encourage revitalization. Architectural design shall be reviewed against the Downtown Architectural Guidelines to determine compatibility, with the exception of solar photovoltaic and solar thermal energy systems as allowed by HB3516.

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**FLORENCE DOWNTOWN ARCHITECTURAL DESIGN GUIDELINES**

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**BUILDING STYLE**

**Context**

Each building or addition shall be designed within the context of its larger surroundings and environment in terms of overall street massing, scale and configuration.

The building will be situated between the post office and the public library and just west of Banner Bank complex, all single story buildings sized about a 1/3 to 1/2 of a block in size. Therefore the scale of this proposed office building at full build out is very compatible with the mass and configuration of some of the neighboring buildings. This criterion is met.

### **Historic Style Compatibility**

**New and existing building design shall be consistent with the regional and local historical traditions. While incorporating historic ornament and detail into new buildings is encouraged, it is recognized that the current cost of such detail may not be feasible. Instead, historic compatibility is better achieved by relating to the vertical proportions of historic facades, windows and doors, and the simple vertical massing of historical buildings.**

- **New buildings: Design shall be compatible with adjacent historic buildings.**

The site is located in an area that was developed in the 40's and has since largely redeveloped. The oldest historic structures in the area are residential with the exception of a restaurant house conversion. The house designs are typically side gabled with shed or gable roof accents such as porch/entry and dormers. There are a few hipped roof structures and even fewer double front gables such as the applicant's proposal. The commercial structures were developed in the 60-70's with the library and some of the stores developing more or very recently. The older commercial structures have eccentric roof styles and incorporate some heavier building materials. The newer commercial and historic residential materials are exclusively lap with compatible trim color. The proposed office building blends the scale of the larger buildings with the materials and some styling of the nearby historic residential structures. This criterion is met.

### **BUILDING FACADES**

#### **Horizontal Design Elements**

**Buildings shall have a distinctive horizontal base, second floor and eave, cornice and/or parapet line. Horizontal articulation can be made by material changes or applied fascia detail.**

The Phase 1 8<sup>th</sup> St. and Maple St. elevations illustrate a single story building sided with hardie-plank lap and front gables sided with hardie-shingle. The 8<sup>th</sup> St. and Maple St. building elevations are proposed to be horizontally trimmed between the materials in a contrasting color. Elements of the existing buildings meet these criteria for horizontal design.

#### **Vertical Design Elements**

**Building faces shall have distinctive vertical lines of emphasis spaced at relatively even intervals. Vertical articulation can be made by material changes, variations in**

**roof heights, applied fascia, columns, bay windows, etc. The intent is to vertically breakup long, uninterrupted building elevations that face onto streets. Maximum spacing of vertical articulations shall be 50 feet.**

The Phase 1 8<sup>th</sup> St. elevation illustrates three front gables staggered both vertically and horizontally. The main entry will be made via a covered patio under the lowest gable framed on either side with exposed wood columns. Seven windows are proposed on the Phase 1 front elevation, five double paned and two single paned. Phase 2 begins the next set of vertical articulations with two front gable ends starting at around the 50' mark. The western elevation due to the library parking lot and absence of a building does face onto Maple St. The Phase 1 western elevation includes a side gable extending roughly 42' of the building's length. The Phase 2 gable will be larger and extend from its northern terminus to the north end of the building about 40' away. One door and eight windows are visible on the western elevation, five double paned and three single paned. The above criteria are met.

### **Permitted Visible Building Materials**

#### **Exterior Building Walls**

- **Lap siding, board and batten siding, shingles and shakes. Vinyl and metal siding shall not be permitted.**
- **Brick or stone masonry, minimum 2-1/2" deep solid veneer material.**
- **Cement-based stucco.**

The elevations indicate that the exterior of the building will be sided with both hardie-plank smooth lap siding and hardie-shake siding. These proposed materials are acceptable. Hardie-plank siding, though not expressly allowed by architectural guidelines, may also be used due to its durability provided that it is close enough in texture and appearance to materials of the representative period. Materials in the adjoining structures are generally lap of varying materials. Historically, asphaltic and asbestos coated wool shingles were popular moving to aluminum lap and then vinyl. Vinyl and metal siding are not permitted. Smooth lap would mimic some of materials of the later historic period of the residences. A wood pattern would be more similar to the earliest of the nearby structures it being popular in the 30's. The criteria are met.

### **Roofs, Awnings, Gutters and Visible Roofing Components**

- **Composition shingles, concrete, slate or cedar shingles, or concrete or ceramic clay tiles. Red composition shingle similar to the Kyle Building is encouraged.**
- **Standing seam roofing: copper, terne metal or coated metal**
- **Gutters and downspouts: Copper, terne, coated metal**
- **Single or multi-ply roofing, where visibly concealed.**
- **Glass, steel, wood or canvas fabric awnings.**
- **Skylights: metal and wood framed glass and translucent polymer.**

Arctic Gray architectural composition shingles are proposed. Gutters and downspouts are proposed to be coated metal. No awnings or skylights are proposed. The criteria are met.

### **Windows, Entrances and Accessories**

- **Wood, vinyl, or pre-finished metal frames and sashes**
- **Glazed and unglazed entry doors shall be wood, prefinished or coated metal or fiberglass**
- **Solid Wood or fiberglass shutters**

The elevations propose vinyl windows and glazed entry doors made of wood, coated metal, or fiberglass. The criteria are met.

### **Trellises, Decks, Stairs, Stoops, Porches, and Balconies**

- **Architectural concrete, brick, and stone masonry, solid wood or fiberglass columns, posts, piers and arches**
- **Wood, brick, concrete and stone masonry decks, stoops, stairs, porches and balconies**
- **Solid wood, painted welded steel or iron trellises**
- **Railings, balustrades and related components shall be solid wood, painted welded steel or iron**

The steps leading up to the canopy are proposed to be concrete. The canopy/porch posts are proposed to be solid wood. No trellises or railings are proposed. The criteria are met.

### **Landscape/Retaining Walls and Fences**

- **Brick and stone masonry or precast concrete a minimum of 8" nominal thickness with a finished top course, cap or other compatible termination.**
- **Architecturally finished exposed concrete**
- **Cement-based stucco over masonry or concrete substrate**
- **Solid wood pickets, lattice and boards**
- **Painted welded metal or iron**

Fences were discussed earlier under trash enclosures. The proposed masonry material meets this code criterion. The thickness and top finishing were not proposed. Masonry shall be a minimum of 8" nominal thickness with a finished top course, cap or other compatible termination. **(Condition 8)**

### **Building and Site Material Colors**

- **Color finishes on all building exteriors shall be approved by the City.**

The color swatches indicate a mid-yellow base color and arctic white or similar trim. These selections compliment nearby buildings and are consistent with the preferred pastel NW coastal color palette.

### **Building Walls**

- **For each building, there shall be one single, clearly dominant exterior wall material and finishes.**
- **Brick and stone facades shall return at least 18" around side walls (Figures**



1a and 1b).

- Building walls of more than one material change along horizontal lines only, with a maximum of three materials allowed per façade (Figures 2a and 2b).
- Heavier appearing materials shall only be used below lighter appearing materials.
- Siding and shingles shall have a maximum 6" to the weather.
- 4" minimum width corner, skirt, rake and eave trim shall run the full height of each façade, flush or protrude beyond the surrounding wall surface.
- Board and batten siding: battens shall be spaced a maximum of 8" on center.

The 8<sup>th</sup> St. elevation is the dominant exterior wall with lap and shingle materials changing on the horizontal line of the gable bottom. The shingle is a straight edge and does not appear heavier than the lap. The lap siding is proposed to have a 6" exposure. The shingle is proposed to be 7" exposure. The shingle style shall be modified to have a maximum of 6" to the weather. **(Condition 14)** There is no board and batten or brick or stone facades used. All trim is greater than 4", with most being between 7" and 8". All the criteria are met.

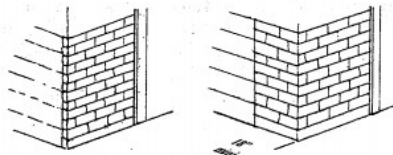


Figure 1a: Thin veneer with no side return is not allowed

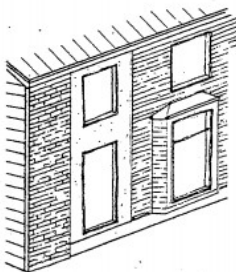


Figure 2a: Heavy materials above or along lighter not allowed

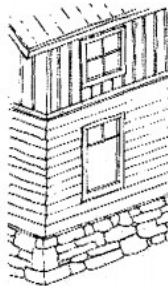


Figure 2b: Allowed

### **Bay Widths**

- Visible first floor vertical elements such as columns and pilasters shall be spaced center to center a maximum of 25' and minimum of 8 ft. apart.

The front entry exposed 6" x 6" wood column posts are proposed to be spaced 20' apart meeting this criterion.

### **Window Glazing Materials**

Clear or Low E glazing. Tinted or reflective glass and glass block shall not be visible from public rights-of-way. Glass shall be recessed at least 1 ½ in. from the surrounding exterior wall surface. Butt joint glass is not recommended. True-divided lights with mullions, or no divided lights are recommended over artificial

## **snap-in mullions.**

The windows are proposed to be clear low E glazing and the glass/glazing recessed 1 ½" from the exterior wall surface. The windows meet the criterion.

## **Building Primary Entries**

**The entry enclosure should project out from or be recessed in from the surrounding building façade 3 feet to articulate the building's access, and ensure that out swinging doors do not project into sidewalks. Primary entrances shall open directly onto the primary public street, and be unlocked during business hours. Additional entrances to rear or side parking areas are allowed.**

The front entry opens directly onto 8<sup>th</sup> St. and includes a covered canopy that projects 3' from the building façade to the canopy posts and 6' from the building to the face of the canopy.

## **Roofs, Awnings, Gutters and Roofing Accessories**

- **Visibly sloped roofs shall pitch a minimum of 5:12 to a maximum 12:12 with symmetrical gable or hip configuration.**
- **Eaves shall be continuous except at sheds and dormers.**
- **Shed roofs shall attach to the main building wall or roof ridge with minimum 3:1 slope.**
- **Flat roofs shall be concealed by cornices or parapets.**
- **Gutters shall be round or ogee profile. Leaders shall be round or square.**
- **All roof-mounted components such as mechanical equipment shall not be visible from street-level public rights-of-way.**
- **Sloped roof eaves shall overhang exterior wall planes at least 12" and shall be visibly supported by exposed rafter ends or other compatible architectural detailing.**

The 8<sup>th</sup> St. elevation roof design includes 3 symmetrical front gables with 6:12 pitch. The Phase 1 Maple St. elevation includes an unsymmetrical gable with a 6:12 pitch on the north side and a 4:12 on the south side. While this review does not include Phase 2 the Phase 2 Maple St. elevation proposes a 4:12 pitch on the north side, making the gable symmetrical. Minimum pitch allowed for a symmetrical gable is 5:12. **(Informational 6)** Gutter style is proposed to be "k" style. Gutters shall be round or ogee profile. Leaders shall be round or square. **(Condition 15)** No roof mounted mechanical equipment is proposed. All eaves are continuous. The site plan annotates eaves overhanging 2' on all elevations except on the east where they state 18". The elevations illustrate 12" overhangs. 12" are permitted. The plans submitted for building permits shall clarify the overhang width. **(Informational 6)** The elevations indicate that the rafters will be exposed with 2x. The criteria are met except as conditioned.

**I. Exterior lighting and security.**

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**TITLE 10: CHAPTER 37: LIGHTING**

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**10-37-2: APPLICABILITY:** Section 10-37 applies to installation of all lighting fixtures as of the effective date of this Ordinance, except as exempted by provision of this Ordinance. Devices include but are not limited to, lights for: buildings and structures, recreational areas, parking lot and maneuvering areas, landscape areas, streets and street signs, product display areas, building overhangs and open canopies, holiday celebrations, and construction lights.

As new construction, exterior lighting fixtures installed must meet the requirements of Title 10, Chapter 37.

**10-37-3: LIGHTING PLANS REQUIRED:** All applications for building permits and land use planning review which include installation of exterior lighting fixtures, not exempted, shall include the number of luminaires, the number of lamps in each luminaire, a photometric report for each type of luminaire and a site plan with the photometric plan of the lumen output.

**The City shall have the authority to request additional information in order to achieve the purposes of this Ordinance.**

The applicant provided a lighting plan with the site plan. They propose two 20' high parking lot lamps that are dark sky compliant. Additionally quarter bowl sconces are proposed at each pedestrian door. The applicant submitted a photometric report for each type of light. A site plan with the photometric plan was only provided with the parking lot lamps. With the building permit application a photometric plan with site plan shall be provided for the pedestrian door lamps. **(Condition 7)**

**10-37-4: LIGHTING STANDARDS:**

- A. All exterior lighting fixtures subject to this code section must be designed as a full cut-off fixture or have a shielding method to direct light emissions downward below the horizontal plane onto the site and does not shine illumination or glare skyward or onto adjacent or nearby property.**
- B. Parking areas shall have lighting to provide at least two (2) foot-candles of illumination at any point in the entire lot with a maximum of five (5) foot-candles over parking spaces and walkways. The Design Review Board may decrease the minimum if the applicant can provide documentation that the overall parking lot has adequate lighting. The Design Review Board may increase the maximum on a**

**case-by-case basis, with no greater than 7 foot-candles measured directly under the light fixture.**

- C. Lighting in or adjacent to residential zones or residential uses shall not exceed twenty feet in height as measured from the adjacent grade to the top of the light fixture. Heights in other zoning districts shall not exceed 25 feet unless the Design Review Board adopts findings that the higher light fixtures are necessary to achieve proper illumination levels.**
- D. Main exterior lights for commercial, institutional, and industrial buildings, landscaping and parking lots shall be extinguished at end of business hours with a minimum lighting remaining for personal and building security and safety after hours.**
- E. A thirty-day review period beginning with the first day in business using the new lighting system shall be required to evaluate and adjust illumination levels of lighting. The City may ask for lighting to be adjusted in this time period based on public comments or staff inspections.**
- F. All externally lit commercial signs should shine from the top and point down toward the ground. Signs with uplighting must be shielded so that illumination is restricted to the sign face and glare is eliminated.**

Full cut-off fixtures are proposed for both lighting styles. The parking lot light pole was conditioned to be a different style and shorter consistent with the zoning criteria requirement for architecturally consistent styling and pedestrian scaled lighting. The lighting in the parking areas meet the foot candle criteria reaching all areas within the illumination requirements. No signage or related lighting was proposed.

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**Title 10-6 DESIGN REVIEW (continued)**

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**J. Public health, safety and general welfare.**

Staff has reviewed the public health, safety and general welfare in other parts of this report and has either made positive findings or conditions. No other public health, safety, or general welfare concerns are found.

**K. Requiring a time period within which the proposed use or portions thereof shall be developed.**

The design review approval remains valid for one year from the date of the Planning Commission's approval. If construction does not begin within the period specified, the applicant must return to the Planning Commission for an extension of time.

**L. Requiring bonds to insure performance of special conditions. (Ord. 625, 6-30-80)**

Public Works may in its discretion require a bond for the construction of improvements in the right-of-way such as the water main replacement within the 8<sup>th</sup> St. Right-of-way. This was discussed earlier in the report. Staff finds that no other bonds to insure performance of special conditions are needed.

**M. Such other conditions as are necessary to implement policies contained in the Florence Comprehensive Plan. (Ord. 680, 1- 11-83)**

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**Florence Realization 2020 Comprehensive Plan**

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**Chapter 2: Land Use, Commercial Policies 3, 4 & 6, Other Plan Designations, Policy 1**

**Commercial**

**Policy 3. The City shall promote the efficient use of available lands designated for the establishment of commercial uses.**

**Policy 4. The City shall encourage commercial developments which enhance their surroundings through the on-site use of attractive architecture, relative scale, abundant landscaping, vehicular access improvements and appropriate signage.**

**Policy 6. All commercial developments shall be expected to meet a minimum level of improvement and development standards, either initially or at the time of reuse or redevelopment.**

**Other Plan Designations**

**Policy 1. The City should recognize unique land uses, sites, and/or ownership patterns and should provide for flexibility in the land use system to address unique situations while remaining consistent with City goals and policies.**

The proposed development is replacing two much smaller house conversion structures on two lots with a larger commercially designed structure maximizing the opportunity afforded by the zoning district for lot coverage making efficient use of commercial zoned lands. The land use application underwent design review specifically for landscaping, access, and architecture using the applicable code criteria and adopted comprehensive plan appendices. The application meets the development standards or has been conditioned to. The site is situated internally within the block within the Mainstreet District. The district limits front setbacks to 10' making the ability to meet landscape code difficult with regard to proximity to the front 20' adjacent to the street. Concession was made as permitted by code and approved by Planning Commission to locate countable plantings further back than the front 20' of the lot line facing street.

**VI. Conclusion and Recommendations:**

Staff finds the application, as presented meets or can meet applicable criteria in Florence City Code and the Florence Realization 2020 Comprehensive Plan provided that the following conditions of approval are met:

### Conditions of Approval:

1. Approval shall be shown on:

"A" Findings of Fact
"B" Site Plans
"C" Elevations
"C2" Colors & Materials
"D" Stormwater Plan
"D2" Stormwater Details
"E" Landscaping Plan
"F" Lighting Plan
"F2" Lighting Details
"G" Floor Plan
"H" Application
"I" Utility Improvements

Findings of Fact attached as Exhibit "A" are incorporated by reference and adopted in support of this decision. **Any modifications to the approved plans** or changes of use, except those changes relating to the structural integrity or ADA access which are regulated by Building Codes, will require approval by the Community Development Director or Planning Commission/Design Review Board.

2. Regardless of the content of material presented for this approval, including application text and exhibits, staff reports, testimony and/or discussions, the property owner/applicant agree to comply with all regulations and requirements of the Florence City Code which are current on this date, EXCEPT where variance or deviation from such regulations and requirements has been specifically approved by formal action as documented by the records of this decision and/or the associated Conditions of Approval. The property owner and applicant shall submit to the Community Development Department a signed "Agreement of Acceptance" of all conditions of approval prior to issuance of building permits.
3. Accessible parking spaces shall meet the requirements of FCC 10-3-5 and shall be identified with signs and pavement markings identifying them as reserved for persons with disabilities. Signs shall be posted directly in front of the parking space at a height of no less than 42 inches and no more than 72 inches above pavement level. Van spaces shall be specifically identified as such.
4. A curb of not less than six inches in height shall be placed along the eastern property line abutting the turn-around area to prevent motor vehicle encroachment onto the adjacent private property
5. The applicant shall apply for and receive a private use of a public right-of-way permit for the bicycle parking encroaching into the 8th St. right-of-way prior to issuance of a

building permit.

6. If required by Public Works the ADA accessible pathway will require a private use of the public right-of-way permit. Its maintenance like that of the abutting sidewalks will be the ongoing obligation of the property owner.
7. The parking lot lights shall reflect a lighting style that captures elements, shape or design representative of an architectural style found in neighboring area from a period between 1890 and 1940. A photometric plan with site plan shall be provided for the pedestrian door lamps with the building permit application. The parking lot lighting shall be reduced to a maximum of 16' in height.
8. If the gates to the trash enclosure are chain link they shall be slatted. Masonry shall be a minimum of 8" nominal thickness with a finished top course, cap or other compatible termination.
9. Prior to building permit issuance or construction of utilities the applicant shall apply for and receive approval of right-of-way permits from the Public Works Director for the stormwater, sanitary sewer and water improvement and connection plans. A private use of a public right-of-way permit is required for the stormwater infiltrators within the 8th St. right-of-way.
10. The native preservation credit area shall be taped or fenced off prior to building permit issuance and any noxious vegetation shall be removed prior to issuance of a certificate of occupancy.
11. The applicant shall apply for and receive approval of a right-of-way permit for driveway apron construction prior to construction of the driveway apron onto the alley.
12. All vision clearance areas shall be free of visual obstructions from 2' 6" to 8' in height. The landscaping proposed adjacent to the alley entrances shall meet this criterion.
13. The applicant shall apply for and receive right of way permits for construction and improvement of sidewalks and ADA transitions, meeting the City Standards and Specifications connecting to those existing on 8th Street prior to the issuance of a Certificate of Occupancy.
14. The shingle style shall be modified to have a maximum of 6" to the weather.
15. Gutters shall be round or ogee profile. Leaders shall be round or square.

### **Informational**

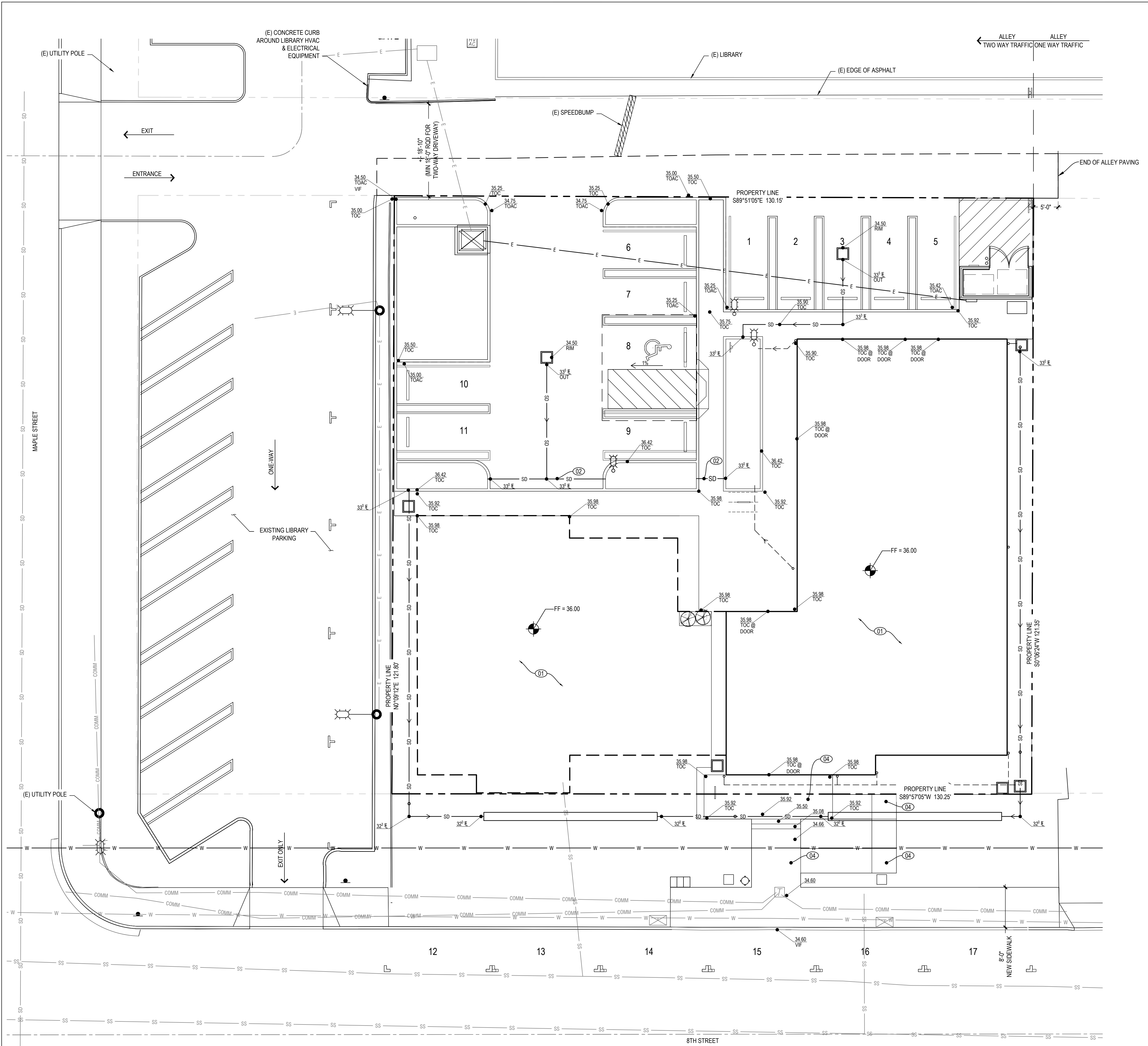
1. The applicant shall obtain all applicable building permits as part of this proposal.
2. The applicant shall provide landscaping and lighting plans for the office site, as well as a parking plan demonstrating the location of ADA accessible parking space and the number of parking spaces at the time of submittal of building permit applications.

3. Prior to commencement of alley improvements an application for a right-of-way permit improvement to the alley shall be applied for and approval received. The alley shall be improved in accordance with 10-36-2-1-D & 10-36-2-7 and requisite City of Florence Standard Drawing.
  4. The applicant shall obtain permission from Public Works for curb installation along the alley prior to their installation.
  5. The alley directional sign shall be installed by the developer after applying for and receiving approval from the Public Works Dept.
  6. The Maple St. Phase 2 elevation proposes a 4:12 pitch on the north side, making the gable symmetrical. Minimum pitch allowed for a symmetrical gable is 5:12. The plans submitted for building permits shall clarify the eave overhang width.
  7. This criteria review presumes the use of the conference rooms will be exclusively for the use of the counseling tenant and not rented out or made available for other public, agency, commercial or non-profit use. That type of use of the conference spaces, when operating concurrent with the regular building use, requires 10 additional vehicular parking spaces plus 1 space for each 200 sq. ft. of floor area.
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## **VII. EXHIBITS**

- "A" Findings of Fact
- "B" Site Plans
- "C" Elevations
- "C2" Colors & Materials
- "D" Stormwater Plan
- "D2" Stormwater Details
- "E" Landscaping Plan
- "F" Lighting Plan
- "F2" Lighting Details
- "G" Floor Plan
- "H" Application
- "I" Utility Improvements





1 CIVIL SITE GRADING PLAN - PHASE 1  
C3.1 SCALE: 1" = 10'-0"

GENERAL NOTES CIVIL SITE GRADING PLAN

1. FOR PROJECT & CIVIL NOTES SEE C0.0
2. FOR CIVIL SPECIFICATIONS SEE C0.1
3. FOR SITE PLAN SEE C3.0
4. FOR EROSION CONTROL SEE C2.0
5. FOR EROSION CONTROL NOTES SEE C2.1
6. ALL STORM DRAINS ARE TO BE 6" DIA.
7. ALL FOUNDATION DRAINS TO BE 4" PERF
8. ALL ROOF DRAINS TO BE 4" DIA.

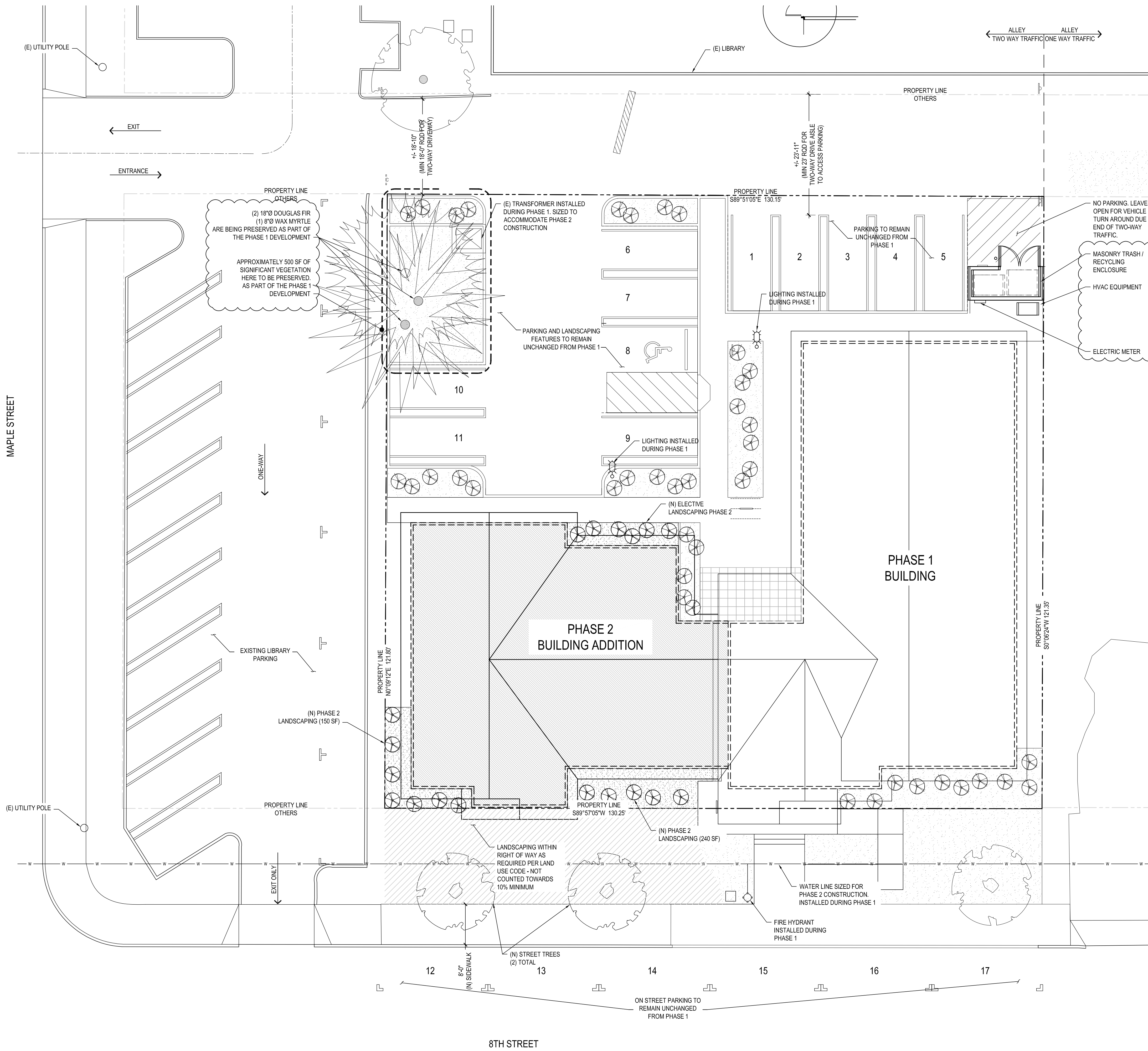
CIVIL SITE GRADING PLAN ABBREVIATIONS

TOC	TOP OF CONCRETE
TOAC	TOP OF ASPHALT CONCRETE
VIF	VERIFY IN FIELD
FL	FLOW LINE

KEYED NOTES CIVIL GRADING PLAN

- 01 T.O.F.S. (TOP OF FLOOR SHEATHING) = 36.00
- 02 NO SLOPE BETWEEN PLANTERS
- 03 ACCESSIBLE PATH MAX 1:20 SLOPE. NO CROSS SLOPE PER C14/6.0
- 04 LANDING

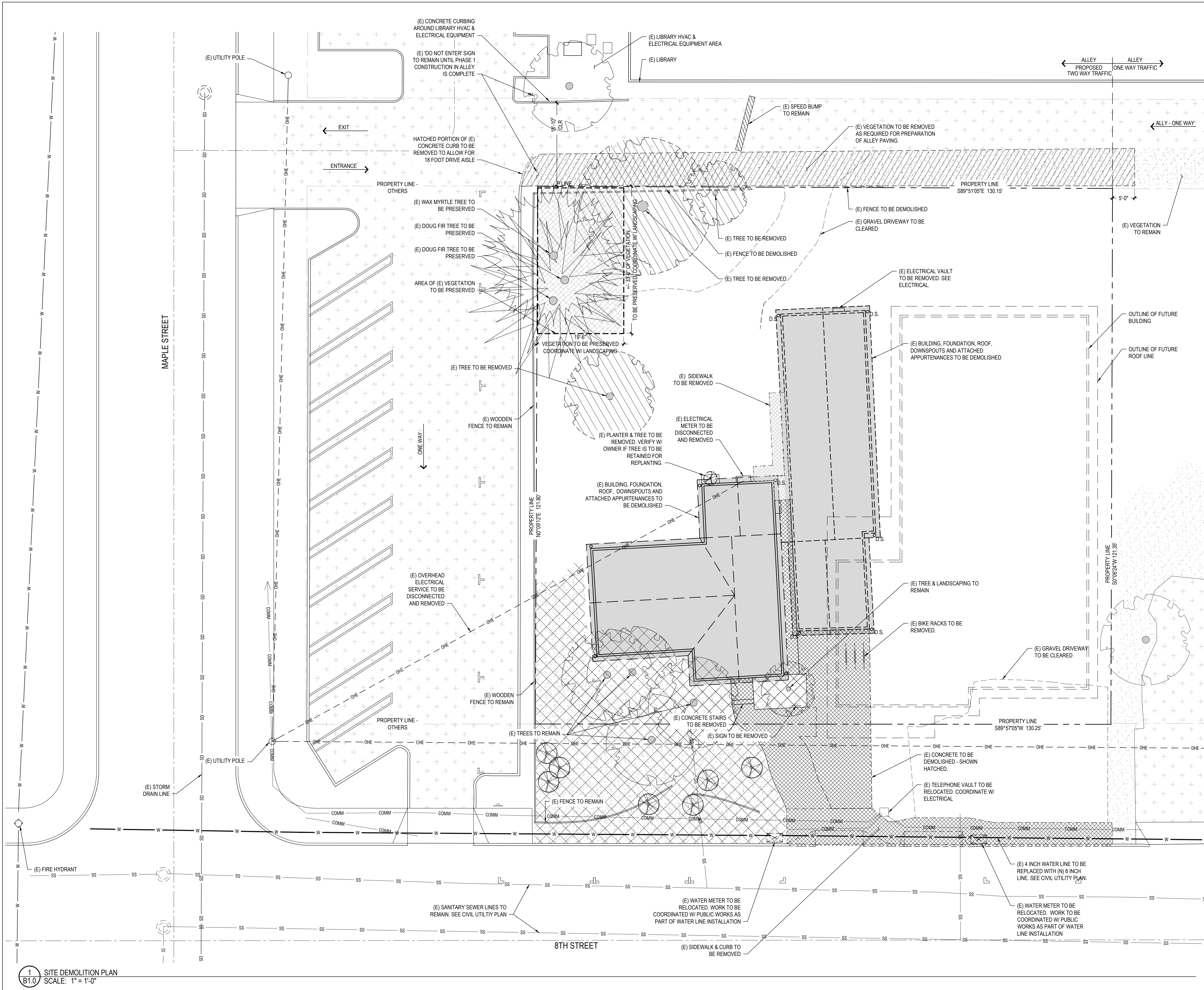
MAPLE STREET



#### GENERAL NOTES SITE PLAN - PHASE 2

- LANDSCAPING AREA REQUIREMENT:**  
MIN 10% LANDSCAPING REQUIRED  
TOTAL LOT AREA = 15,847 SF  
10% \* 15,847 = 1585 SF  
  
DURING PHASE 1 APPROXIMATELY 400 SF OF NATIVE VEGETATION IS BEING PRESERVED AT A 2:1 PRESERVATION CREDIT. MAXIMUM PRESERVATION CREDIT REDUCTION IS 1/3.  
1/3 (1585 SF) = 528 SF MAX PRESERVATION CREDIT TO BE APPLIED TOWARDS PHASE 2 LANDSCAPING.  
  
PHASE 2 DEVELOPMENT TO PROVIDE THE FOLLOWING NEW LANDSCAPING FEATURES:
  - 390 SF LANDSCAPING WITHIN 20 FEET OF PROPERTY LINE
  - 2 NEW STREET TREES AT 32 SF
  - 309 + 32 = 422  
1585 SF - 528 SF = 1057 SF NEW LANDSCAPING REQUIRED AT PHASE 2  
909 SF PROVIDED DURING PHASE 1 (EXCLUDING PRESERVATION CREDIT)  
422 SF PROPOSED PHASE 2 NEW LANDSCAPING  
909 SF + 422 SF + 528 SF = 1859 SF  
1859 SF TO BE PROVIDED > 1585 SF REQUIRED
- IMPERVIOUS SURFACES REQUIREMENT:**  
MAX 90% IMPERVIOUS SURFACES ALLOWED  
  
PHASE 1 IMPERVIOUS SURFACES = 10,550 SF  
PHASE 2 ADDITIONAL IMPERVIOUS SURFACES = 3350 SF (PHASE 2 BUILDING)  
PHASE 2 TOTAL IMPERVIOUS SURFACES = 13,900 SF  
  
13,900 SF / 15,847 SF = 88%  
88% IMPERVIOUS SURFACES PROPOSED < 90% IMPERVIOUS SURFACES ALLOWED
- PARKING REQUIREMENT:**  
MIN OF ONE SPACE PER 400 SF  
  
PHASE 2 DEVELOPMENT BUILDING AREA:
  - 4165 SF PHASE 1 BUILDING
  - 2970 SF PHASE 2 BUILDING  
TOTAL BUILDING AREA = 7135 SF  
7135 SF / 400 = 17 SPACES  
17 PARKING SPACES ARE REQUIRED  
17 TOTAL SPACES BEING PROVIDED AS PART OF PHASE 1 CONSTRUCTION
- BIKE PARKING**  
MIN OF ONE BIKE SPACE PER EVERY TEN VEHICLE PARKING SPACES  
  
17 VEHICLE SPACES / 10 = 1.7  
2 BIKE PARKING SPACES REQUIRED. 2 BIKE PARKING SPACES ARE BEING PROVIDED AT THE SOUTH ENTRANCE OF THE PHASE 1 BUILDING DURING PHASE 1 CONSTRUCTION. 2 ADDITIONAL ELECTIVE BIKE PARKING SPACES ARE BEING PROVIDED AT THE NORTH ENTRANCE DURING THE PHASE 1 CONSTRUCTION.



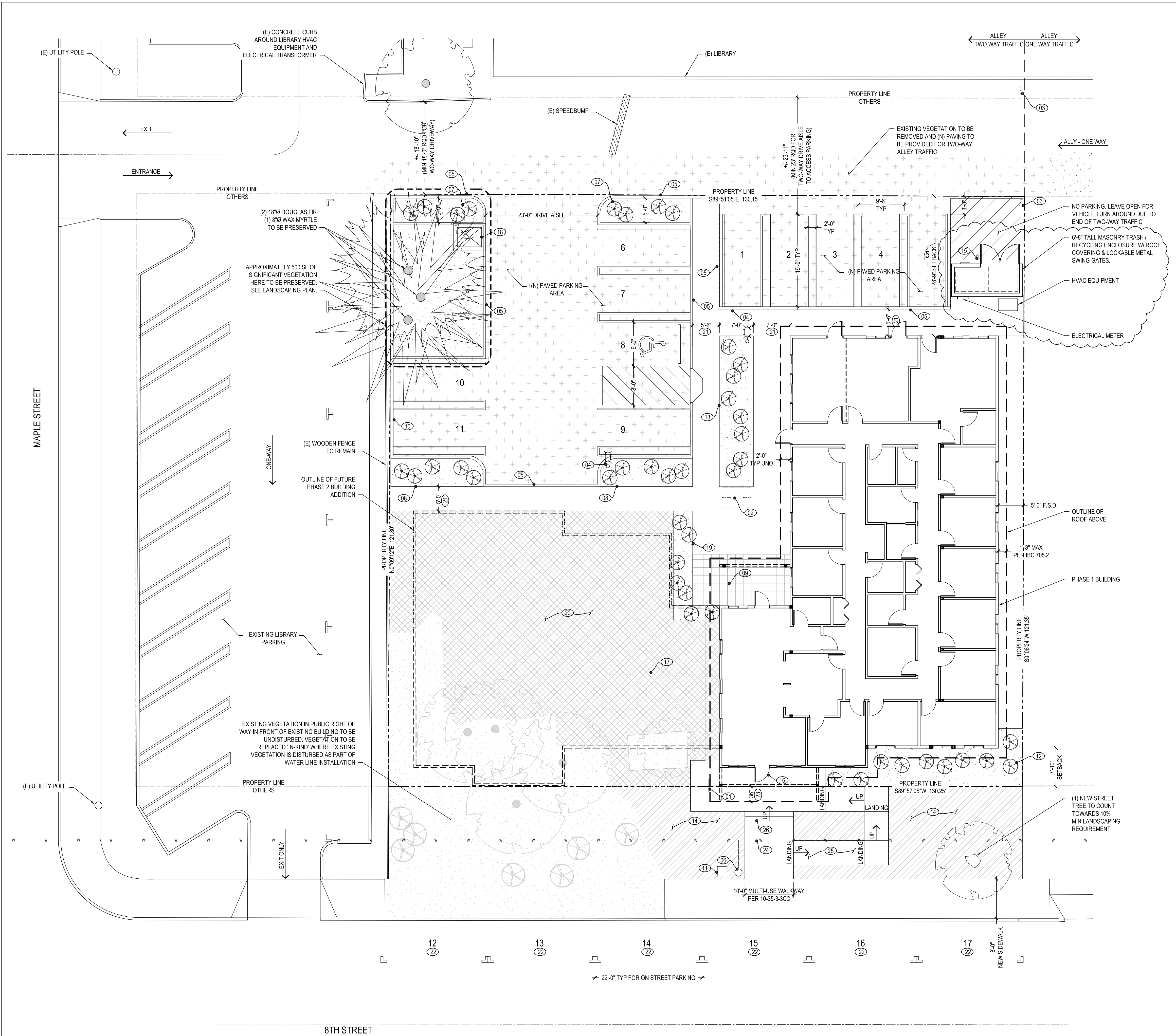


1 SITE DEMOLITION PLAN  
B1.0 SCALE: 1" = 1'-0"

- GENERAL NOTES DEMOLITION PLAN
1. CONTRACTOR TO COORDINATE THE DISCONNECTION OF BUILDING WATER, STORM WATER, WASTEWATER, ELECTRICAL AND OTHER UTILITIES WITH THE APPROPRIATE AUTHORITIES PRIOR TO DEMOLITION.
  2. SEE ELECTRICAL FOR ELECTRICAL DEMOLITION WORK
  3. SEE PLUMBING FOR PLUMBING DEMOLITION WORK
  4. VERIFY AND DOCUMENT EXISTING PLUMBING FIXTURES PRIOR TO DEMOLITION FOR SDG CREDITS

- LEGEND - DEMOLITION PLAN
- |   |
|---|
| (E) ASPHALT PAVING TO REMAIN  |
| (E) VEGETATION TO BE REMOVED  |
| (E) CONCRETE TO BE DEMOLISHED   |
| (E) VEGETATION TO REMAIN  |
| (E) BUILDING TO BE DEMOLISHED   |
| (E) VEGETATION TO BE PROTECTED DURING DEMOLITION & PRESERVED FOR LANDSCAPING CREDIT |

- |   |
|---|
| (E) DECIDUOUS TREES TO BE PROTECTED DURING DEMOLITION & PRESERVED FOR LANDSCAPING CREDIT  |
| (E) CONIFEROUS TREES TO BE PROTECTED DURING DEMOLITION & PRESERVED FOR LANDSCAPING CREDIT |
| (E) TREES TO BE REMOVED   |
| (E) TREES / VEGETATION TO REMAIN  |



1 BUILDING SITE PLAN - PHASE 1  
B1.1 SCALE: 1" = 10'-0"

#### GENERAL NOTES SITE PLAN

1. LANDSCAPING AREA REQUIREMENT:  
MIN 10% LANDSCAPING REQUIRED  
TOTAL LOT AREA = 15,847 SF  
TOTAL LOT AREA BEING DEVELOPED IN PHASE 1 = 12,600 SF  
10% \* 12,600 = 1260 SF LANDSCAPING REQUIRED FOR PHASE 1

PHASE 1 DEVELOPMENT TO PROVIDE THE FOLLOWING LANDSCAPING ELEMENTS:  
• PRESERVATION OF (2) 18" DOUGLAS FIR & (1) 8" WAX MYRTLE TREES  
• PRESERVATION CREDIT TO BE APPLIED TOWARDS STREET TREE REQUIREMENTS.  
• PRESERVATION OF APPROXIMATELY 400 SF OF NATIVE VEGETATION AT 2:1 CREDIT.  
400 x 2 = 800 SF  
MAXIMUM PRESERVATION CREDIT REDUCTION OF 1/3  
1/3 (1260 SF) = 420 SF MAXIMUM PRESERVATION CREDIT

- 300 SF LANDSCAPING TO BE PROVIDED WITHIN 20 FEET OF PROPERTY LINE
- STORM WATER PLANTERS & PARKING LOT LANDSCAPING = 609 SF

TOTAL PHASE 1 DEVELOPMENT LANDSCAPING BEING PROVIDED = 1329 SF  
1329 SF BEING PROVIDED > 1260 SF REQUIRED

2. IMPERVIOUS SURFACES REQUIREMENT:  
MAX 90% IMPERVIOUS SURFACES ALLOWED

PHASE 1 DEVELOPMENT IMPERVIOUS IMPERVIOUS SURFACES:  
• 5000 SF (PHASE 1 BUILDING)  
• 5550 SF IMPERVIOUS PAVING & FLAT WORK

TOTAL PHASE 1 IMPERVIOUS SURFACES = 10,550 SF  
TOTAL LOT AREA = 15,847  
10,550 SF / 15,847 SF = 67%  
67% IMPERVIOUS SURFACES PROPOSED < 90% IMPERVIOUS SURFACES ALLOWED

3. PARKING REQUIREMENT:  
MIN OF ONE SPACE PER 400 SF

PHASE 1 DEVELOPMENT BUILDING AREA:  
• 4165 SF PHASE 1 BUILDING  
• 1384 SF EXISTING BUILDING TO REMAIN

TOTAL BUILDING AREA = 5549 SF  
5549 SF / 400 = 13 SPACES  
13 PARKING SPACES ARE REQUIRED  
11 PARKING SPACES TO BE PROVIDED ON SITE  
6 PARKING SPACES TO BE PROVIDED ON STREET  
17 TOTAL SPACES BEING PROVIDED INCLUDING ONE VAN ADA SPACE

3. BIKE PARKING  
MIN OF ONE BIKE SPACE PER EVERY TEN VEHICLE PARKING SPACES

17 VEHICLE SPACES / 10 = 1.7  
2 BIKE PARKING SPACES REQUIRED. 2 BIKE PARKING SPACES ARE BEING PROVIDED AT THE SOUTH ENTRANCE.  
2 ADDITIONAL ELECTIVE BIKE PARKING SPACES BEING PROVIDED AT THE NORTH ENTRANCE.

#### KEYED NOTES

- (1) BIKE PARKING FOR 2 BIKES PER 10-3-10 B
- (2) ELECTIVE BIKE PARKING FOR 2 BIKES
- (3) (N) "DO NOT ENTER" SIGN. COORDINATE WITH PUBLIC WORKS.
- (4) (N) POLE MOUNTED LED LIGHT FIXTURE WITH FLUSH MOUNTED POLE BASE. SEE ELECTRICAL.
- (5) (N) 6" CONCRETE CURB
- (6) (N) FIRE HYDRANT TO BE LOCATED WITHIN PUBLIC RIGHT OF WAY. LOCATION TO BE CONFIRMED WITH PUBLIC WORKS AND FIRE DEPARTMENT.
- (7) (N) LANDSCAPING TO COUNT TOWARDS 10% MINIMUM. SEE LANDSCAPING PLAN.
- (8) (N) LANDSCAPING STORM WATER PLANTERS. (2) AT 107 SF EACH = 214 SF TOTAL) TO COUNT TOWARDS 10% MIN PER 10-34-3-4 D. SEE CIVIL AND LANDSCAPING PLANS.
- (9) PARTIALLY COVERED PATIO
- (10) (N) 6" CONCRETE CURB PER 10-3-8 D1
- (11) RELOCATED TELEPHONE RISER - LOCATION TO BE CONFIRMED W/ OWNER & ELECTRICAL
- (12) (N) LANDSCAPING TO BE LOCATED WITHIN 20 FEET OF PROPERTY LINE PER 10-34-3-3 A-4 & COUNTED TOWARDS 10% MINIMUM. SEE LANDSCAPING PLAN.
- (13) (N) LANDSCAPING STORM WATER PLANTER (215 SF) TO COUNT TOWARDS 10% MIN PER 10-34-3-4 D. SEE CIVIL AND LANDSCAPING PLANS.
- (14) HATCHED AREA INDICATES PUBLIC RIGHT OF WAY TO BE LANDSCAPED AS REQUIRED BY LAND USE CODE. LANDSCAPING AREA DOES NOT COUNT TOWARDS 10% MINIMUM. SEE LANDSCAPING PLAN.
- (15) (N) BOLLARD
- (16) COVERED ENTRY PORCH FACING 8TH STREET
- (17) PROVIDE MULCH / LANDSCAPING AS REQUIRED WHERE BUILDING DEMOLITION HAS EXPOSED EARTH. SEE LANDSCAPING PLAN.
- (18) (N) 120 208V 3 PHASE TRANSFORMER. LOCATION TO BE VERIFIED WITH ELECTRICAL UTILITY. COORDINATE INSTALLATION W/ LANDSCAPE DESIGNER FOR PRESERVATION OF LANDSCAPING. PLANTS MAY NEED TO BE TEMPORARILY RELOCATED AS REQUIRED. SEE CIVIL & ELECTRICAL.
- (19) ELECTIVE TEMPORARY LANDSCAPING FOR PHASE 1 DEVELOPMENT. NOT INCLUDED IN 10% MINIMUM. VEGETATION IF PLANTED HERE WILL NEED TO BE RELOCATED DURING PHASE 2 CONSTRUCTION.
- (20) AREA TO BE COVERED WITH GROUND COVER AND TEMPORARY PLANTING. PLANTING TO BE RELOCATED DURING PHASE 2. SEE LANDSCAPING PLAN.
- (21) PEDESTRIAN WALKWAY
- (22) ON STREET PARKING PER 10-27-5 D
- (23) PORCH ROOF EXTENDS 36" INTO PUBLIC RIGHT OF WAY PER 10-27-4 D.
- (24) APPROXIMATE LOCATION OF NEW 8 INCH WATER LINE. FINAL LOCATION TO BE DETERMINED THROUGH CONTINUED COORDINATION WITH PUBLIC WORKS. SEE CIVIL.
- (25) ADA COMPLIANT ACCESSIBLE PATH. MAX SLOPE 1:20. SEE CIVIL.
- (26) CONCRETE STEPS. SEE CIVIL.



August 1<sup>st</sup>, 2016

Tracy Bacon  
Johnson Broderick Engineering  
325 West 13<sup>th</sup> Avenue  
Eugene, OR 97401

City of Florence  
250 Hwy 101  
Florence, Oregon 97439

**RE: JBE Response to Planning Review Comments for Phase 1 of the Options Counseling & Family Services Community Development Design Review Application**

Project Address: 1457 8<sup>th</sup> Street, Florence, OR  
City Land Use File No: PC 16 09 DR 02  
JBE Project No: 15228.01

The following information is being provided in response to the Land Use Application review comments issued by The City of Florence on Jul 22<sup>nd</sup>, 2016 for the Options Counseling Phase 1 development located at 1457 8<sup>th</sup> street in Florence.

**Front Yard Setback: post footing details related to property line**

*The column footing will be redesigned such that the footing will not extend past the property line.*

**Trash Enclosure**

*The trash enclosure walls will be 6'-8" tall and constructed out of 8" masonry block. The enclosure will have a low sloping metal roof. Access to the enclosure will be through two lockable, metal swing gates that face the alley. See clouded revisions on Sheet B1.1 Site Plan Phase 1. Trash Enclosure roof runoff to be directed to Stormwater planter.*

**Elevations**

*The secondary siding will be Hardie Board Straight Edge Panel Shingle Siding with a 7" exposure. See attached product specification.*

**Bicycle Parking**

*The bike parking at the south entrance as shown on the current site plans will extend about 30" into the public right-of-way.*

**Lighting**

*There will be a wall mounted exterior building light mounted above the two entry doors into the Waiting Area, above the North Hall exterior door, above the exterior doors leading into Group Room 120B, and into the Break Room. The light fixture at these locations is a Lithonia MRW LED Wall Sconce; please see fixture cut sheet attached.*

**Storm Drainage*****Planters –***

*See revised landscape plan with appropriate plant types specified as required for the anticipated water conditions in the stormwater planters.*

*See clouded revision to keynote 08 on B1.1 Site Plan Phase 1 that clarifies the area of the two small stormwater planters. Each of the two planters is 107 SF in area.*

***Grading Plan –***

*Please clarify the concern. The majority of storm water is intended to infiltrate at planters and overflow into the infiltrators. The 25 year storm does not exceed the overall system capacity. Refer to attached 25 year storm interval design calculations.*

***Infiltrators in Right-of-Way –***

*Verbal approval from Florence Public Works has been given for the location of the stormwater infiltrators within the right of way as shown in C3.0 Civil Site Plan Phase 1. The Owner is aware that it will be their ongoing responsibility to ensure the continued operation and maintenance of the infiltrators. An Operation and Maintenance Agreement will be completed and recorded documenting the Owner's responsibility to maintain the stormwater system including the portion located within the right-of-way. The depth of the infiltrators at roughly 42" below grade is not of concern to the landscape designer for the types of plants that have been selected to be planted in the area near the infiltrators. The street tree will be planted with a tree collar to discourage its roots from wandering towards the infiltrator, and the tree that has been selected is one that does not aggressively seek out watery locations. Please see attached stormwater calculations for the 25 year storm interval design.*

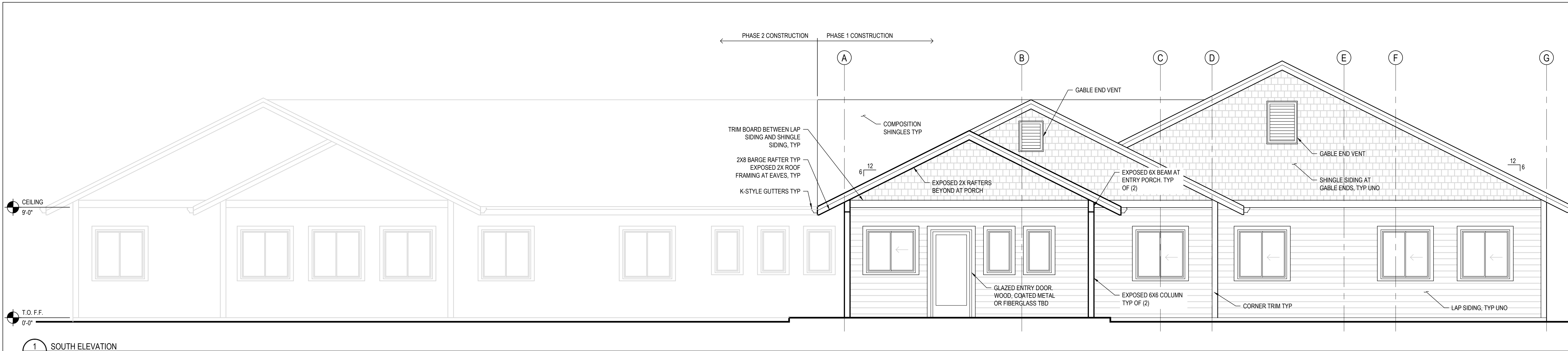
**Site Plan**

*Refer to attached B1.1 Site Plan Phase 1 and B1.2 Site Plan Phase 2 which reflect the accessible path to the south building entrance. Public Works approval of the accessible pathway was given via email on July 21, 2016 on the condition that permitting from Public Works would be required for construction work within the right-of-way and that a "Private Use of Public Right-of-Way Agreement" would need to be signed and recorded. The primary client parking, including ADA parking, and ADA access is at the rear of building which creates a socially private and discrete place for clients to access the facility. The grading of the site was done such that it maximizes the site accessibility to both entrances while maintaining necessary site drainage and water diversion away from the building.*

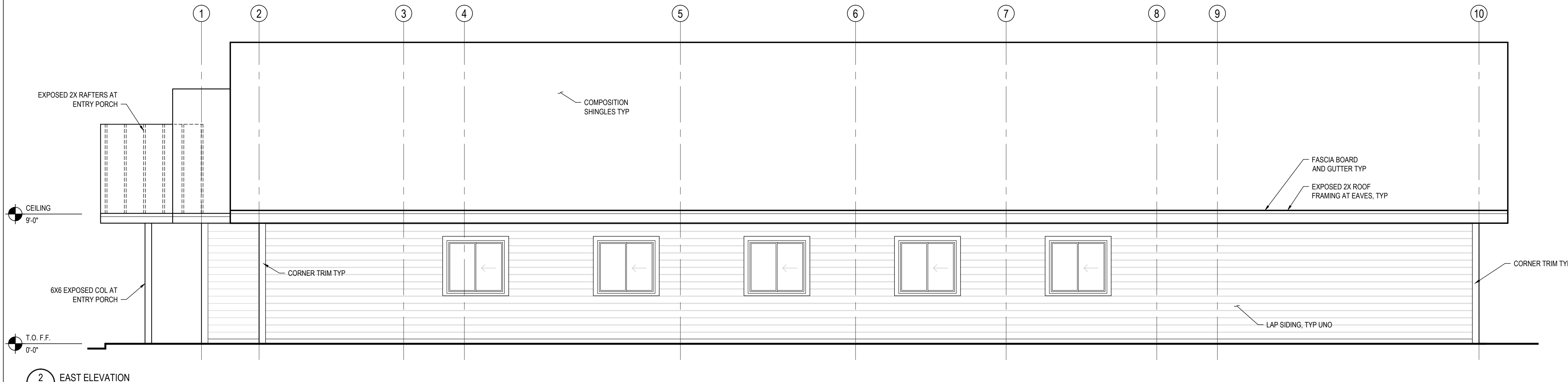
## **Landscape Plan**

*See revised landscaping plan attached. See also clouded revision under General Notes on Revised Sheet B1.2 Site Plan Phase 2 which documents the application of the preservation credit towards the landscaping requirements of the Phase 2 development. No changes have been made to the proposed landscaping areas for Phase 2. The clouded language here merely documents the quantity of the preservation credit should it need to be referred to as part of the Phase 2 development planning review in the future.*

**Attachments:** Revised B1.1 Site Plan Phase 1, Revised B1.2 Site Plan Phase 2, Revised Landscape Design Plan, exterior wall mounted light fixture cut sheet, shingle siding cut sheet, and 25 Year Storm Interval Design Stormwater Calculations.



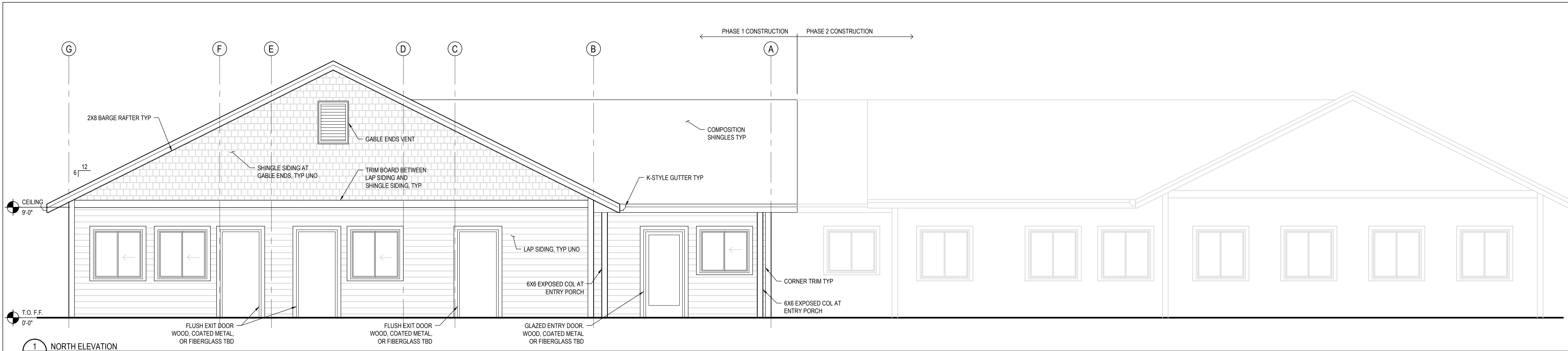
1 SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"



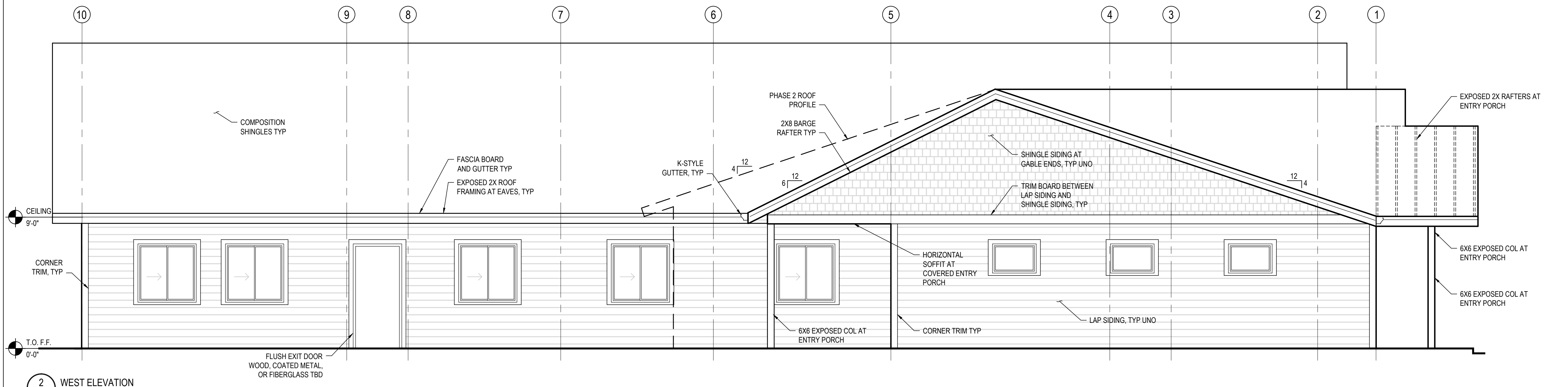
2 EAST ELEVATION  
SCALE: 1/4" = 1'-0"

- EXTERIOR FINISH MATERIALS & COLORS
- PRIMARY SIDING
- HARDIE PLANK SMOOTH LAP SIDING
  - 6" EXPOSURE
  - COLOR: HARDIE BOARD HARRIS CREAM OR SIMILAR
- SECONDARY SIDING
- HARDIE SHINGLE SIDING
  - STRAIGHT EDGE PANEL
  - COLOR: HARDIE BOARD HARRIS CREAM OR SIMILAR
- TRIM
- 5/4 X 5 1/2 SMOOTH HARDIE TRIM CORNER BOARDS
  - 5/4 X 7 1/4 SMOOTH ACCENT HORIZONTAL TRIM BETWEEN PRIMARY AND SECONDARY SIDING
  - 2X8 BARGE RAFTER TYP
  - 2X6 FASCIA BOARD TYP
  - 1X4 AT WINDOWS & DOORS TYP
  - COLOR: HARDIE BOARD ARTIC WHITE OR SIMILAR
- ROOFING
- OWENS CORNING ARCHITECTURAL COMPOSITION SHINGLE
  - COLOR: SIERRA GRAY
  - GUTTERS & DOWNSPOUTS TO BE COATED METAL, WHITE COLOR TO MATCH TRIM
- WINDOWS
- WHITE VINYL WINDOWS, CLEAR LOW-E GLAZING
  - GLAZING TO BE RECESSED 1 1/2" MIN FROM EXTERIOR FACE OF FINISH





1 NORTH ELEVATION  
SCALE: 1/4" = 1'-0"



2 WEST ELEVATION  
SCALE: 1/4" = 1'-0"

#### EXTERIOR FINISH MATERIALS & COLORS

##### PRIMARY SIDING

- HARDIE PLANK SMOOTH LAP SIDING
- 6" EXPOSURE
- COLOR: HARDIE BOARD HARRIS CREAM OR SIMILAR

##### SECONDARY SIDING

- HARDIE SHINGLE SIDING
- STRAIGHT EDGE PANEL
- COLOR: HARDIE BOARD HARRIS CREAM OR SIMILAR

##### TRIM

- 5/4 X 5 1/2 SMOOTH HARDIE TRIM CORNER BOARDS
- 5/4 X 7 1/4 SMOOTH ACCENT HORIZONTAL TRIM BETWEEN PRIMARY AND SECONDARY SIDING
- 2X8 BARGE RAFTER TYP
- 2X8 FASCIA BOARD TYP
- 1X4 AT WINDOWS & DOORS TYP
- COLOR: HARDIE BOARD ARTIC WHITE OR SIMILAR

##### ROOFING

- OWENS CORNING ARCHITECTURAL COMPOSITION SHINGLE
- COLOR: SIERRA GRAY
- GUTTERS & DOWNSPOUTS TO BE COATED METAL, WHITE COLOR TO MATCH TRIM

##### WINDOWS

- WHITE VINYL WINDOWS, CLEAR LOW-E GLAZING
- GLAZING TO BE RECESSED 1 1/2" MIN FROM EXTERIOR FACE OF FINISH

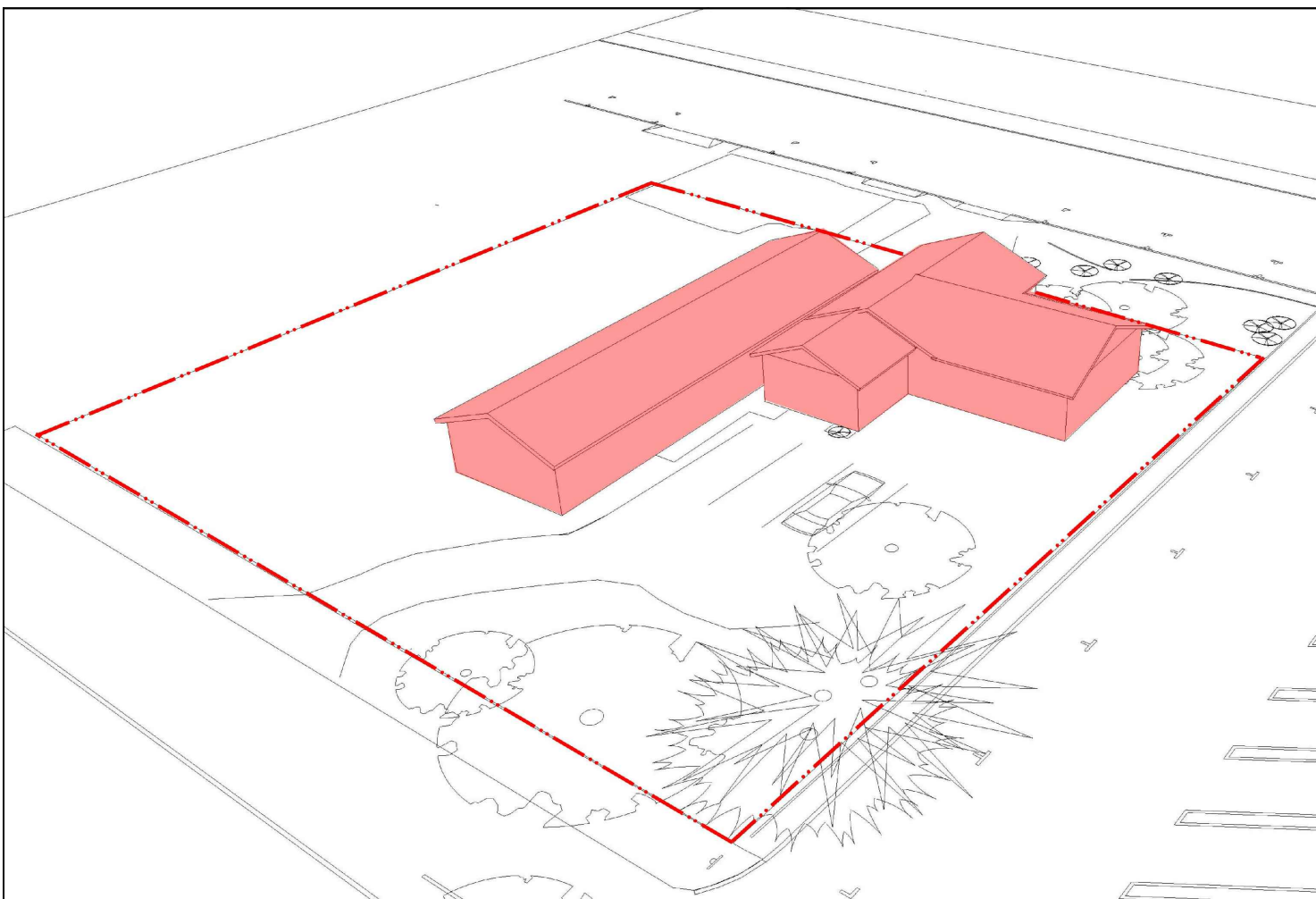




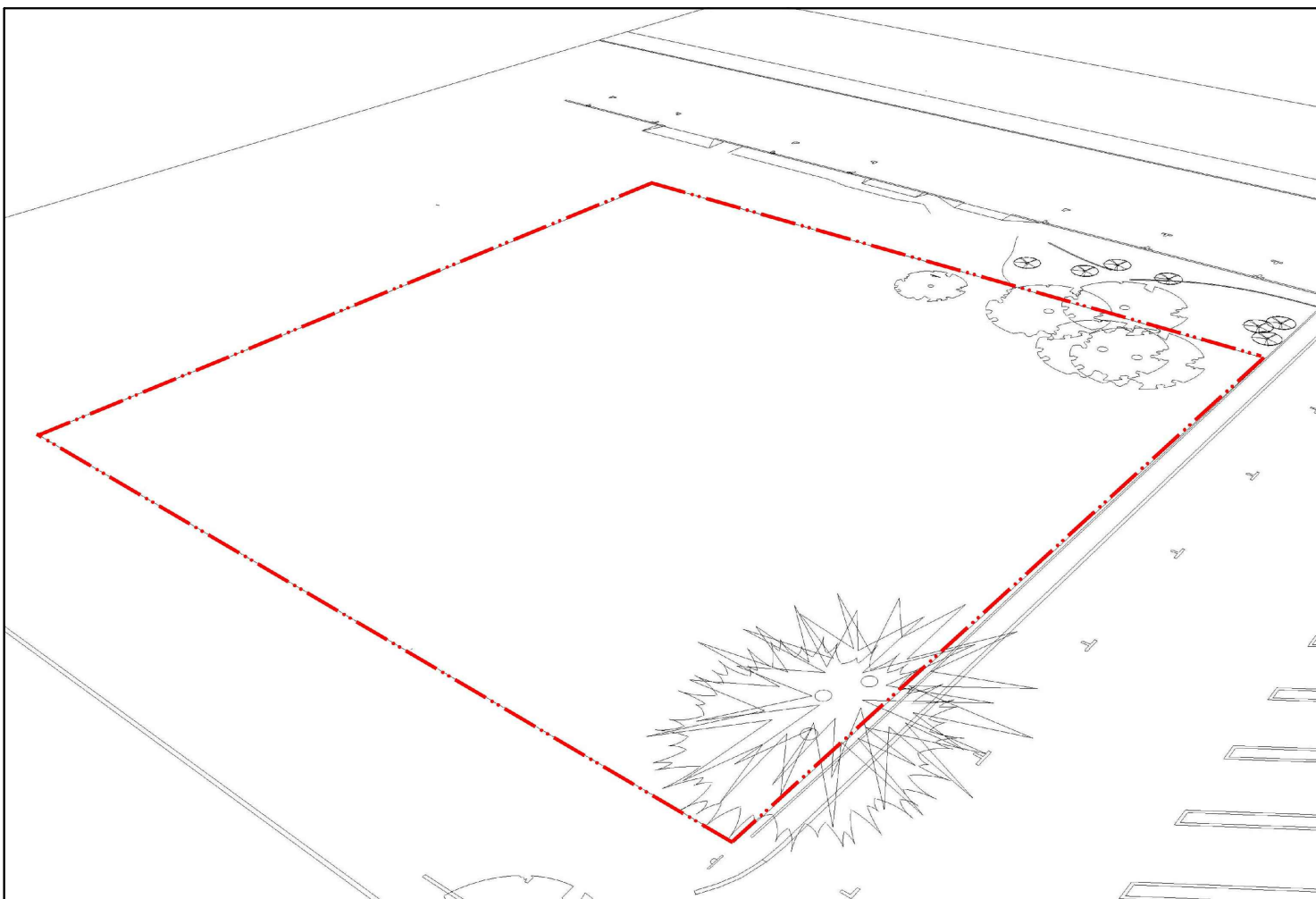
# Options Counseling & Family Services - Florence Expansion Phase 1 of 2 Community Development Design Review Application

## PROJECT TEAM

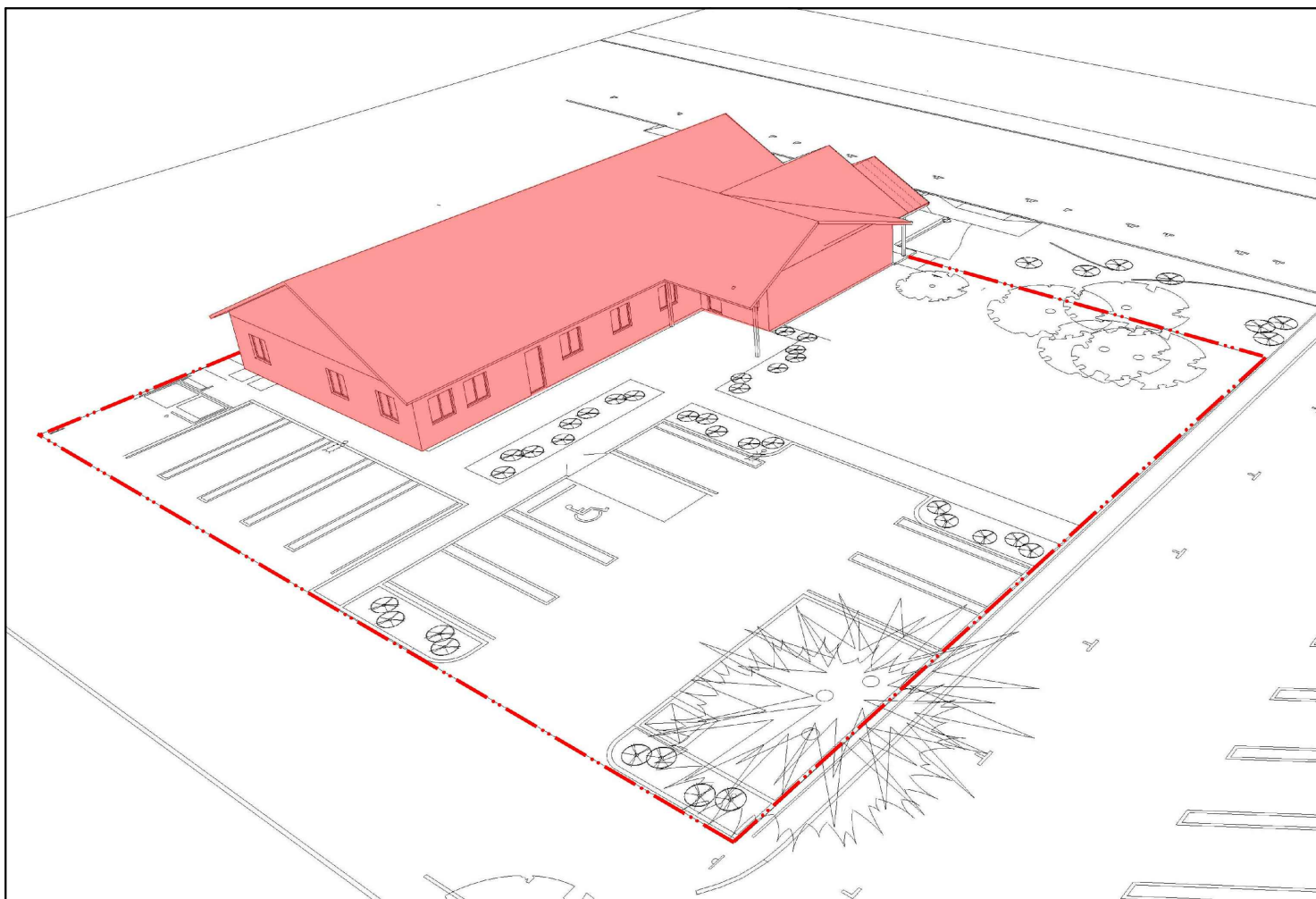
OWNER	GENERAL CONTRACTOR	CIVIL & STRUCTURAL ENGINEERING	ELECTRICAL	LANDSCAPE DESIGN
OPTIONS COUNSELING 1255 PEARL ST STE 102 EUGENE, OR 97401 PROJECT CONTACT: ADAM FALK PHONE: 541-697-6983 EMAIL: adam.falk@options.org	JOE ELLIS CONSTRUCTION 89500 DEMMING ROAD ELMIRA, OREGON 97437 PROJECT CONTACT: JOE ELLIS PHONE: 541-543-7764 EMAIL: jeconst69@gmail.com	JOHNSON BRODERICK ENGINEERING, LLC 325 WEST 13TH AVENUE EUGENE, OREGON 97401 ENGINEER OF RECORD: ROBERT JOHNSON, PE PROJECT CONTACT: TRACY BACON PHONE: 541-338-9488 EMAIL: robert@jbe.us.com EMAIL: tracy@jbe.us.com	PARADIGM ENGINEERING PROJECT CONTACT: JIM KRUMSICK, PE PHONE: 541-285-1680 EMAIL: jkrumsick@outlook.com	LAUREL BAY GARDENS PROJECT CONTACT: LISA WALTER-SEDLACEK PHONE: 541-997-5973 EMAIL: lisa@laurelbaygardens.com



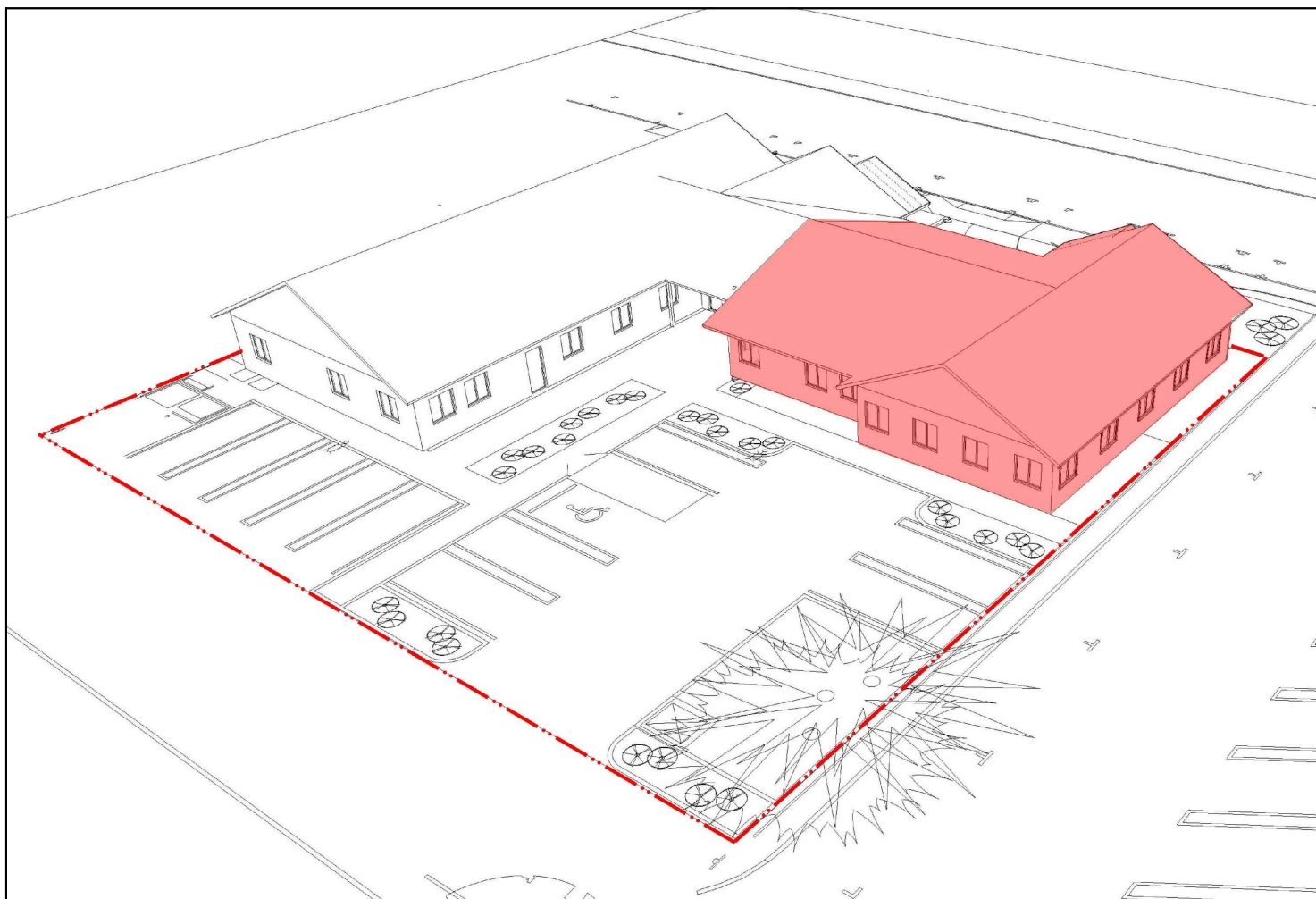
EXISTING CONDITIONS



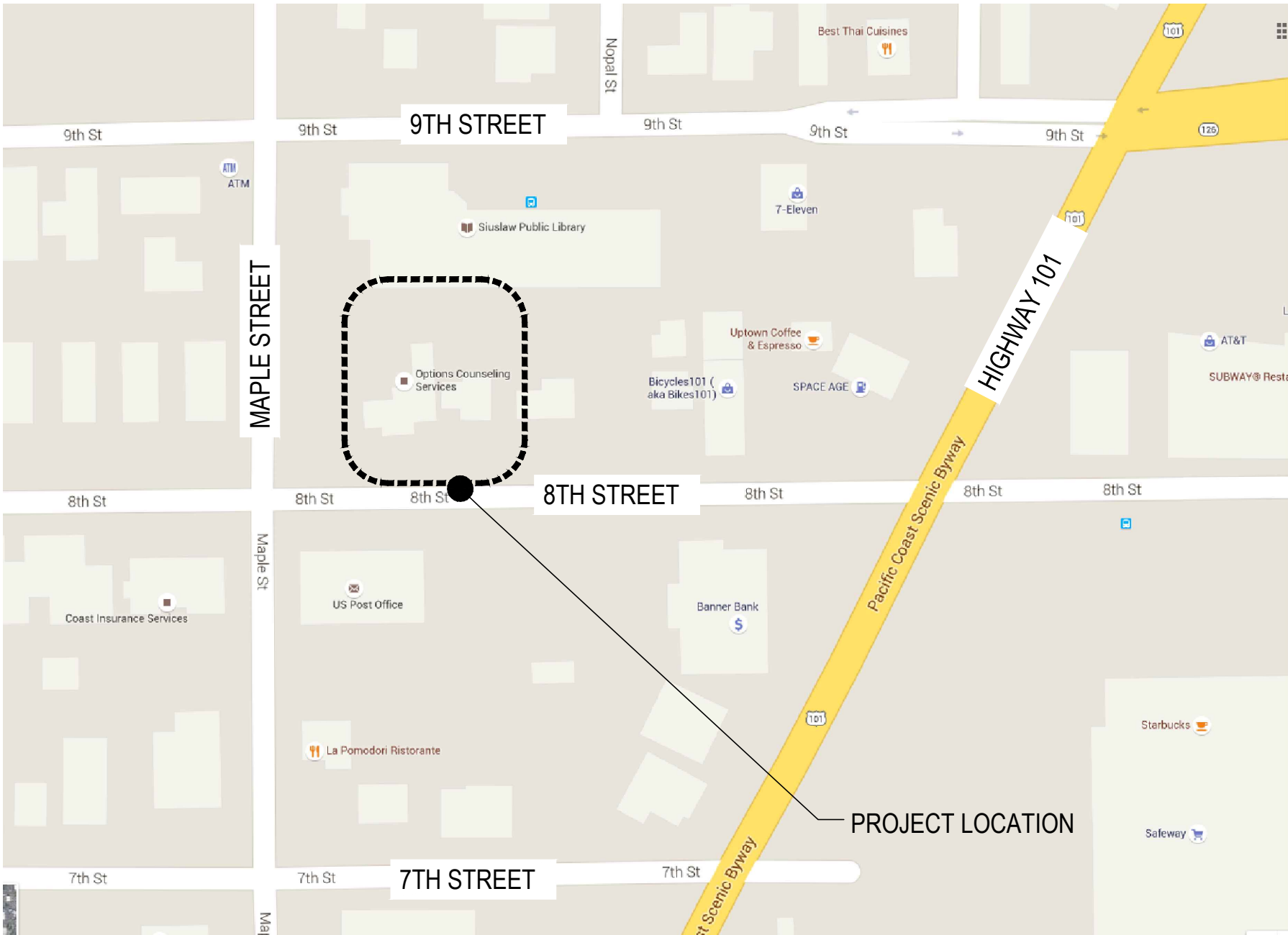
DEMOLITION PHASE



PHASE 1 - PHASE 1 BUILDING CONSTRUCTION & SITE IMPROVEMENTS



PHASE 2 - PHASE 2 BUILDING ADDITION



1  
G0.0  
VICINITY MAP  
SCALE: NTS



## PROJECT LOCATION

1457 8TH STREET IN FLORENCE OREGON

PROJECT MAP & TAX LOT: 18-12-27-41 TAX LOTS 8900, 9000, & 9200

THE SUBJECT PROPERTY HAS UNDERGONE A PROPERTY LINE ADJUSTMENT TO CONSOLIDATE ALL THREE TAX LOTS INTO ONE. THIS PROPERTY LINE ADJUSTMENT HAS BEEN FILED WITH THE CITY OF FLORENCE (PLA AR 15 03 LL 01), RECORDED WITH LANE COUNTY DEEDS AND RECORDS (RECORD NUMBER 2016-025997), AND HAS BEEN SUBMITTED TO THE LANE COUNTY SURVEYORS OFFICE FOR THEIR RECORDS. THE NEW TAX LOT NUMBER FOR THE PROPERTY IS CURRENTLY PENDING.

CITY OF FLORENCE ZONING DISTRICT: MAIN STREET AREA B

## SCOPE OF WORK

SCOPE OF WORK CONSISTS OF THE PHASED DEVELOPMENT OF THE OPTIONS COUNSELING PROPERTY LOCATED AT 1457 8TH STREET IN FLORENCE OREGON. THE PHASED CONSTRUCTION WILL CONSIST OF THE FOLLOWING. SEE ALSO THE PHASED DEVELOPMENT DIAGRAMS THIS SHEET.

## DEMOLITION PHASE - EXISTING BUILDINGS TO BE DEMOLISHED AND SITE CLEARED

**PHASE 1 DEVELOPMENT** - CONSTRUCTION OF A NEW SINGLE STORY, WOOD FRAMED OFFICE BUILDING AND ASSOCIATED SITE DEVELOPMENTS INCLUDING THE FOLLOWING. THE BUILDING CONSTRUCTION TYPE IS VB, AND THE OCCUPANCY USE GROUP IS TYPE 'B' BUSINESS. BUILDING IS TO BE UNSPRINKLED.

- NEW ON SITE PARKING & EXTERIOR LIGHTING
- NEW LANDSCAPING, PRESERVATION OF APPROXIMATELY 400 SF OF NATIVE VEGETATION AND THREE EXISTING TREES ON SITE
- NEW IMPROVEMENTS TO THE EXISTING ALLEY RIGHT OF WAY
- NEW IMPROVEMENTS TO THE EXISTING RIGHT OF WAY ALONG 8TH STREET WITH LANDSCAPING AS REQUIRED BY CODE
- NEW IMPROVEMENTS TO THE PUBLIC WATER INFRASTRUCTURE. SEE UTILITY PLAN FOR MORE INFORMATION.

**PHASE 2 DEVELOPMENT** - CONSTRUCTION OF A NEW SINGLE STORY, WOOD FRAMED ADDITION TO THE PHASE 1 BUILDING. SITE DEVELOPMENTS AND INFRASTRUCTURE OF PHASE 1 TO BE SIZED AND CONSTRUCTED TO ACCOMMODATE THE PHASE 2 ADDITION. BUILDING ADDITION WILL ALSO BE CONSTRUCTION TYPE VB, OCCUPANCY USE GROUP TYPE 'B' AND UNSPRINKLED.

## SHEET INDEX

BUILDING	CODE / COVER & PHASING DIAGRAMS
G0.0	TOPOGRAPHIC SURVEY / EXISTING CONDITIONS
S1	SITE DEMOLITION PLAN
B1.0	SITE PLAN - PHASE 1
B1.1	SITE PLAN - PHASE 2
B1.2	FLOOR PLAN
B2.1	ELEVATIONS
B3.1	ELEVATIONS
B3.2	ELEVATIONS
LANDSCAPING	
L0.0	LANDSCAPE PLAN
CIVIL	
C3.0	CIVIL SITE PLAN / UTILITIES PLAN
ELECTRICAL	
E1	PHOTOMETRIC STUDY

## DESIGN REVIEW APPLICATION

PHASE 1 CONSTRUCTION  
OPTIONS COUNSELING & FAMILY SERVICES  
1457 8TH STREET  
FLORENCE, OREGON 97439

Design Review  
Application

06.13.2016

Issued:

Date: 06.13.2016

Project No: 15228.01

Drawn By: TLB

Checked By: RLJ

CODE / COVER  
PHASING  
DIAGRAMS

Sheet title:

G0.0



## Color Selection

TRIM COLOR  
OR SIMILAR

PRIMARY &  
SECONDARY SIDING  
COLOR OR SIMILAR



ARCTIC WHITE



SAIL CLOTH



HARRIS CREAM



NAVAJO BEIGE



SANDSTONE BEIGE



AUTUMN TAN



KHAKI BROWN



HEATHERED MOSS



MOUNTAIN SAGE



PARKSIDE PINE



TUSCAN GOLD



TRADITIONAL RED



COBBLE STONE



MONTEREY TAUPE



WOODSTOCK BROWN



TIMBER BARK



BOOTHBAY BLUE



EVENING BLUE



IRON GRAY



CHESTNUT BROWN



COUNTRYLANE RED



STRAIGHT EDGE PANEL

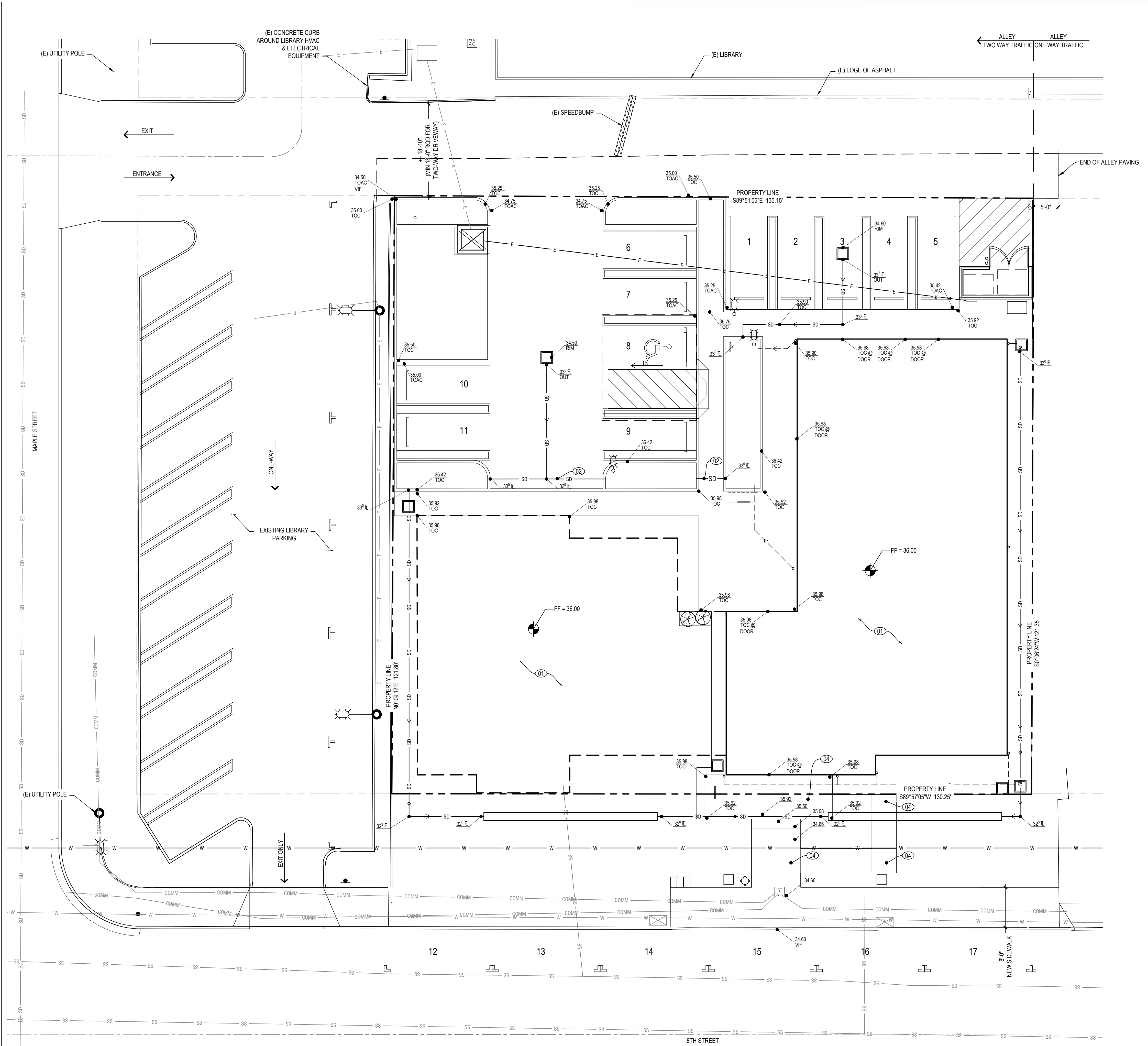
Iron Gray

Thickness	1/4 in.
Length	48 in.
Height	15.25 in.
Exposure	7 in.
Pcs./Pallet	86
Sq./Pallet	2
Pcs./Sq.	43

Available Colors



View all HardieShingle Siding Products



GENERAL NOTES CIVIL SITE GRADING PLAN

- FOR PROJECT & CIVIL NOTES SEE C0.0
- FOR CIVIL SPECIFICATIONS SEE C0.1
- FOR SITE PLAN SEE C3.0
- FOR EROSION CONTROL SEE C2.0
- FOR EROSION CONTROL NOTES SEE C2.1
- ALL STORM DRAINS ARE TO BE 6" DIA.
- ALL FOUNDATION DRAINS TO BE 4" PERF
- ALL ROOF DRAINS TO BE 4" DIA.

CIVIL SITE GRADING PLAN ABBREVIATIONS

TOC	TOP OF CONCRETE
TOAC	TOP OF ASPHALT CONCRETE
VIF	VERIFY IN FIELD
FL	FLOW LINE

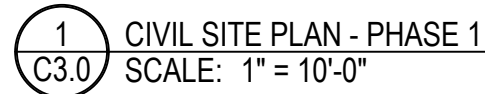
KEYED NOTES CIVIL GRADING PLAN

- 01 T.O.F.S. (TOP OF FLOOR SHEATHING) = 36.00
- 02 NO SLOPE BETWEEN PLANTERS
- 03 ACCESSIBLE PATH MAX 1:20 SLOPE. NO CROSS SLOPE PER C14/6.0
- 04 LANDING

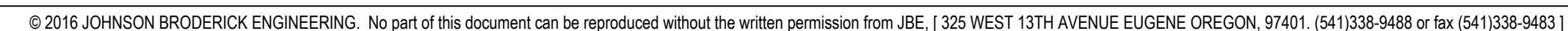
1 CIVIL SITE GRADING PLAN - PHASE 1  
C3.1 SCALE: 1" = 10'-0"



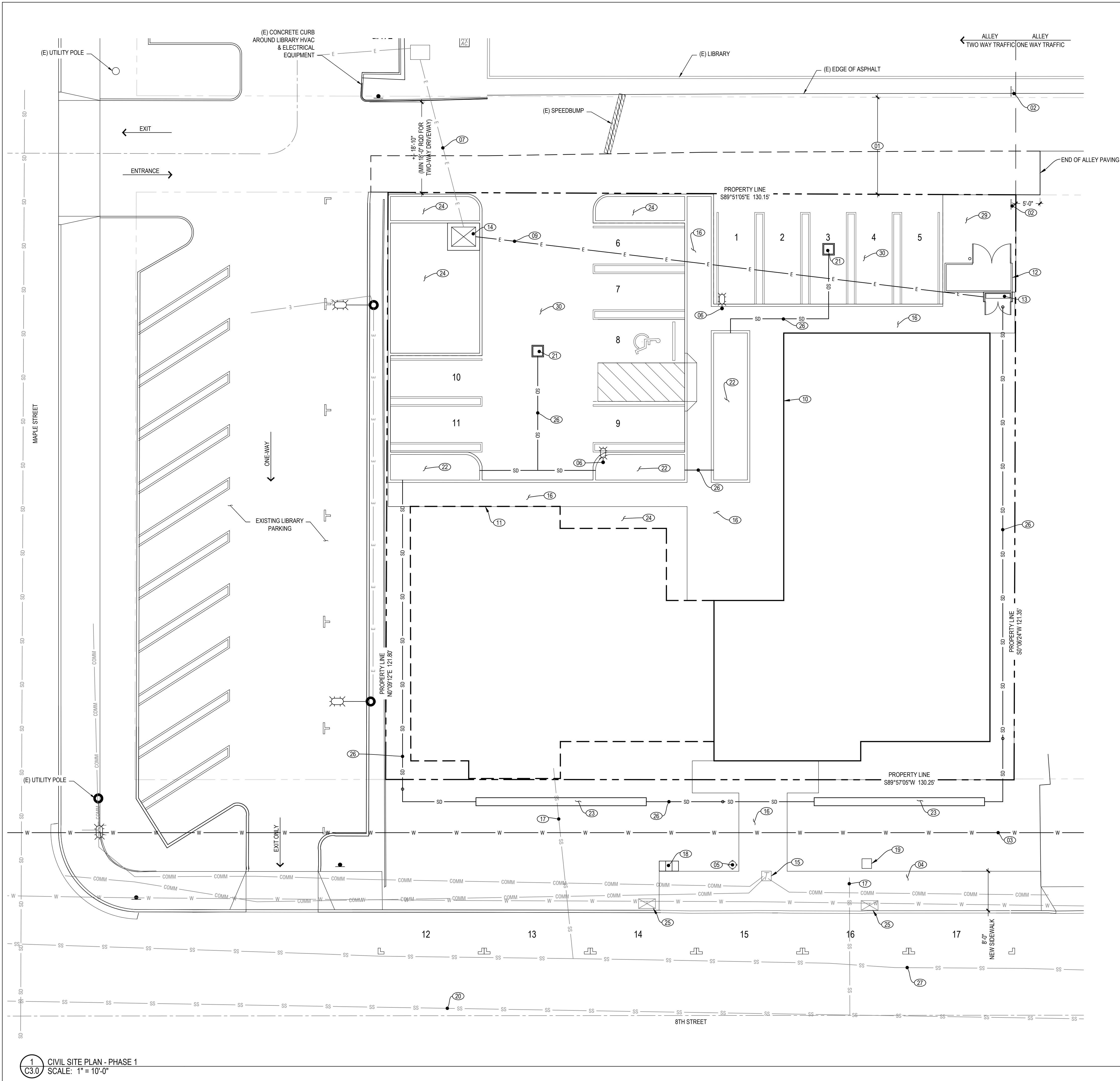




Issued:	
Date:	07-06-2016
Project No:	15228.01
Drawn By:	FAD
Checked By:	RLJ
CIVIL SITE PLAN PHASE 1	
Sheet title:	
C3.0	



6/13/2016 9:05:21



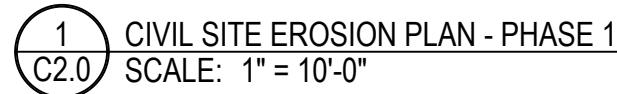
- GENERAL NOTES CIVIL SITE PLAN
- WATERLINE IMPROVEMENTS AS REQUIRED FOR FIRE-FLOW
    - FIRE-FLOW AREA OF THE PHASE 1 BUILDING AS DEFINED BY OFC B104.1 IS 5000 SF.
    - FIRE-FLOW AREA OF THE PHASE 2 BUILDING ADDITION AS DEFINED BY OFC B104.1 IS 3350 SF.
    - TOTAL FIRE-FLOW AREA AT THE END OF PHASE 2 CONSTRUCTION IS 8350 SF.
    - FIRE-FLOW RATE REQUIRED TO MEET THE DEMANDS OF THE 8350SF, TYPE V-B CONSTRUCTION PER TABLE B105.2 IS 2500 GPM.
    - THE EXISTING FIRE FLOW TO THE PROPERTY IS INADEQUATE TO MEET THE NEEDS OF THE PHASE 2 CONSTRUCTION. AS SUCH, THE FOLLOWING IMPROVEMENTS TO THE WATER INFRASTRUCTURE ARE BEING MADE TO ATTAIN A FIRE-FLOW RATE OF 2500 GPM. SEE RELATED FIRE-FLOW RATE MODELING ASSESSMENT PER MSA AS PROVIDED BY PUBLIC WORKS, AND PROPOSED WATER LINE LOCATION DIAGRAM AS PROVIDED BY PUBLIC WORKS INCLUDED AS PART OF THIS DESIGN REVIEW APPLICATION PACKAGE.
    - EXISTING 4 INCH WATER LINE ON 8TH STREET TO BE REPLACED WITH A NEW 8 INCH WATER LINE. INSTALLATION OF THIS PORTION OF THE WATER LINE TO BE PRIVATELY FUNDED. FINAL COORDINATION WITH PUBLIC WORKS TO DETERMINE THE EXACT ALIGNMENT FOR THE NEW WATER LINE IS IN PROGRESS. AN EXTENSION OF THE SITE SURVEY OF 8TH STREET OVER TO HIGHWAY 101 IS CURRENTLY SCHEDULED. THE RESULTS OF THIS SURVEY WILL BE USED TO IDENTIFY THE EXACT LOCATION FOR THE WATER LINE, AND THIS LOCATION SHALL BE REVIEWED AND APPROVED BY PUBLIC WORKS.
    - WEST END OF NEW WATER LINE TO TIE INTO 8 INCH MAIN LINE ON MAPLE STREET. THIS PORTION OF THE WORK TO BE PRIVATELY FUNDED.
    - EAST END OF NEW WATER LINE TO TERMINATE AT NEW FIRE HYDRANT LOCATED ON THE NORTH SIDE OF THE STREET AT THE INTERSECTION OF 8TH STREET AND HIGHWAY 101. THE NEW FIRE HYDRANT AT THIS LOCATION TO BE PROVIDED AND INSTALLED BY PUBLIC WORKS. PUBLIC WORKS TO PROVIDE NEW 12 INCH WATER LINE ACROSS HIGHWAY 101 TO TERMINATE AT THE NEW FIRE HYDRANT WITH AN 8 INCH VALVE. PROPOSED COMPLETION DATE FOR INSTALLATION OF THE WATER LINE EXTENSION ACROSS HIGHWAY 101 IS END OF OCTOBER 2016.
    - THE NEW 8 INCH WATER LINE SHALL CONNECT TO A NEW FIRE HYDRANT TO BE LOCATED WITHIN THE PUBLIC RIGHT OF WAY OF THE OPTIONS PROPERTY ALONG 8TH STREET. INSTALLATION OF THIS FIRE HYDRANT TO BE PRIVATELY FUNDED.
  - SEE S1 TOPOGRAPHIC SURVEY FOR ADDITIONAL INFO ON EXISTING CONDITIONS
  - SEE S1 TOPOGRAPHIC SURVEY FOR EXISTING GRADES

- KEYED NOTES CIVIL SITE PLAN
- (01) (N) ASPHALT PAVING AT PUBLIC ALLEY TO CREATE MINIMUM TWO-WAY DRIVE AISLE OF 23-FEET WIDTH WHERE DRIVE AISLE SERVES PERPENDICULAR PARKING
  - (02) (N) "DO NOT ENTER" SIGN AT TERMINUS OF TWO-WAY ALLEY. COORDINATE WITH PUBLIC WORKS.
  - (03) (N) 8-INCH WATER LINE (PERMITTED SEPARATELY)
  - (04) (N) 8-FOOT SIDEWALK
  - (05) (N) FIRE HYDRANT. EXACT LOCATION TO BE DETERMINED
  - (06) (N) EXTERIOR LIGHTING. SEE ELECTRICAL
  - (07) (N) UNDERGROUND ELECTRIC FEED FROM (E) LIBRARY TRANSFORMER
  - (08) NOT USED
  - (09) (N) ELECTRICAL LINE TO FEED (N) SWITCHGEAR
  - (10) (N) PHASE I BUILDING
  - (11) (N) PHASE II BUILDING
  - (12) (N) TRASH ENCLOSURE (COVERED AND FENCED)
  - (13) (N) ELECTRICAL SERVICE BOX & METER
  - (14) (N) ELECTRICAL TRANSFORMER
  - (15) (E) TELECOM BOX TO BE RELOCATED
  - (16) (N) SIDEWALK
  - (17) (E) SANITARY SEWER
  - (18) (N) (3) WATERMETERS (PHASE I & PHASE II BUILDINGS & LANDSCAPE)
  - (19) (N) PROPOSED TELECOM RISER, LOCATION TO BE CONFIRMED
  - (20) (E) 6-INCH SANITARY SEWER
  - (21) (N) STORMWATER CATCHBASIN FOR DISTRIBUTION TO STORMWATER PLANTER
  - (22) (N) STORMWATER PLANTER
  - (23) (N) STORMWATER INFILTRATORS (LOCATED IN RIGHT OF WAY)
  - (24) (N) PLANTER
  - (25) (E) WATER METER TO BE RELOCATED
  - (26) (N) 6-INCH STORM DRAIN
  - (27) (E) 8-INCH SANITARY SEWER
  - (28) NOT USED
  - (29) (N) CONCRETE PAVING AT TRASH ENCLOSURE
  - (30) (N) ASPHALT PAVING & PARKING

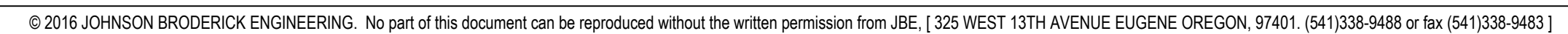
1 CIVIL SITE PLAN - PHASE 1  
C3.0 SCALE: 1" = 10'-0"







- ①1 COORDINATE DEMO WITH B1.0
- ①2 SAWCUT
- ①3 REMOVE & REPLACE CURB CUT
- ①4 SILT FENCE @ NORTH & EAST PROPERTY BOUNDARY PER 1/C2.1
- ①5 SILT FENCE - FIELD LOCATE BETWEEN SIDEWALK & PROPERTY BOUNDARY
- ①6 PROTECT NEW CONSTRUCTION WITH SILT SACKS DURING CONSTRUCTION ACTIVITIES & FILTER PER 13/C2.1
- ①7 BIOFILTER BAG PER 9/C2.1



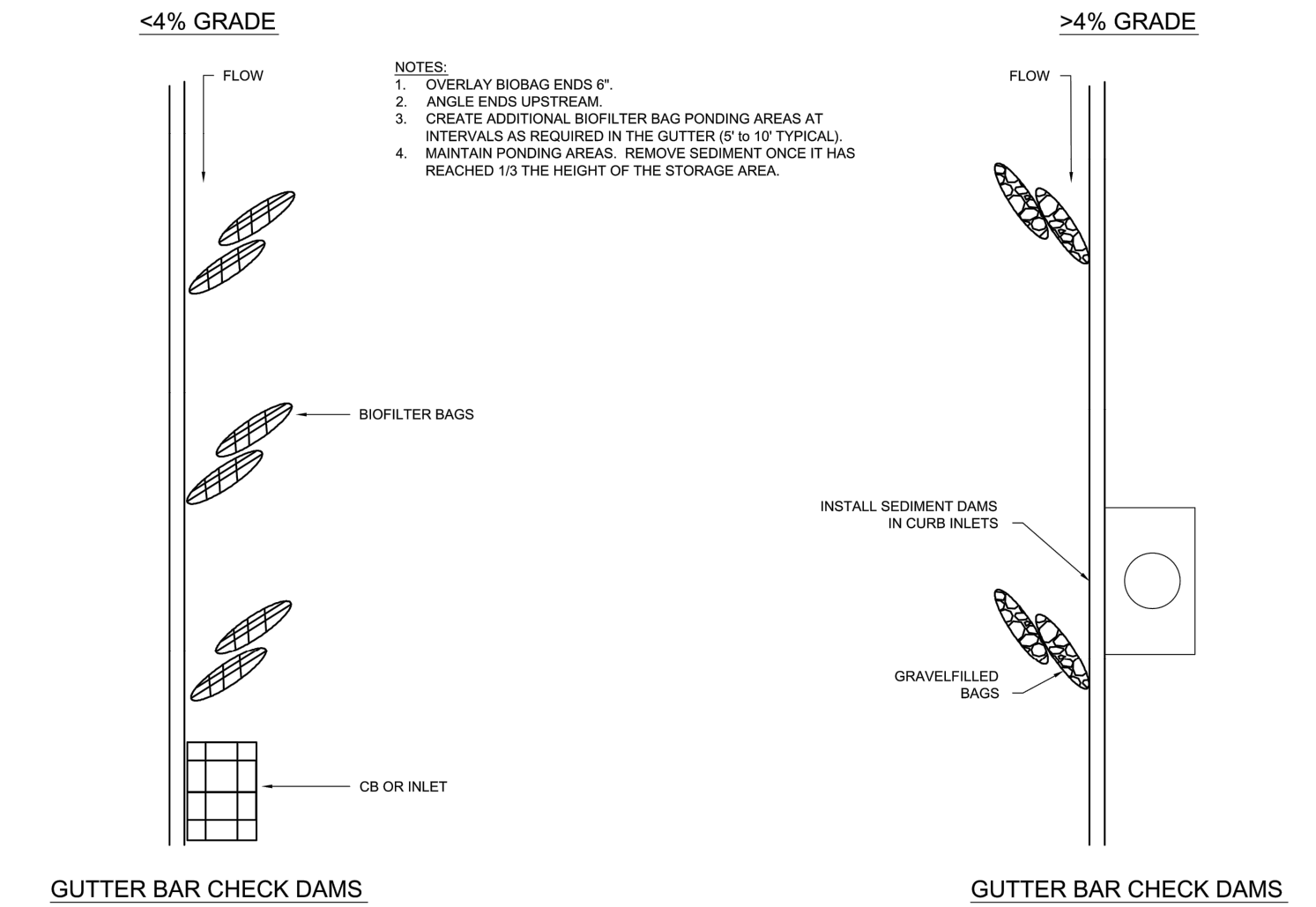


1. Clearing and grading erosion control measures shall be in place prior to site disturbance. All other necessary erosion control measures shall be implemented prior to starting work on the portion/phase of the project to which the measures are related. Erosion control measures shall be maintained in such a manner as to ensure that sediment and sediment-laden water does not enter the drainage system, roadways, or violate applicable water quality standards.
2. The erosion control construction, maintenance, replacement and upgrading of the erosion control facilities is the responsibility of the Contractor until all construction is completed and approved, and permanent erosion control (i.e. vegetation/landscaping) is established on all disturbed areas.
3. All recommended erosion control procedures are dependent on construction methods, staging, site conditions, weather and scheduling. During the construction period, erosion control facilities shall be upgraded as necessary due to unexpected storm events and to ensure that sediment and sediment laden water does not leave the site.
4. The Contractor is responsible for control of sediment transport within project if an installed erosion control system does not adequately contain sediment on site, then the erosion control measures shall be adjusted or supplemented by the Contractor as necessary to ensure that sediment laden water does not leave the site. Additional measures shall be provided as required to ensure that all paved areas are kept clean for the duration of the project. Additional interim measures will include, at a minimum, installation of hay bale sediment barriers or silt fences in accordance with the details shown on the drawings. These measures shall be installed along all exposed embankments and cut slopes to prevent sediment transport.
5. All existing and newly constructed storm inlets and drains shall be protected until pavement surfaces are completed and/or vegetation is established.
6. Erosion control facilities and sediment fences on active sites shall be inspected by the Contractor at least daily during any period with measurable precipitation. Any required repairs or maintenance shall be completed immediately. The erosion control facilities on inactive sites shall be inspected and maintained by the Contractor a minimum or once a month or within 24 hours following the start of a storm event.
7. At no time shall sediment accumulation within a trapped catch basin exceed 50% of the sediment capacity. All catch basins and conveyance lines shall be cleaned prior to paving. The cleaning operation shall not flush sediment-laden water into the downstream system. The Contractor shall remove all accumulated sediment from all impacted catch basins and storm pipes prior to acceptance by the Owner.
8. The Contractor is solely responsible for protection of all adjacent property and downstream facilities from erosion and siltation during project construction. Any damage resulting from such erosion and siltation shall be corrected at the sole expense of the Contractor.
9. The Contractor shall provide site watering as necessary to prevent wind erosion of fine-grained soils.
10. Unless otherwise indicated on the drawings, all temporary erosion control facilities, including sediment fences, hay bales, silt sacks, bio-bags, etc. shall be removed by the Contractor within 30 days after permanent landscaping/vegetation is established.
11. Sediment fences shall be constructed of continuous fabric fabric to avoid use of joints. When Joints are necessary, fabric cloth shall be spliced together only at a support post, with a minimum 6-inch overlap, and both ends securely fastened to a post.
12. Sediment fence shall be installed per drawing details. Sediment fences shall have adequate support to contain all silt and sediment captured.
13. The standard strength fabric fabric shall be fastened securely to stitched loops installed on the upslope side of the posts, and 6 inches of the fabric shall be extended into the trench. The fabric shall not extend more than 30 inches above the original ground surface, fabric fabric shall not be stapled to existing trees.
14. Straw bales shall be standard 40 to 60-pound rectangular bales of cereal grain or seed straw. Straw bales shall be keyed into the ground a minimum of 4 to 6 inches, and be held in place by 1-inch x 2-inch x 36-inch wood stakes driven through the bales into the ground a minimum of 12 inches. Bio-filter bags shall be clean 100 percent wood product waste. Bags shall be 18-inch x 18-inch x 30-inch, weigh approximately 45 lbs., and be contained in a bag made of 1/2-inch plastic mesh.

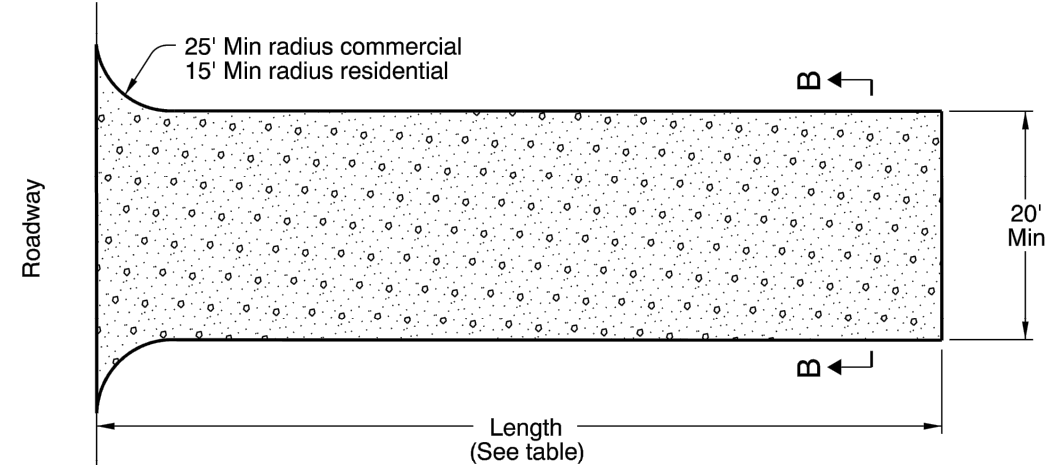
NOT USED	Scale:	12
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15. Sediment barriers shall be maintained until the up-slope area has been permanently stabilized. At no time shall more than 10-inches of sediment be allowed to accumulate behind sediment fences and straw bales. No more than 2 inches of sediment shall be allowed to accumulate behind bio-filter bags. Sediment shall be removed prior to reaching the above stated depths. New sediment barriers shall be installed uphill as required to control sediment transport.
16. Stabilized construction entrances shall be installed at the beginning of construction and maintained for the duration of the project. Additional measures may be required to ensure that all paved areas are kept clean for the duration of the project.
17. The Contractor shall verify that all trucks are well sealed when transporting saturated soils from the site. Water drippage from trucks transporting saturated soils must be reduced to less than 1 gallon per hour prior to leaving the site.
18. The entrance shall be maintained in a condition that will prevent tracking or flow of mud onto the public right-of-way or approved access point. The entrance may require periodic top dressing as conditions demand, and repair and/or cleanout of any structures used to trap sediment.
19. All materials spilled, dropped, washed, or tracked from vehicles onto roadways or into storm drains must be removed immediately, and the Contractor shall provide protection of downstream inlets and catch basins to ensure sediment laden water does not enter the storm drain system.
20. Temporary grass cover measures must be fully established by Nov 1st, or other cover measures (i.e. erosion control blankets with anchors, 3-inches minimum of straw mulch, 6 mil HDPE plastic sheet, etc.) shall be in place over all disturbed soil areas until April 30th. To establish an adequate grass stand for controlling erosion by Nov. 1st, it is recommended that seeding and mulching occur by September 1st. Straw mulch, if used, shall not leave any bare ground visible through the straw.
21. Minimum wet weather slope protection. For 3H:1V or steeper slopes use Bon Terra Type C2 or North American Green Type C125 erosion control blanket. Use a minimum of 2-inches straw mulch or North American Green Type S150 for slopes flatter than 3H:1V. Slope protection shall be placed on all disturbed areas immediately after completion of each section of construction activity, until the erosion control seeding has been established. As an option during temporary or seasonal work stoppages, a 6-mil HDPE plastic sheet may be placed on exposed slopes. The plastic sheet shall be provided with an anchor trench at the top and bottom of the slope, and shall be sandbagged on the slopes as required to prevent damage or displacement by wind.
22. Permanent erosion control vegetation on all embankments and disturbed areas shall be re-established as soon as construction is completed.
23. Soil preparation. Topsoil should be prepared according to landscape plans, if available, or recommendations of grass seed supplier. It is recommended that slopes be textured before seeding by rack walking (i.e. driving a crawling tractor up and down the slopes to leave a pattern of cleat imprints parallel to slope contours) or other method to provide stable areas for seeds to rest.
24. When used, hydromulch shall be applied with grass seed at a rate of 2000 per acre between April 30 and June 10, or between September 1 and October 1. On slopes steeper than 10 percent, hydrosseed and mulch shall be applied with a bonding agent (tackifier). Application rate and methodology to be in accordance with seed supplier recommendations.
25. When used in lieu of hydromulch, dry, loose, weed free straw used as mulch shall be applied at a rate of 4000 lbs. per acre (double the hydromulch application requirement). Anchor straw by working in by hand or with equipment (rollerB. cleat trackers, etc.). Mulch shall be spread uniformly immediately following seeding.
26. When conditions are not favorable to germination and establishment of the grass seed, the Contractor shall irrigate the seeded and mulched areas as required to establish the grass cover.
27. Seeding. Recommended erosion control grass seed mix is as follows: Dwarf grass mix (low height, low maintenance) consisting of dwarf perennial ryegrass (SOTS by weight), creeping red fescue (20% by weight). Application rate shall be 100 lbs. per acre minimum.
28. Grass seed shall be fertilized at a rate of 10 lbs, per 1000 S.F with 16-16-16 slow release type fertilizer. Development areas within 50 feet of water bodies and wetlands must use a non-phosphorous fertilizer.

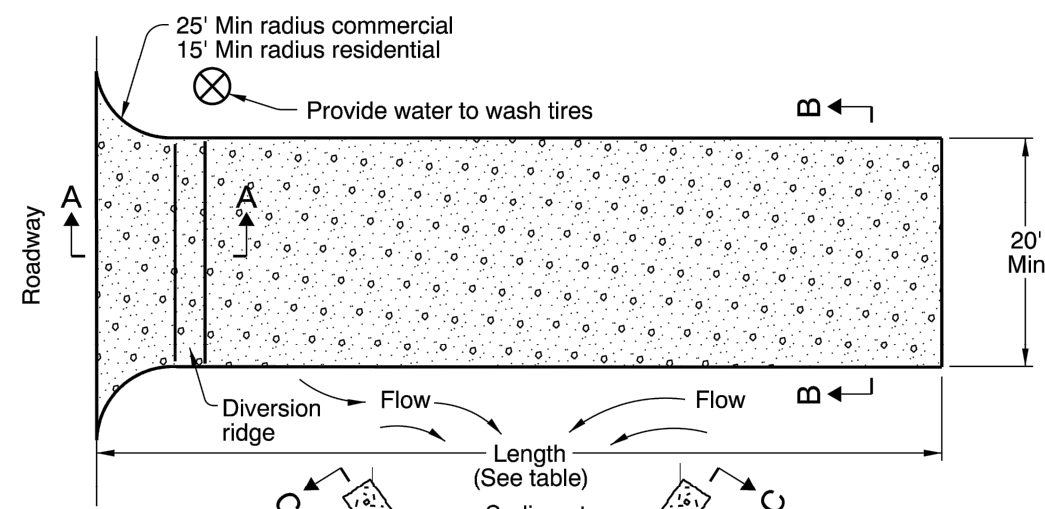
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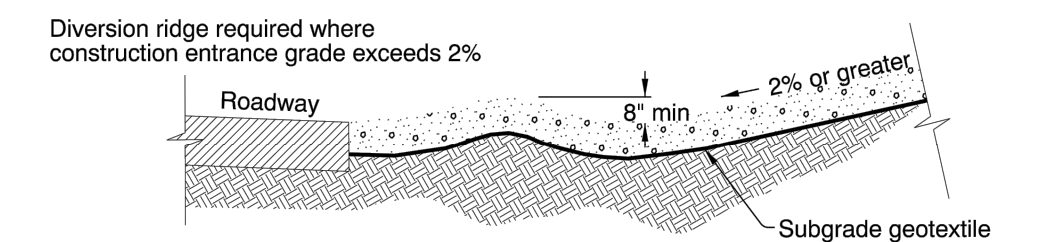
EROSION NOTES	13
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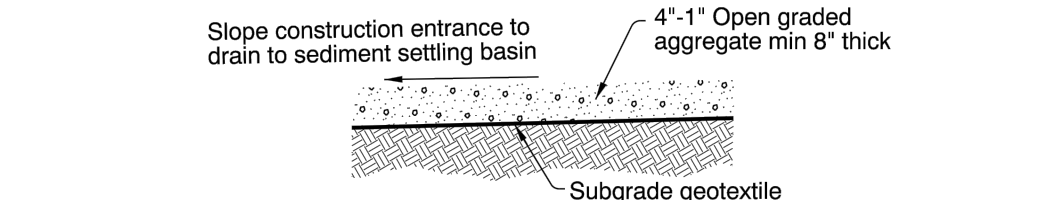
## CONSTRUCTION ENTRANCE - TYPE 1



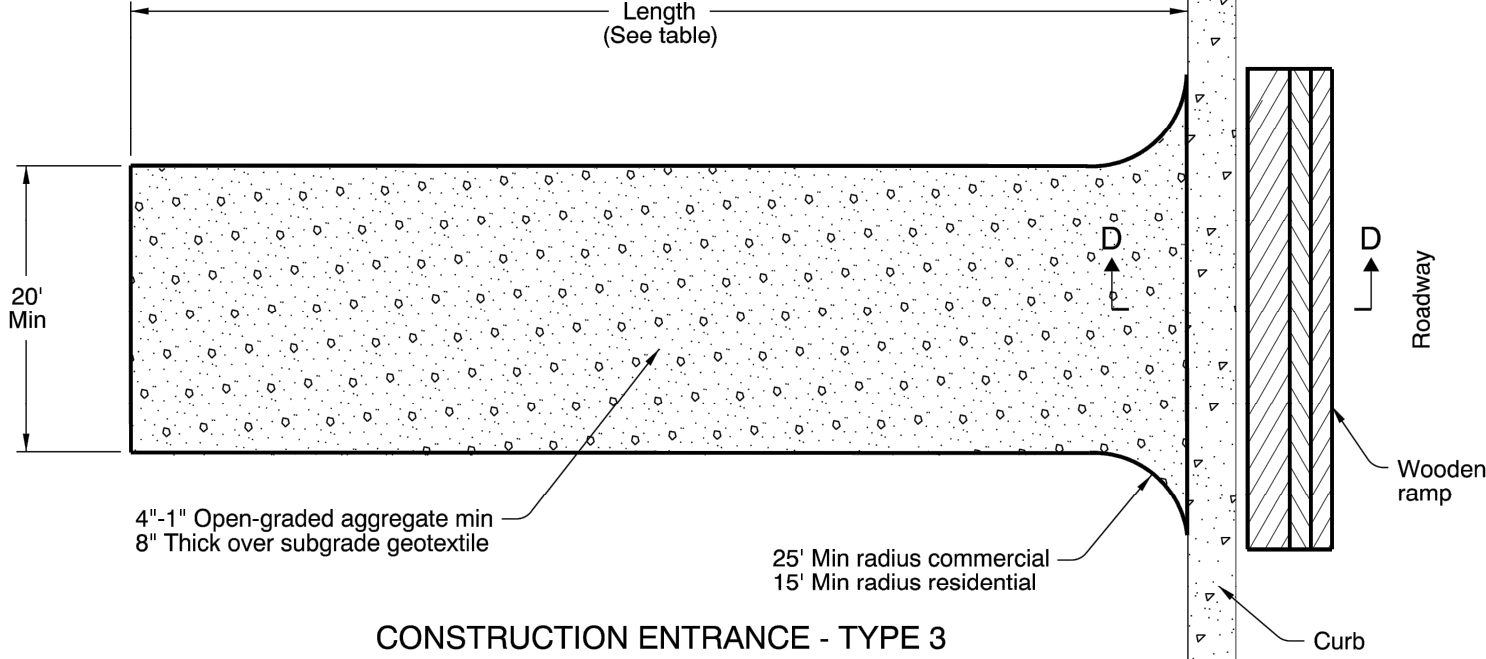
## CONSTRUCTION ENTRANCE - TYPE 2



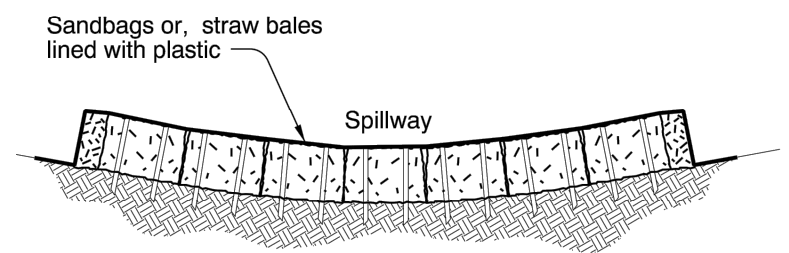
SECTION A-A



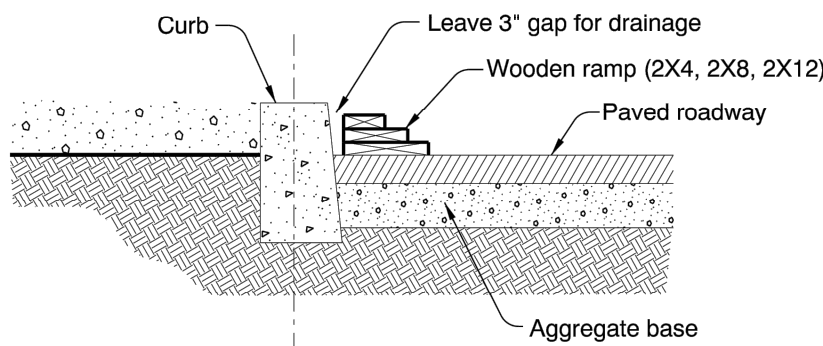
SECTION B-B



CONSTRUCTION ENTRANCE - TYPE 3  
(TYPE 1 OR 2 WITH EXISTING CURB)



SECTION C-C



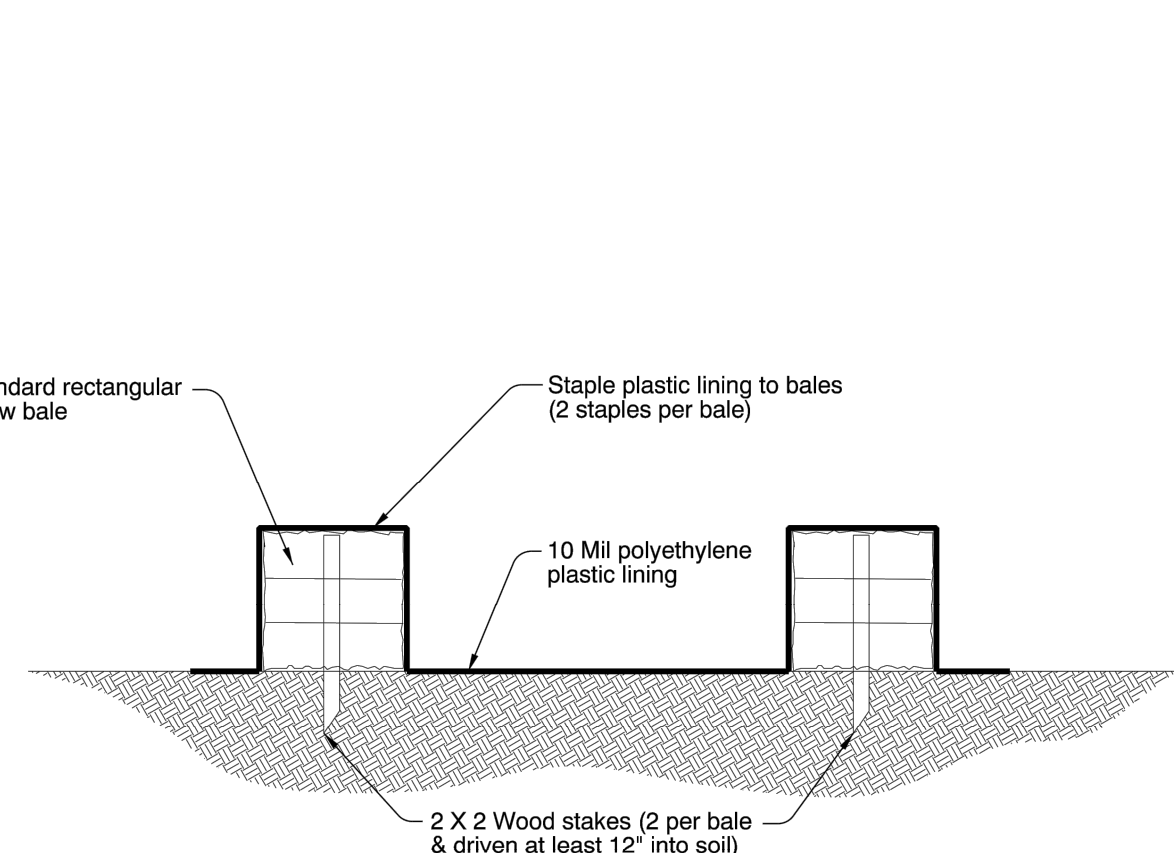
WOODEN CURB RAMP SECTION D-D

Notes:

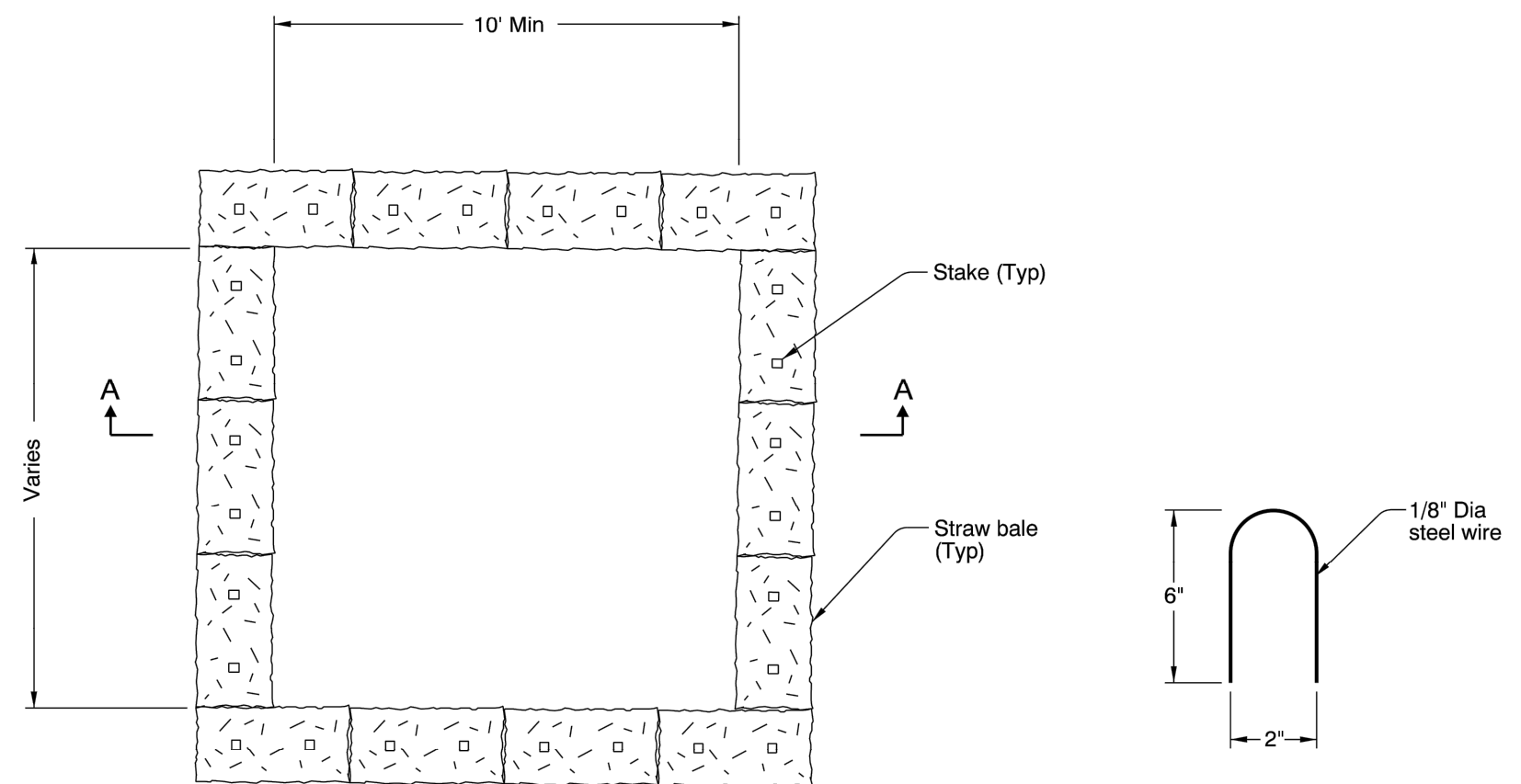
1. The type 1 entrance is a simple entrance without a diversion ridge or settling basin.
2. The wooden ramp may be used on either type 1 or type 2 entrances in situations where there is curb and the curb is not removed for the construction entrance.

CONSTRUCTION ENTRANCE TABLE MINIMUM LENGTH	
Length (FT)	Area Of Exposed Soil (Acre)
20	0.25
50	$0.25 < A < 1.0$
100	$A > 1.0$

CONSTRUCTION ENTRANCES (RD1000)	Scale: NTS	3
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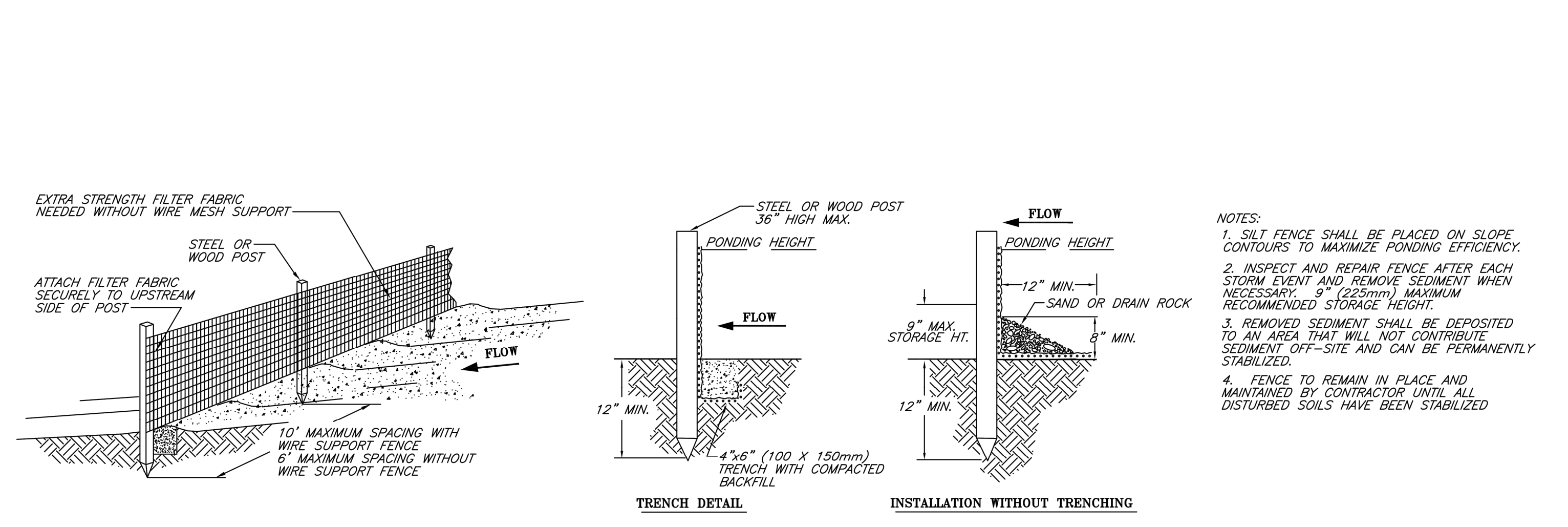


SECTION A-A



## STAPLE DETAIL

CONCRETE TRUCK WASH OUT (RD1070)	Scale: NTS	2
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SILT FENCE (F-101)	Scale:	NTS	1
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OPTIONS SW DESIGN:

CATCHMENTS:

- |                   |      |
|-------------------|------|
| - TRASH ENCLOSURE | 150  |
| - ALLEY - PARKING | 1012 |
| - MAIN PARKING    | 4234 |
| - BUILDING        | 5000 |
| - FUTURE BUILDING | 3000 |

13396

INFIL RATE

TABLE 2 PAGE 15 & 16  
EARTH ENGINEERS REPORT  
MAY 26, 2016

USE 3" HOUR AVG.

- TEST -

DESIGN STORM FOR "RATIONAL"  $Q: 61A - 1.40 \text{ IN/HR}$

PASS

16- 48" QUICK 4- STANDARD CHAMBER - STORAGE 43 GAL EACH - SPEC  
(GAL TOTAL)

\* PASS \*

- TEST -

2.0 IN/HR

FAIL

\* FAIL \*

TEST

\* PASS \*

1.8 IN/HR

PASS

TOTAL 16- 48" UNITS

Project: OPTIONS

SW DESIGN

Project #: 15228.01

By: A

Date:

Page: 1 of 1

Exhibit D2



Earth  
Engineers,  
Inc.

4660 Main Street, Suite 100-1A • Springfield • OR 97478

Phone: 541.393.6340 • Fax: 541.393.6385

[www.earth-engineers.com](http://www.earth-engineers.com)

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May 26, 2016

Options Counseling and Family Services  
1255 Pearl Street  
Eugene, Oregon 97401  
Attention: Adam Faulk

(P): 541.687.7604  
Email: [adam.falk@options.org](mailto:adam.falk@options.org)

**Subject: Geotechnical Investigation Report  
Proposed Phase I and II Buildings, and Paved Parking  
1445 and 1457 8<sup>th</sup> Street  
Tax Map 18122741, Lots 8900, 9000 and 9200  
Florence, Lane County, Oregon 97439  
EEI Report No. 16-050-1**

Dear Mr. Faulk:

Earth Engineers, Inc. (EEI) is pleased to transmit our attached Geotechnical Investigation Report for the above referenced project. This report includes the results of our field investigation, an evaluation of geotechnical factors that may influence the proposed construction, geotechnical recommendations for the building and general site development, and the results of our soil infiltration testing.

We appreciate the opportunity to perform this geotechnical study and look forward to continued participation during the design and construction phases of this project. If you have any questions pertaining to this report, or if we may be of further service, please contact our office at 541.393.6340.

Sincerely,  
**Earth Engineers, Inc.**

Troy Hull, P.E., G.E.  
Principal Geotechnical Engineer

Greg Thibeaux, E.I.  
Geotechnical Engineering Associate

Attachment: Geotechnical Investigation Report

Distribution (electronic copy only): Adam Faulk - [adam.falk@options.org](mailto:adam.falk@options.org)  
Tracy Bacon - [Tracy@JBE.US.Com](mailto:Tracy@JBE.US.Com)  
Robert Johnson - [Robert@JBE.US.Com](mailto:Robert@JBE.US.Com)

## GEOTECHNICAL INVESTIGATION REPORT

**Proposed Phase I and II Buildings, and AC Paved Parking  
1445 and 1457 8<sup>th</sup> Street  
Lane County Tax Map 18122741,  
Tax Lots 8900, 9000 and 9200  
Florence, Lane County, Oregon 97439**

Prepared for:

**Options Counseling and Family Services  
1255 Pearl Street  
Eugene, Oregon 97401**

Prepared by:

**Earth Engineers, Inc.  
4660 Main Street, Suite 100-1A  
Springfield, Oregon 97478  
Phone: 541.393.6340  
Fax: 541.393.6385**

**EI Report No. 16-050-1**

**May 26, 2016**

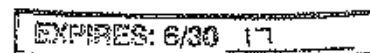
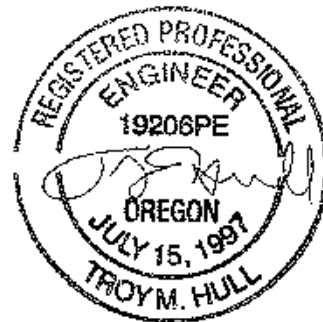


Prepared by:

A handwritten signature in black ink that reads "Greg Thibeaux".

---

**Greg Thibeaux, E.I.  
Geotechnical Engineering Associate**



**Troy Hull, P.E., G.E.  
Principal Geotechnical Engineer**

Medium dense to dense native soils were encountered from approximately 10 to 25 feet bgs. The  $N_{60}$  value from depths of 15 to 16.5 feet in Boring B-1 was 32, and from depths of 20 to 21.5 feet bgs in Boring B-1, the  $N_{60}$  was 22. Groundwater was first encountered at approximately 15 feet bgs in boring B-2 at the time of drilling. Therefore, we encountered 10 to 15 feet of medium dense, saturated sand below the water table in Boring B-1.

We performed a detailed liquefaction analysis using Liquefy Pro, version 5.5b software distributed by CivilTech Software. The following input parameters were used:

- Peak Ground Acceleration ( $PGA_M$ ) of 0.602g. In accordance with ASCE 7-10 Section 11.8.3, the  $PGA_M$  value was used instead of Design PGA because the Seismic Design Category is D as defined in ASCE 7-10 Table 11.6-1.
- An assumed moment magnitude earthquake of 9.0.
- Groundwater was assumed to be at 10 feet bgs.
- $C_e$  (SPT hammer energy correction) value of 1.0.
- $C_b$  (borehole diameter correction) value of 1.0.
- $C_s$  (sampler correction) value of 1.0.
- Ishihara/Yoshimine settlement calculation method.
- Stark/Olson et al. fines correction method.

A factor of safety (FOS) of 1.3 was used when evaluating whether a soil would liquefy or not (i.e. soil layers below a safety factor of 1.3 are considered potentially liquefiable). Based on the above parameters, and assuming the upper 1.5 feet of sand subgrade is properly re-compacted beneath all the footings, we calculated that up to about 2-1/2 inches of potential dynamic settlement due to liquefaction could occur during a design level event. All of the calculated settlement occurred in the soils above about 22 feet below grade. Maximum differential settlement due to liquefaction could be on the order of 50 percent of the total dynamic settlement, meaning up to about 1-1/4 inches of differential settlement due to liquefaction should be expected in a design level event. Based on our past experience, the total potential dynamic settlement result of 2-1/2 inches is within the typical limit that most structural engineers find acceptable (i.e. less than 3 to 4 inches). Ultimately, the project Structural Engineer will need to review the estimated dynamic settlement values and determine if mitigation is required to reduce the amount of settlement. A summary presentation of our LiquefyPro analysis is attached in Appendix E.

## 2.6 Soil Infiltration Test Method and Results

As requested by the project Civil Engineer, Johnson Broderick Engineering, an EEI representative was on site May 3, 2016 to conduct soil infiltration tests. Note that we attempted to excavate the infiltration locations with a drilling auger on the same day that we performed our borings B-1 and B-2, but the augered holes caved in, likely due to the loose sands in the upper

5 feet, therefore we had to reschedule the infiltration testing. We conducted three infiltration tests (IT-1 through IT-3) on the property. The testing locations were excavated with a JCB 214 backhoe equipped with an 18-inch wide, toothed bucket. IT-1 and IT-2 were conducted at a depth of approximately five feet bgs, and IT-3 was conducted at a depth of approximately four feet bgs. We encountered approximately four to six inches of dark brown, moist, topsoil overlying light brown, moist, Poorly Graded Sand (SP) in IT-1 through IT-3. The soils were similar to the soils encountered in our borings B-1 and B-2.



**Photo 3:** Looking west at infiltration testing location, IT-1.

The infiltration tests were performed in general conformance with the Encased Falling Head procedure. Refer to section 6 of The City of Florence Stormwater Design Manual (September 2011), available at <http://www.ci.florence.or.us/planning/stormwater-management-plan-2011>.

Six inch diameter casings (stand pipes) were embedded approximately three to four inches into the soil at the testing elevation for each test location. We placed approximately six inches of gravel in the bottom of each stand pipe to protect the native soil at the bottom of the stand pipe from scouring. We then filled each stand pipe with a 12-inch head of water for the initial presoaking period. The 12-inch head of water did not completely infiltrate in 10 minutes, therefore we performed our trials after the required four-hour minimum pre-soak period.

The testing was conducted by recording the time required for a 12-inch head of water to infiltrate into the soil at 10-minute intervals for a total period of one hour or until all of the water had

drained. Trials were conducted until the percent change in measured infiltration rate between two successive trials was minimal. The average infiltration rate over the last trial was used to calculate the *unfactored* infiltration rate. The final test results for the test locations are listed in Table 2 below:

**Table 2: Infiltration Test Results**

<b>Infiltration Test Location</b>	<b>Trial Depth (feet)</b>	<b>Infiltration Rate*</b>	<b>Wash Gradation (ASTM D1140) % Passing #200 Sieve</b>
IT-1	5	6 in/hr	1
IT-2	5	1 in/hr	0.4
IT-3	4	N/A**	1

*\*No safety factors have been applied to these results.*

\*\*Note that the infiltration rate for each successive trial in IT-3 increased, and therefore is considered unreliable.



Index	Desc	Proposed Treatment
A	Trash Enclosure	150 Cover and connect roof runoff to "D"
B	Parking (alley adjacent)	1012 Requires 61 sf planter (2-52)
C	Main Parking	4234 Requires 254 sf planter (2-52)
D	New Building	5000 Onsite-infiltration 10 - 16"x48" infiltrators
E	Future Building	3000 Onsite-infiltration 8 - 16"x48" infiltrators

# RATIONAL FORMULA

A	total basin	sq ft	13396
		ac	0.31
C	runoff coefficient		0.95
I	inches hour		1.40
Q	cu. Ft. sec		0.41
CALCULATED			

gals / sec	0.00177
gals / min	0.11
gals / hr	6.37

infiltration rate (in hr)	3	INPUT
WIDTH (in)	34	INPUT
LENGTH (in)	48	INPUT
number of units	16	INPUT

cu in hr infiltrated	78336	gals / hr	339.12
		gals / min	5.65
		gals / sec	0.09420

(from spec) storage	43.0	gals	688.0
---------------------	------	------	-------



			run off collected			runoff infiltrated								STORAGE GALS
			cu ft	total gals : 1/2 hr	tot gals	total gals : 1/2 hr	tot gals							
0	0.00%	0.000	0.00	0.00	0.00	22.67	169.56	169.56	688	0	-857.56			
0.5	1.00%	0.004	7.36	55.07	55.07	22.67	169.56	339.12	688	55	-972.04			
1	1.00%	0.004	7.36	55.07	110.15	22.67	169.56	508.67	1	688	1	110	-1086.53	
1.5	1.50%	0.006	11.04	82.61	192.76	22.67	169.56	678.23	688	193	-1173.48			
2	1.50%	0.006	11.04	82.61	275.37	22.67	169.56	847.79	2	688	2	275	-1260.42	
2.5	1.70%	0.007	12.52	93.63	368.99	22.67	169.56	1017.35	688	369	-1336.36			
3	1.50%	0.006	11.04	82.61	451.60	22.67	169.56	1186.91	3	688	3	452	-1423.30	
3.5	1.60%	0.007	11.78	88.12	539.72	22.67	169.56	1356.47	688	540	-1504.75			
4	1.80%	0.007	13.25	99.13	638.85	22.67	169.56	1526.02	4	688	4	639	-1575.17	
4.5	1.90%	0.008	13.99	104.64	743.49	22.67	169.56	1695.58	688	743	-1640.09			
5	2.10%	0.009	15.46	115.65	859.15	22.67	169.56	1865.14	5	688	5	859	-1693.99	
5.5	2.40%	0.010	17.67	132.18	991.32	22.67	169.56	2034.70	688	991	-1731.38			
6	2.60%	0.011	19.14	143.19	1134.52	22.67	169.56	2204.26	6	688	6	1135	-1757.74	
6.5	3.10%	0.013	22.82	170.73	1305.24	22.67	169.56	2373.82	688	1305	-1756.57			
7	3.10%	0.013	22.82	170.73	1475.97	22.67	169.56	2543.37	7	688	7	1476	-1755.40	
7.5	4.20%	0.017	30.92	231.31	1707.28	22.67	169.56	2712.93	688	1707	-1693.65			
8	11.50%	0.047	84.67	633.35	2340.63	22.67	169.56	2882.49	8	688	8	2341	-1229.86	
8.5	5.50%	0.022	40.49	302.90	2643.53	22.67	169.56	3052.05	688	2644	-1096.52			
9	4.00%	0.016	29.45	220.29	2863.83	22.67	169.56	3221.61	9	688	9	2864	-1045.78	
9.5	3.00%	0.012	22.09	165.22	3029.05	22.67	169.56	3391.17	688	3029	-1050.12			
10	2.70%	0.011	19.88	148.70	3177.74	22.67	169.56	3560.72	10	688	10	3178	-1070.98	
10.5	2.40%	0.010	17.67	132.18	3309.92	22.67	169.56	3730.28	688	3310	-1108.36			
11	2.30%	0.009	16.93	126.67	3436.59	22.67	169.56	3899.84	11	688	11	3437	-1151.25	
11.5	2.10%	0.009	15.46	115.65	3552.25	22.67	169.56	4069.40	688	3552	-1205.15			
12	1.90%	0.008	13.99	104.64	3656.88	22.67	169.56	4238.96	12	688	12	3657	-1270.07	
12.5	1.90%	0.008	13.99	104.64	3761.52	22.67	169.56	4408.52	688	3762	-1334.99			
13	1.80%	0.007	13.25	99.13	3860.66	22.67	169.56	4578.07	13	688	13	3861	-1405.42	
13.5	1.80%	0.007	13.25	99.13	3959.79	22.67	169.56	4747.63	688	3960	-1475.84			
14	1.70%	0.007	12.52	93.63	4053.41	22.67	169.56	4917.19	14	688	14	4053	-1551.78	
14.5	1.70%	0.007	12.52	93.63	4147.04	22.67	169.56	5086.75	688	4147	-1627.71			
15	1.60%	0.007	11.78	88.12	4235.16	22.67	169.56	5256.31	15	688	15	4235	-1709.15	
15.5	1.60%	0.007	11.78	88.12	4323.27	22.67	169.56	5425.86	688	4323	-1790.59			
16	1.50%	0.006	11.04	82.61	4405.89	22.67	169.56	5595.42	16	688	16	4406	-1877.54	
16.5	1.50%	0.006	11.04	82.61	4488.50	22.67	169.56	5764.98	688	4488	-1964.49			
17	1.50%	0.006	11.04	82.61	4571.11	22.67	169.56	5934.54	17	688	17	4571	-2051.43	
17.5	1.40%	0.006	10.31	77.10	4648.21	22.67	169.56	6104.10	688	4648	-2143.89			
18	1.40%	0.006	10.31	77.10	4725.31	22.67	169.56	6273.66	18	688	18	4725	-2236.34	
18.5	1.30%	0.005	9.57	71.60	4796.91	22.67	169.56	6443.21	688	4797	-2334.31			
19	1.30%	0.005	9.57	71.60	4868.50	22.67	169.56	6612.77	19	688	19	4869	-2432.27	
19.5	1.20%	0.005	8.83	66.09	4934.59	22.67	169.56	6782.33	688	4935	-2535.74			
20	1.20%	0.005	8.83	66.09	5000.68	22.67	169.56	6951.89	20	688	20	5001	-2639.21	
20.5	1.20%	0.005	8.83	66.09	5066.77	22.67	169.56	7121.45	688	5067	-2742.68			
21	1.20%	0.005	8.83	66.09	5132.86	22.67	169.56	7291.01	21	688	21	5133	-2846.15	
21.5	1.20%	0.005	8.83	66.09	5198.94	22.67	169.56	7460.56	688	5199	-2949.62			
22	1.20%	0.005	8.83	66.09	5265.03	22.67	169.56	7630.12	22	688	22	5265	-3053.09	
22.5	1.10%	0.004	8.10	60.58	5325.61	22.67	169.56	7799.68	688	5326	-3162.07			
23	1.10%	0.004	8.10	60.58	5386.19	22.67	169.56	7969.24	23	688	23	5386	-3271.04	
23.5	1.10%	0.004	8.10	60.58	5446.78	22.67	169.56	8138.80	688	5447	-3380.02			
24	1.10%	0.004	8.10	60.58	5507.36	22.67	169.56	8308.36	24	688	24	5507	-3489.00	



Index	Desc	Proposed Treatment
A	Trash Enclosure	150 Cover and connect roof runoff to "D"
B	Parking (alley adjacent)	1012 Requires 61 sf planter (2-52)
C	Main Parking	4234 Requires 254 sf planter (2-52)
D	New Building	5000 Onsite-infiltration 10 - 16"x48" infiltrators
E	Future Building	3000 Onsite-infiltration 8 - 16"x48" infiltrators

# RATIONAL FORMULA

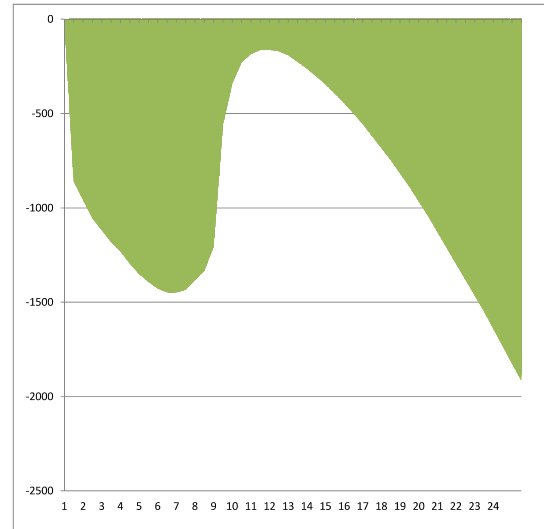
A	total basin	sq ft	13396
		ac	0.31
C	runoff coefficient		0.95
I	inches hour		1.80
Q	cu. Ft. sec		0.53
CALCULATED			

gals / sec	0.00228
gals / min	0.14
gals / hr	8.20

infiltration rate (in hr)	3	INPUT
WIDTH (in)	34	INPUT
LENGTH (in)	48	INPUT
number of units	16	INPUT

cu in hr infiltrated	78336	gals / hr	339.12
		gals / min	5.65
		gals / sec	0.09420

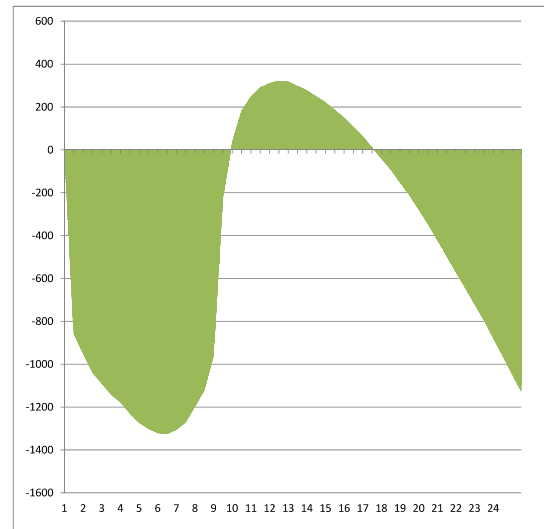
(from spec) storage	43.0	gals	688.0
---------------------	------	------	-------



			run off collected			runoff infiltrated					STORAGE GALS		
			cu ft	total gals : 1/2 hr	tot gals	total gals : 1/2 hr	tot gals						
0	0.00%	0.000	0.00	0.00	0.00	22.67	169.56	169.56	688	0	-857.56		
0.5	1.00%	0.005	9.47	70.81	70.81	22.67	169.56	339.12	688	71	-956.31		
1	1.00%	0.005	9.47	70.81	141.62	22.67	169.56	508.67	1	688	1	142	-1055.06
1.5	1.50%	0.008	14.20	106.21	247.83	22.67	169.56	678.23	688	248	-1118.40		
2	1.50%	0.008	14.20	106.21	354.04	22.67	169.56	847.79	2	688	2	354	-1181.75
2.5	1.70%	0.009	16.09	120.38	474.42	22.67	169.56	1017.35	688	474	-1230.93		
3	1.50%	0.008	14.20	106.21	580.63	22.67	169.56	1186.91	3	688	3	581	-1294.28
3.5	1.60%	0.008	15.15	113.29	693.93	22.67	169.56	1356.47	688	694	-1350.54		
4	1.80%	0.009	17.04	127.46	821.38	22.67	169.56	1526.02	4	688	4	821	-1392.64
4.5	1.90%	0.010	17.98	134.54	955.92	22.67	169.56	1695.58	688	956	-1427.66		
5	2.10%	0.011	19.88	148.70	1104.62	22.67	169.56	1865.14	5	688	5	1105	-1448.52
5.5	2.40%	0.013	22.72	169.94	1274.56	22.67	169.56	2034.70	688	1275	-1448.14		
6	2.60%	0.014	24.61	184.10	1458.66	22.67	169.56	2204.26	6	688	6	1459	-1433.59
6.5	3.10%	0.016	29.34	219.51	1678.17	22.67	169.56	2373.82	688	1678	-1383.65		
7	3.10%	0.016	29.34	219.51	1897.68	22.67	169.56	2543.37	7	688	7	1898	-1333.70
7.5	4.20%	0.022	39.76	297.40	2195.08	22.67	169.56	2712.93	688	2195	-1205.86		
8	11.50%	0.060	108.86	814.30	3009.38	22.67	169.56	2882.49	8	688	8	3009	-561.11
8.5	5.50%	0.029	52.06	389.45	3398.83	22.67	169.56	3052.05	688	3399	-341.22		
9	4.00%	0.021	37.86	283.24	3682.06	22.67	169.56	3221.61	9	688	9	3682	-227.55
9.5	3.00%	0.016	28.40	212.43	3894.49	22.67	169.56	3391.17	688	3894	-184.68		
10	2.70%	0.014	25.56	191.18	4085.67	22.67	169.56	3560.72	10	688	10	4086	-163.05
10.5	2.40%	0.013	22.72	169.94	4255.61	22.67	169.56	3730.28	688	4256	-162.67		
11	2.30%	0.012	21.77	162.86	4418.47	22.67	169.56	3899.84	11	688	11	4418	-169.37
11.5	2.10%	0.011	19.88	148.70	4567.17	22.67	169.56	4069.40	688	4567	-190.23		
12	1.90%	0.010	17.98	134.54	4701.71	22.67	169.56	4238.96	12	688	12	4702	-225.25
12.5	1.90%	0.010	17.98	134.54	4836.25	22.67	169.56	4408.52	688	4836	-260.27		
13	1.80%	0.009	17.04	127.46	4963.70	22.67	169.56	4578.07	13	688	13	4964	-302.37
13.5	1.80%	0.009	17.04	127.46	5091.16	22.67	169.56	4747.63	688	5091	-344.47		
14	1.70%	0.009	16.09	120.38	5211.53	22.67	169.56	4917.19	14	688	14	5212	-393.66
14.5	1.70%	0.009	16.09	120.38	5331.91	22.67	169.56	5086.75	688	5332	-442.84		
15	1.60%	0.008	15.15	113.29	5445.20	22.67	169.56	5256.31	15	688	15	5445	-499.10
15.5	1.60%	0.008	15.15	113.29	5558.50	22.67	169.56	5425.86	688	5558	-555.37		
16	1.50%	0.008	14.20	106.21	5664.71	22.67	169.56	5595.42	16	688	16	5665	-618.71
16.5	1.50%	0.008	14.20	106.21	5770.92	22.67	169.56	5764.98	688	5771	-682.06		
17	1.50%	0.008	14.20	106.21	5877.14	22.67	169.56	5934.54	17	688	17	5877	-745.40
17.5	1.40%	0.007	13.25	99.13	5976.27	22.67	169.56	6104.10	688	5976	-815.83		
18	1.40%	0.007	13.25	99.13	6075.40	22.67	169.56	6273.66	18	688	18	6075	-886.25
18.5	1.30%	0.007	12.31	92.05	6167.45	22.67	169.56	6443.21	688	6167	-963.76		
19	1.30%	0.007	12.31	92.05	6259.50	22.67	169.56	6612.77	19	688	19	6260	-1041.27
19.5	1.20%	0.006	11.36	84.97	6344.47	22.67	169.56	6782.33	688	6344	-1125.86		
20	1.20%	0.006	11.36	84.97	6429.45	22.67	169.56	6951.89	20	688	20	6429	-1210.44
20.5	1.20%	0.006	11.36	84.97	6514.42	22.67	169.56	7121.45	688	6514	-1295.03		
21	1.20%	0.006	11.36	84.97	6599.39	22.67	169.56	7291.01	21	688	21	6599	-1379.62
21.5	1.20%	0.006	11.36	84.97	6684.36	22.67	169.56	7460.56	688	6684	-1464.21		
22	1.20%	0.006	11.36	84.97	6769.33	22.67	169.56	7630.12	22	688	22	6769	-1548.79
22.5	1.10%	0.006	10.41	77.89	6847.22	22.67	169.56	7799.68	688	6847	-1640.46		
23	1.10%	0.006	10.41	77.89	6925.11	22.67	169.56	7969.24	23	688	23	6925	-1732.13
23.5	1.10%	0.006	10.41	77.89	7003.00	22.67	169.56	8138.80	688	7003	-1823.80		
24	1.10%	0.006	10.41	77.89	7080.89	22.67	169.56	8308.36	24	688	24	7081	-1915.47

## RATIONAL FORMULA

infiltration rate (in hr)	3	INPUT
WIDTH (in)	34	INPUT
LENGTH (in)	48	INPUT
number of units	16	INPUT
cu in hr infiltrated	78336	gals / hr 339.12
		gals / min 5.65
		gals / sec 0.09420
(from spec) storage	43.0	gals 688.0



"Options" PROJECT  
2.0 ln/hour



**INFILTRATOR®**  
water technologies

**Quick4™**  
CHAMBER SYSTEMS

## The Quick4® Standard Chamber

### Quick4® Series



The Quick4® Standard Chamber fits in a 36" wide trench and is ideal for curved or straight systems. It features the patent-pending Contour Swivel Connection™ which permits turns up to 15°, right or left. The MultiPort™ endcap allows multiple piping options and eliminates pipe fittings. The chamber's four-foot length provides optimal installation flexibility.

### Chamber Benefits:

- Advanced contouring connections swivel up to 15°, right or left
- Latching mechanism allows for quick installation
- Four-foot chambers are easy to handle and install
- The Quick4 Standard Chamber supports wheel loads of 16,000 lbs/axle with only 12" of cover
- Certified by the International Association of Plumbing and Mechanical Officials (IAPMO)



### MultiPort Endcap Benefits:

- Tear-out seals on inlet ports provide a tight fit to the pipe
- Eight molded-in inlets/outlets allow for maximum piping flexibility
- Eliminates pipe fittings
- Fits on either end of the Quick4 Standard Chamber



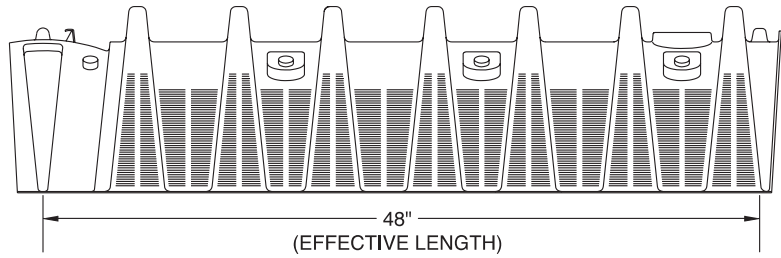
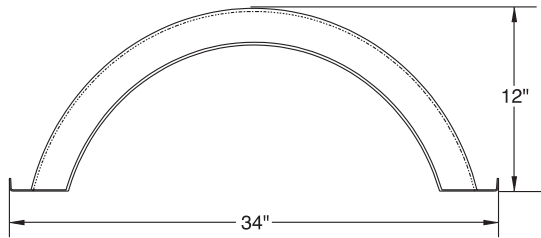
### Quick4® Series

**Because installations are faster with Quick4 chambers, you save on heavy equipment operation and labor.**

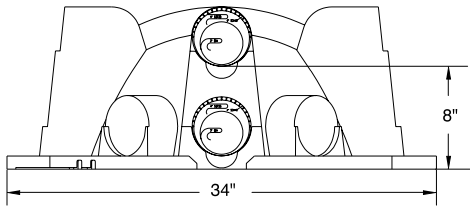
APPROVED in \_\_\_\_\_



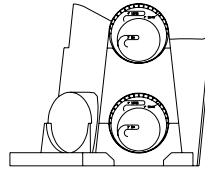
**Quick4 Standard Chamber**



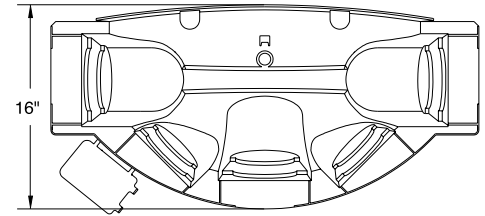
**MultiPort EndCap**



FRONT VIEW

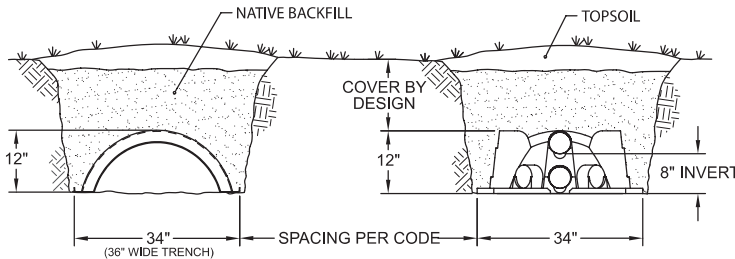


SIDE VIEW



TOP VIEW

**Typical Trench View**



**INFILTRATOR WATER TECHNOLOGIES STANDARD LIMITED WARRANTY**

(a) The structural integrity of each chamber, endcap and other accessory manufactured by Infiltrator ("Units"), when installed and operated in a leachfield of an onsite septic system in accordance with Infiltrator's instructions, is warranted to the original purchaser ("Holder") against defective materials and workmanship for one year from the date that the septic permit is issued for the septic system containing the Units; provided, however, that if a septic permit is not required by applicable law, the warranty period will begin upon the date that installation of the septic system commences. To exercise its warranty rights, Holder must notify Infiltrator in writing at its Corporate Headquarters in Old Saybrook, Connecticut within fifteen (15) days of the alleged defect. Infiltrator will supply replacement Units for Units determined by Infiltrator to be covered by this Limited Warranty. Infiltrator's liability specifically excludes the cost of removal and/or installation of the Units.

(b) THE LIMITED WARRANTY AND REMEDIES IN SUBPARAGRAPH (a) ARE EXCLUSIVE. THERE ARE NO OTHER WARRANTIES WITH RESPECT TO THE UNITS, INCLUDING NO IMPLIED WARRANTIES OF MERCHANTABILITY OR FITNESS FOR A PARTICULAR PURPOSE

(c) This Limited Warranty shall be void if any part of the chamber system is manufactured by anyone other than Infiltrator. The Limited Warranty does not extend to incidental, consequential, special or indirect damages. Infiltrator shall not be liable for penalties or liquidated damages, including loss of production and profits, labor and materials, overhead costs, or other losses or expenses incurred by the Holder or any third party. Specifically excluded from Limited Warranty coverage are damage to the Units due to ordinary wear and tear, alteration, accident, misuse, abuse or neglect of the Units; the Units being subjected to vehicle traffic or other conditions which are not permitted by the installation instructions; failure to maintain the minimum ground covers set forth in the installation instructions; the placement of improper materials into the system containing the Units; failure of the Units or the septic system due to improper siting or improper sizing, excessive water usage, improper grease disposal, or improper operation; or any other event not caused by Infiltrator. This Limited Warranty shall be void if the Holder fails to comply with all of the terms set forth in this Limited Warranty. Further, in no event shall Infiltrator be responsible for any loss or damage to the Holder, the Units, or any third party resulting from installation or shipment, or from any product liability claims of Holder or any third party. For this Limited Warranty to apply, the Units must be installed in accordance with all site conditions required by state and local codes; all other applicable laws; and Infiltrator's installation instructions.

(d) No representative of Infiltrator has the authority to change or extend this Limited Warranty. No warranty applies to any party other than the original Holder.

The above represents the Standard Limited Warranty offered by Infiltrator. A limited number of states and counties have different warranty requirements. Any purchaser of Units should contact Infiltrator's Corporate Headquarters in Old Saybrook, Connecticut, prior to such purchase, to obtain a copy of the applicable warranty, and should carefully read that warranty prior to the purchase of Units.

**Quick4® Standard Chamber Specifications**

<b>Size</b>	34"W x 53"L x 12"H (864 mm x 1346 mm x 305 mm)
<b>Effective Length</b>	48" (1219 mm)
<b>Louver Height</b>	8" (203 mm)
<b>Storage Capacity</b>	43 gal (163 L)
<b>Invert Height</b>	8" (203 mm)



4 Business Park Road  
P.O. Box 768  
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860-577-7000 • Fax 860-577-7001  
**1-800-221-4436**  
[www.infiltratorwater.com](http://www.infiltratorwater.com)

U.S. Patents: 4,759,661; 5,017,041; 5,156,488; 5,336,017; 5,401,116; 5,401,459; 5,511,903; 5,716,163; 5,588,778; 5,839,844 Canadian Patents: 1,329,959; 2,004,564 Other patents pending. Infiltrator, Equalizer, Quick4, and SideWinder are registered trademarks of Infiltrator Water Technologies. Infiltrator is a registered trademark in France. Infiltrator Water Technologies is a registered trademark in Mexico. Contour, MicroLeaching, PolyTuff, ChamberSpacer, MultiPort, PosiLock, QuickCut, QuickPlay, SnapLock and StraightLock are trademarks of Infiltrator Water Technologies. PolyLok is a trademark of PolyLok, Inc. TUF-TITE is a registered trademark of TUF-TITE, INC. Ultra-Rib is a trademark of IPEX Inc.

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Q25 0813

**Contact Infiltrator Water Technologies' Technical Services Department for assistance at 1-800-221-4436**

Options.001  
Lane County, Oregon  
Storm Data

Rainfall Depth by Rainfall Return Period						
2-Yr (in)	5-Yr (in)	10-Yr (in)	25-Yr (in)	50-Yr (in)	100-Yr (in)	1-Yr (in)
3.46	.0	4.48	5.06	.0	.0	.0

Storm Data Source: User-provided custom storm data

Rainfall Distribution Type: Type IA

Dimensionless Unit Hydrograph: <standard>

Hydrograph Peak/Peak Time Table

Sub-Area Peak Flow and Peak Time (hr) by Rainfall Return Period

Sub-Area or Reach Identifier	2-Yr (cfs)	25-Yr (cfs)
	(hr)	(hr)
options	0.25	0.36
	7.84	7.84

Sub-Area Time of Concentration Details

Sub-Area Identifier/	Flow Length (ft)	Slope (ft/ft)	Mannings's n	End Area (sq ft)	Wetted Perimeter (ft)	Velocity (ft/sec)	Travel Time (hr)
-------------------------	------------------------	------------------	-----------------	------------------------	-----------------------------	----------------------	------------------------

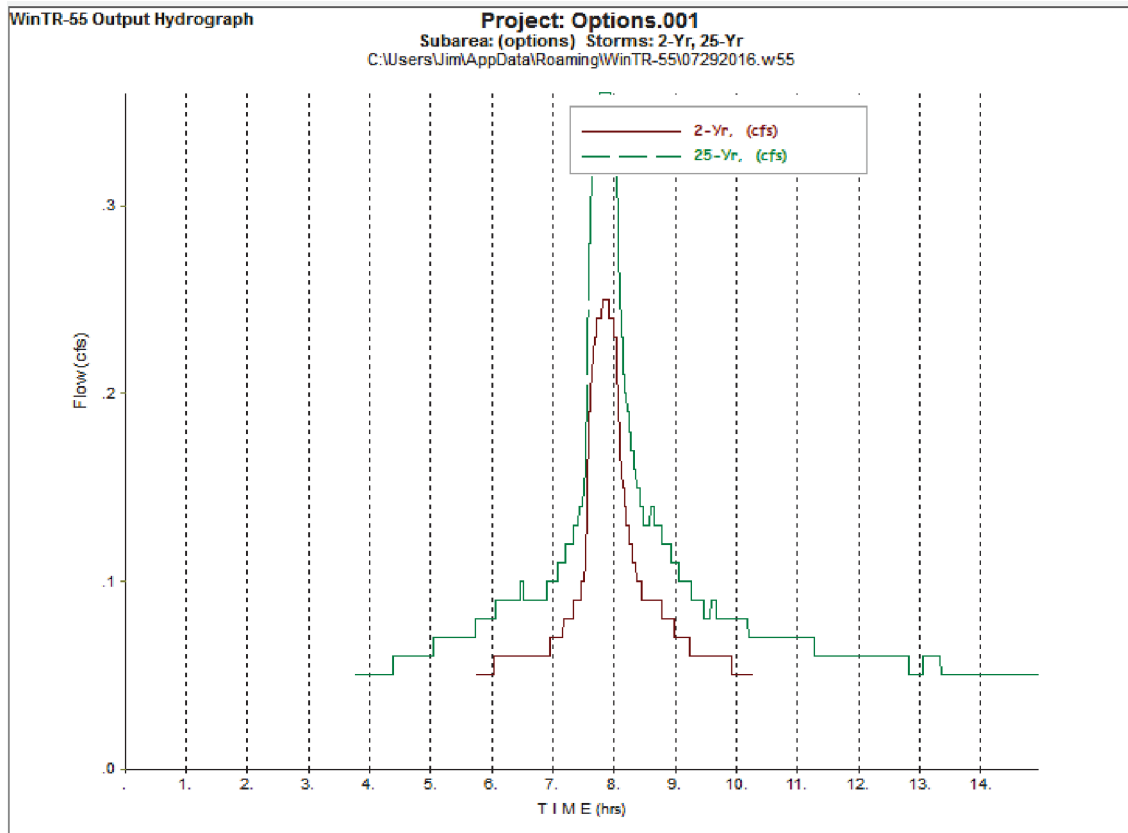
options							
SHALLOW	400	1.0000	0.025				0.005

Time of Concentration 0.1

=====

Sub-Area Land Use and Curve Number Details

Sub-Area Identifier Group	Land Use (ac)	Hydrologic Soil	Sub-Area Area	Curve Number
options	Paved parking lots, roofs, driveways	A	.3	98
	Total Area / Weighted Curve Number		.3	98
			==	==

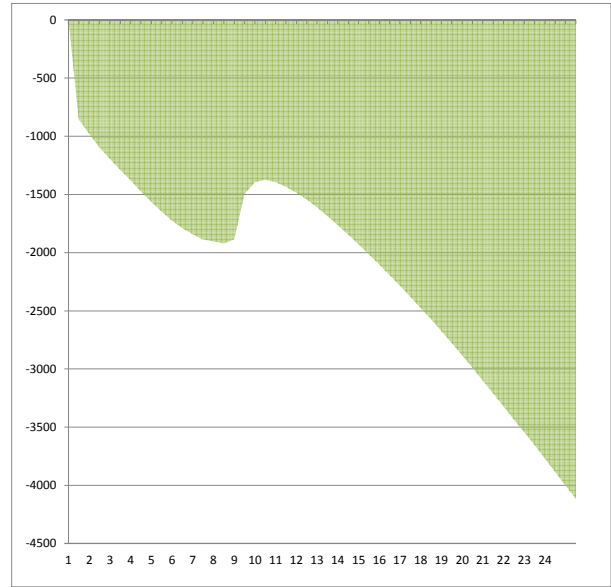


Index	Desc	Proposed Treatment	
A	Trach Enclosure	150 sf	Cover and connect roof runoff to "D"
B	Parking (alley adjacent)	1012 sf	Requires 61 sf planter (2-52)
C	Main Parking	4234 sf	Requires 254 sf planter (2-52)
D	New Building	5000 sf	Onsite-infiltration 10 - 16"x48" infiltrators
E	Future Building	3000 sf	Onsite-infiltration 8 - 16"x48" infiltrators

Index	Desc	Proposed Treatme
A	Trash Enclosure	150 Cover and connect roof runoff to "D"
B	Parking (alley adjacent)	1012 Requires 61 sf planter (2-52)
C	Main Parking	4234 Requires 254 sf planter (2-52)
D	New Building	5000 Onsite-infiltration 10 - 16"x48" infiltrators
E	Future Building	3000 Onsite-infiltration 8 - 16"x48" infiltrators

# RATIONAL FORMULA

A	total basin	sq ft	13396
		ac	0.31
C	runoff coefficient		0.95
I	inches hour		1.24
Q	cu. Ft. sec	0.36	
CALCULATED			
		gals / sec	0.00157
		gals / min	0.09
		gals / hr	5.65
	infiltration rate (in hr)	3	INPUT
	WIDTH (in)	34	INPUT
	LENGTH (in)	48	INPUT
	number of units	16	INPUT
	cu in hr infiltrated	78336	
		gals / hr	339.12
		gals / min	5.65
		gals / sec	0.09420
	(from spec) storage	43.0	gals 688.0



			run off collected			runoff infiltrated					
			cu ft	total gals : 1/2 hr	tot gals		total gals : 1/2 hr	tot gals			STORAGE GALS
0	0.00%	0.000	0.00	0.00	0.00	22.67	169.56	169.56	688	0	-857.56
0.5	1.00%	0.004	6.52	48.78	48.78	22.67	169.56	339.12	688	49	-978.34
1	1.00%	0.004	6.52	48.78	97.56	22.67	169.56	508.67	1 688	1 98	-1099.12
1.5	1.50%	0.005	9.78	73.17	170.73	22.67	169.56	678.23	688	171	-1195.51
2	1.50%	0.005	9.78	73.17	243.90	22.67	169.56	847.79	2 688	2 244	-1291.89
2.5	1.70%	0.006	11.09	82.93	326.82	22.67	169.56	1017.35	688	327	-1378.53
3	1.50%	0.005	9.78	73.17	399.99	22.67	169.56	1186.91	3 688	3 400	-1474.92
3.5	1.60%	0.006	10.43	78.05	478.04	22.67	169.56	1356.47	688	478	-1566.43
4	1.80%	0.007	11.74	87.80	565.84	22.67	169.56	1526.02	4 688	4 566	-1648.18
4.5	1.90%	0.007	12.39	92.68	658.52	22.67	169.56	1695.58	688	659	-1725.06
5	2.10%	0.008	13.69	102.44	760.96	22.67	169.56	1865.14	5 688	5 761	-1792.18
5.5	2.40%	0.009	15.65	117.07	878.03	22.67	169.56	2034.70	688	878	-1844.67
6	2.60%	0.009	16.95	126.83	1004.86	22.67	169.56	2204.26	6 688	6 1005	-1887.40
6.5	3.10%	0.011	20.21	151.22	1156.07	22.67	169.56	2373.82	688	1156	-1905.74
7	3.10%	0.011	20.21	151.22	1307.29	22.67	169.56	2543.37	7 688	7 1307	-1924.08
7.5	4.20%	0.015	27.39	204.87	1512.16	22.67	169.56	2712.93	688	1512	-1888.77
8	11.50%	0.042	74.99	560.96	2073.13	22.67	169.56	2882.49	8 688	8 2073	-1497.36
8.5	5.50%	0.020	35.86	268.29	2341.41	22.67	169.56	3052.05	688	2341	-1398.64
9	4.00%	0.014	26.08	195.12	2536.53	22.67	169.56	3221.61	9 688	9 2537	-1373.08
9.5	3.00%	0.011	19.56	146.34	2682.87	22.67	169.56	3391.17	688	2683	-1396.30
10	2.70%	0.010	17.61	131.70	2814.57	22.67	169.56	3560.72	10 688	10 2815	-1434.15
10.5	2.40%	0.009	15.65	117.07	2931.64	22.67	169.56	3730.28	688	2932	-1486.64
11	2.30%	0.008	15.00	112.19	3043.84	22.67	169.56	3899.84	11 688	11 3044	-1544.00
11.5	2.10%	0.008	13.69	102.44	3146.27	22.67	169.56	4069.40	688	3146	-1611.12
12	1.90%	0.007	12.39	92.68	3238.96	22.67	169.56	4238.96	12 688	12 3239	-1688.00
12.5	1.90%	0.007	12.39	92.68	3331.64	22.67	169.56	4408.52	688	3332	-1764.88
13	1.80%	0.007	11.74	87.80	3419.44	22.67	169.56	4578.07	13 688	13 3419	-1846.63
13.5	1.80%	0.007	11.74	87.80	3507.24	22.67	169.56	4747.63	688	3507	-1928.39
14	1.70%	0.006	11.09	82.93	3590.17	22.67	169.56	4917.19	14 688	14 3590	-2015.02
14.5	1.70%	0.006	11.09	82.93	3673.09	22.67	169.56	5086.75	688	3673	-2101.66
15	1.60%	0.006	10.43	78.05	3751.14	22.67	169.56	5256.31	15 688	15 3751	-2193.17
15.5	1.60%	0.006	10.43	78.05	3829.19	22.67	169.56	5425.86	688	3829	-2284.68
16	1.50%	0.005	9.78	73.17	3902.36	22.67	169.56	5595.42	16 688	16 3902	-2381.07
16.5	1.50%	0.005	9.78	73.17	3975.52	22.67	169.56	5764.98	688	3976	-2477.46
17	1.50%	0.005	9.78	73.17	4048.69	22.67	169.56	5934.54	17 688	17 4049	-2573.85
17.5	1.40%	0.005	9.13	68.29	4116.99	22.67	169.56	6104.10	688	4117	-2675.11
18	1.40%	0.005	9.13	68.29	4185.28	22.67	169.56	6273.66	18 688	18 4185	-2776.38
18.5	1.30%	0.005	8.48	63.41	4248.69	22.67	169.56	6443.21	688	4249	-2882.52
19	1.30%	0.005	8.48	63.41	4312.10	22.67	169.56	6612.77	19 688	19 4312	-2988.67
19.5	1.20%	0.004	7.83	58.54	4370.64	22.67	169.56	6782.33	688	4371	-3099.69
20	1.20%	0.004	7.83	58.54	4429.17	22.67	169.56	6951.89	20 688	20 4429	-3210.72
20.5	1.20%	0.004	7.83	58.54	4487.71	22.67	169.56	7121.45	688	4488	-3321.74
21	1.20%	0.004	7.83	58.54	4546.24	22.67	169.56	7291.01	21 688	21 4546	-3432.76
21.5	1.20%	0.004	7.83	58.54	4604.78	22.67	169.56	7460.56	688	4605	-3543.78
22	1.20%	0.004	7.83	58.54	4663.31	22.67	169.56	7630.12	22 688	22 4663	-3654.81
22.5	1.10%	0.004	7.17	53.66	4716.97	22.67	169.56	7799.68	688	4717	-3770.71
23	1.10%	0.004	7.17	53.66	4770.63	22.67	169.56	7969.24	23 688	23 4771	-3886.61
23.5	1.10%	0.004	7.17	53.66	4824.29	22.67	169.56	8138.80	688	4824	-4002.51
24	1.10%	0.004	7.17	53.66	4877.94	22.67	169.56	8308.36	24 688	24 4878	-4118.41

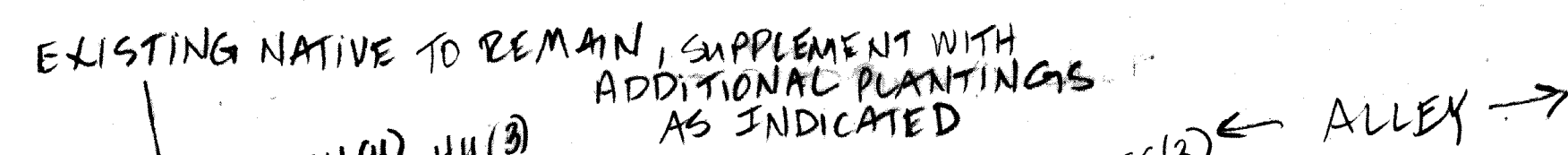
"Options" PROJECT  
1.24 In/hour  
(25 Year Storm 5.06")  
SCS type 1a

25 Year Storm Interval Calculations

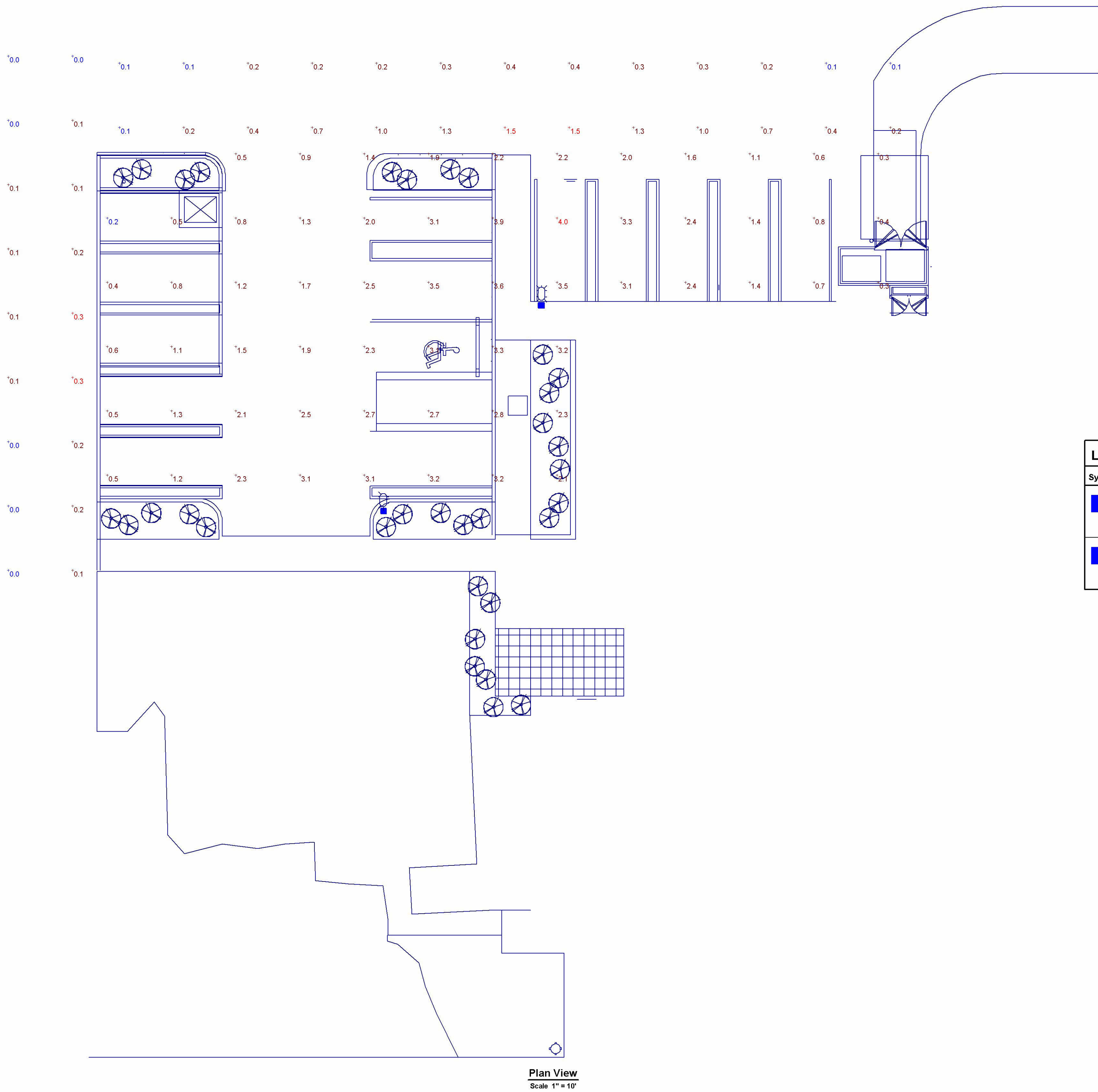




LANDSCAPE DESIGN  
 OPTIONS COUNSELING & FAMILY SERVICES  
 1457 8<sup>TH</sup> ST FLORENCE OR  
 DESIGN BY LISA WALTER-SEDLACEK  
 LAUREL BAY GARDENS  
 USB #6718 REV. JULY 29, 2016 SCALE 1" = 10'

WB#6718 REV. JULY 29, 2016 SCALE 1"=10'







LUMINAIRE SCHEDULE									
Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens	LLF	Watts
	A	1	MR1 LED 42C 700 40K SR4 MVOLT MOUNTED ON 20 FOOT SQUARE ALUMINUM POLE	MR1 AREA LIGHT 42 LEDs 700 mA DRIVE CURRENT 40K COLOR TEMP TYPE 4 DISTRIBUTION	HLM LIGHT ENGINE	MR1_LED_42C_700_40K_SR4_MVOLT.ies	Absolute	0.95	98
	B	1	MR1 LED 42C 700 40K SR2 MVOLT MOUNTED ON 20 FOOT SQUARE ALUMINUM POLE	MR1 AREA LIGHT 42 LEDs 700 mA DRIVE CURRENT 40K COLOR TEMP TYPE 2 DISTRIBUTION	HLM LIGHT ENGINE	MR1_LED_42C_700_40K_SR2_MVOLT.ies	Absolute	0.95	98

LUMINAIRE LOCATIONS										
No.	Label	X	Location Y	Z	MH	Orientation	Tilt	X	Aim Y	Z
1	A	-2912.4	-1724.0	20.0	20.0	0.0	0.0	-2912.4	-1724.0	0.0
2	B	-2887.9	-1692.0	20.0	20.0	0.0	0.0	-2887.9	-1692.0	0.0

STATISTICS						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #3 Parking Lot	+	1.9 fc	4.0 fc	0.2 fc	20.0:1	9.5:1
Calc Zone #5 Alleyway	+	0.1 fc	0.3 fc	0.0 fc	N / A	N / A
Calc Zone #11 West Property Line		0.5 fc	1.5 fc	0.1 fc	15.0:1	5.0:1

Paradigm Engineering  
85193 Appletree Drive  
Eugene, Oregon 97405  
541 285 2680  
jkrumsick@outlook.com

Options Office Building  
Photometric Study  
Paradigm Engineering

Designer

Jim Krumsick

Date

Jun 9 2016

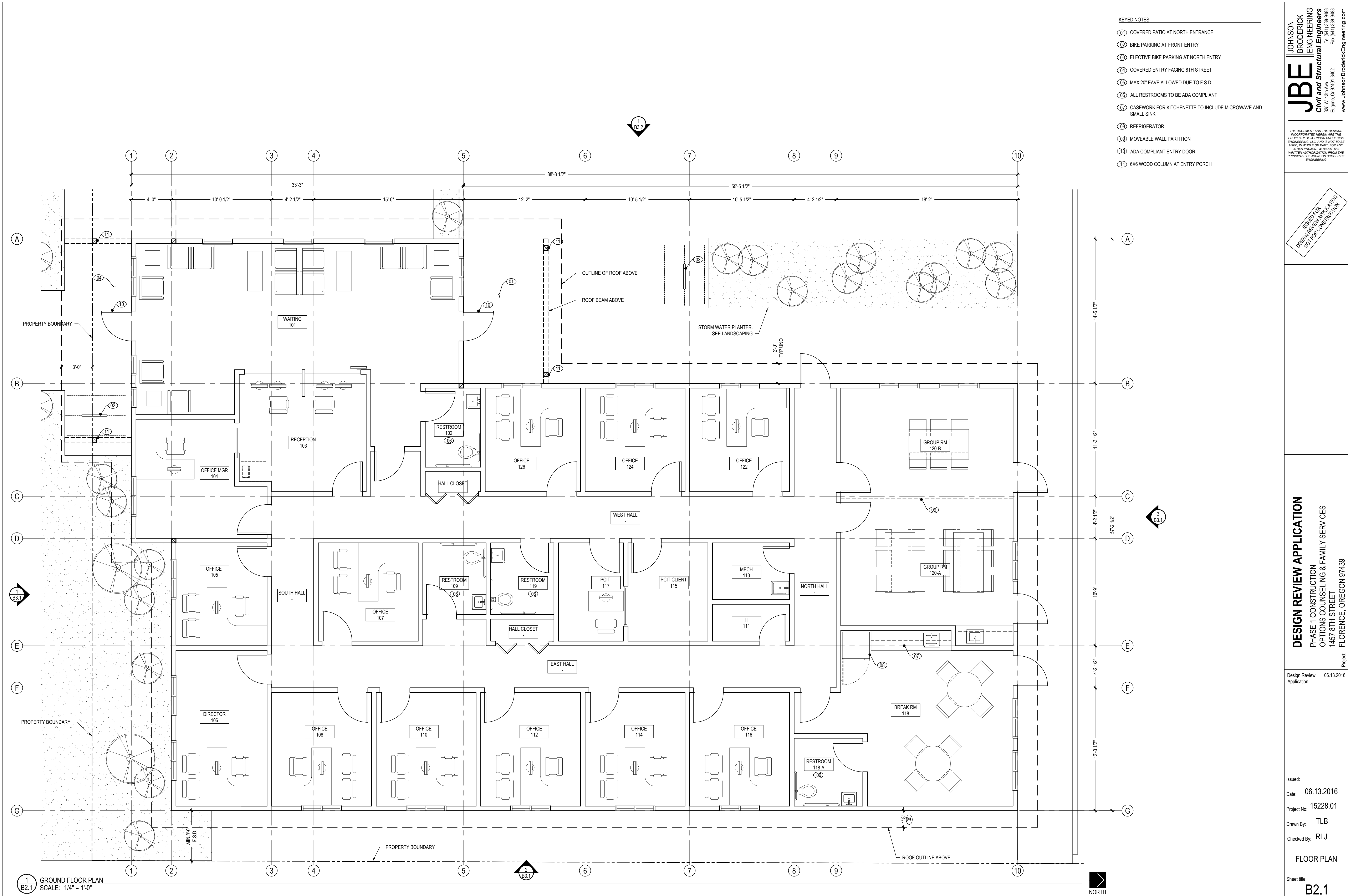
Scale

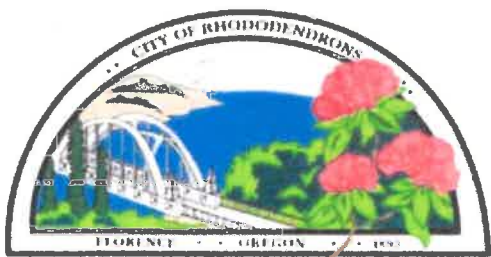
1"=10'

Drawing No.

E1







*City of Florence*  
Community Development Department  
250 Highway 101  
Florence, OR 97439  
Phone: (541) 997 - 8237  
Fax: (541) 997 - 4109  
[www.ci.florence.or.us](http://www.ci.florence.or.us)

### Type of Request

☒ **Design Review (DR)** (See FCC 10-6)    ☐ **Conditional Use Permit (CUP)** (See FCC 10-4)

### Applicant Information

Name: Tracy Bacon, Johnson Broderick Engineering LLC Phone 1: [REDACTED]  
E-mail Address: [REDACTED] Phone 2: [REDACTED]  
Address: [REDACTED]  
Signature: [REDACTED] Date: June 13, 2016  
Applicant's Representative (if any): \_\_\_\_\_

### Property Owner Information

Name: Adam Falk Phone 1: [REDACTED]  
E-mail Address: [REDACTED] Phone 2: [REDACTED]  
Address: [REDACTED]  
Signature: [REDACTED] Date: 6-10-2016  
Applicant's Representative (if any): Tracy Bacon, Johnson Broderick Engineering, LLC

*NOTE: If applicant and property owner are not the same individual, a signed letter of authorization from the property owner which allows the applicant to act as the agent for the property owner must be submitted to the City along with this application. The property owner agrees to allow the Planning Staff and the Planning Commission onto the property. Please inform Planning Staff if prior notification or special arrangements are necessary.*

### For Office Use Only:

RECEIVED City of Florence  JUN 13 2016  By: <u>Gus</u>
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Approved

Exhibit

**Exhibit H**

### Property Description

Site Address: 1457 8th Street, Florence OR 97439

General Description: Tax Lots 8900, 9000, & 9200 have been legally consolidated into one lot through a Property Line Adjustment (Lane County Record # 2016-025997). A revised tax lot number is forthcoming but has not yet been assigned.

Assessor's Map No.: 18 - 12 - 27 - 41 Tax lot(s): 8900, 9000, 9200

Zoning District: Main Street Area B

Conditions & land uses within 300 feet of the proposed site that is one-acre or larger and within 100 feet of the site that is less than an acre OR add this information to the off-site conditions map

(FCC 10-1-1-4-B-3): \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

### Project Description

Square feet of new: 4165 SF Square feet of existing: 2700 SF to be demolished

Hours of operation: Mon-Fri 8:30 -5 Existing parking spaces: 5 on street spaces

Is any project phasing anticipated? (Check One): ☒ Yes ☐ No

Timetable of proposed improvements: Phase 2 construction to begin within 18 to 24 months of Phase 1 completion

Will there be impacts such as noise, dust, or outdoor storage? ☐ Yes ☐ No

If yes, please describe: \_\_\_\_\_

\_\_\_\_\_

Proposal: (Describe the project in detail, what is being proposed, size, objectives, and what is desired by the project. Attach additional sheets as necessary)

Options Counseling Services of Oregon is a private, not-for-profit corporation that provides mental health, family preservation, life skills and domestic violence interventions to at-risk rural, urban and homeless children, adolescents, individuals and families throughout Lane County. Options has outgrown its current facility, and as such will be constructing a new 4165 sf office building to meet the needs of their staff and clients. The 4165 sf building will be constructed during Phase 1, along with the parking and associated site development needed to meet both the needs of the Phase 1 construction as well as that of the second Phase of construction, which will include a 2970 sf addition to the Phase 1 building to support the projected growth of staff and support services provided.

### For Office Use Only:

Date Submitted: \_\_\_\_\_ Fee: \_\_\_\_\_

Received by: \_\_\_\_\_

Paid

## Other Information Required

Below is a check list of the required information to determine if an application is complete. The Florence City Code is available at City Hall or online at [www.ci.florence.or.us](http://www.ci.florence.or.us) (click on "City Code" which is located on the main page). You will also find the *Florence Transportation Plan*, *Downtown Architectural Guidelines*, *Highway 101 Access Management Plans*, *Stormwater Design Manual*, and *Stormwater Management Plan* available on the City's website or at the City Hall for review or purchase.

☒ Site Plan existing and proposed drawn to scale, showing the following:

- Existing and proposed site boundaries and proposed lot boundaries
- Existing and proposed structures
- Existing and proposed roads, streets, rights-of-way, pedestrian walks (widths and types), names, grades, radii
- Existing and proposed utility services – location of water and sewer lines, drainage routes and facilities, manholes, meters, fire hydrants, etc...
- Areas of scenic value, wildlife habitat, potential hazard areas (floodplains, geologic instability), wetlands, or other areas of special significance

*Note: Please submit an electronic copy of any plans submitted larger than 11" x 17"*

☐ A title report from a title company showing:

- Existing liens
- Access and/or utility easements
- Legal description

A current Title Report is forthcoming once the Property Line Adjustment becomes available to the Title Company

☒ Utility Plan:

List all utilities currently available to the site AND add this information to a utility plan map (See FCC 10-1-1-4-B-2).

*Note: For help identifying the location of utilities, please call Dig Safely Oregon at 1-800-332-2344 or dial 811. Call Public Works (541-997-4106) to determine the size of utility lines. Call the Fire Marshal (541-997-3212) to determine fire flows.*

Water Supply: NEW 8 INCH - inch line available from 8TH (Street)  
Sanitary Sewer: 8 INCH - inch line available from 8TH (Street)  
Storm Sewer: 10 INCH - inch line available from 8TH (Street)

Check if available: ☒ Telephone ☒ Cable TV ☒ Electrical ☒ Other (Such as fiber optics)

Please provide a plan drawn to common scale showing the location of existing and proposed buildings, existing and proposed utility services, location and size of water and sewer lines, drainage routes, manholes, meters, fire hydrants, fire flows, and 2' contours.

☒ Lighting Plan:

Show location of each light fixture, diagram illustrating foot-candle distribution, and elevation drawing of each light fixture in conformance to FCC 10-37.

☐ Access Permits:

For properties along State or County roads (see FCC 10-35-2-4), a state or county access permit or application is required. For properties on Highway 101 located between Highway 126 and the Siuslaw River Bridge, please also refer to the *Highway 101 Access Management Plan*.

■ Proposed:

Are new streets planned or needed? (Please refer to the Transportation System Plan)

☐ Yes    ☒ No    If yes, please describe: \_\_\_\_\_

Are utility upgrades or extensions planned or needed?

☒ Yes    ☐ No    If yes, please describe: A new 8 inch water line is being installed on 8th street to replace the existing 4 inch line

If you answered yes to either question above, how will these improvements be funded?

See C3.0 Civil Utilities Plan and supplemental water line improvement information herein. The portion of the new water line from the connection at Maple Street over to the new fire hydrant at the intersection of 8th & Highway 101 will be privately funded by Options Counseling. The portion of the new new water line extending east from and including the new fire hydrant at 8th & Highway 101 to be constructed and funded by City of Florence Public Works.

■ Stormwater Plan:

Per FCC 9-5-2-4, a drainage plan is required for projects which add **500 SQUARE FEET OR GREATER** of impervious surface area or clearing vegetation from **10,000 SQUARE FEET OR GREATER** (single family homes are excluded). Please refer to FCC 9-5 and the Florence Stormwater Design Manual for requirements.

☐ Traffic Impact Study:

Per FCC 10-1-1-4-D, larger projects may require a Traffic Impact Study. Please attach a TIA if needed.

■ Design & Architectural Drawings:

Per FCC 10-6-6-C, if applying for a design review, please attach or describe colors and materials being used as well as elevations of the proposed building.

See Elevation Drawings B3 1 & B3 2 as well as supplemental Exterior Siding Colors attached

■ Landscaping Plan:

Per FCC 10-34-3-2, the location, size and species of newly proposed plant materials, location(s) of area where existing vegetation will be cleared and/or preserved, irrigation and anticipated planting schedule, and location of existing and proposed fences and walls including buffering and screening materials.

☐ Erosion Control:

Projects of over 1 acre of land disturbance over a period of time (please see FCC 10-36-4) are required to obtain a National Pollution Discharge Elimination System permit from the Department of Environmental Quality prior to the issuance of a development permit or land use permit based on appropriate criteria.

☐ Site Investigation Report:

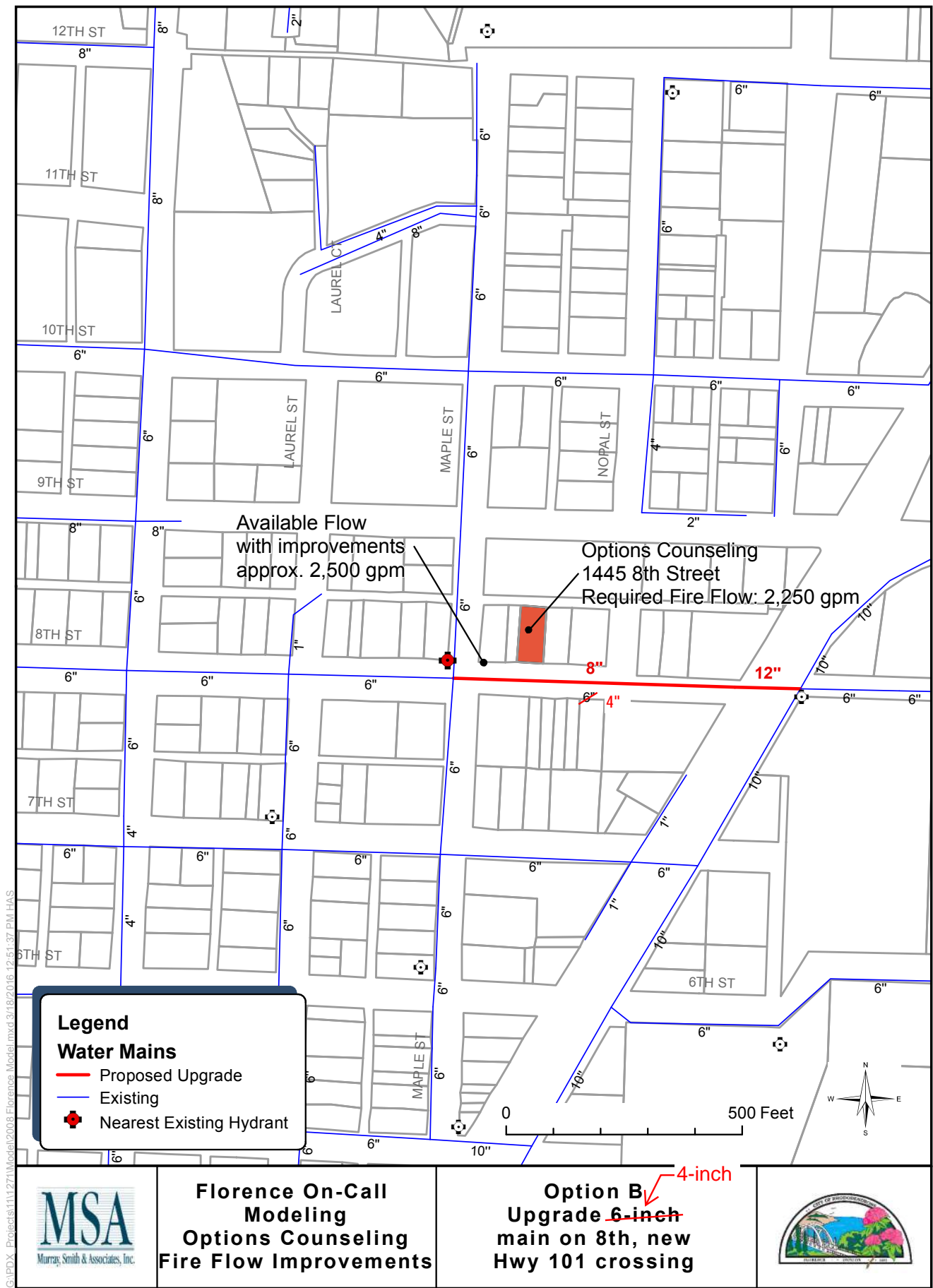
Refer to FCC 10-7-3 for the list of hazard areas within the City Limits which will require a SIR.

☐ Old Town District:

Survey: Properties within the Old Town District require a recent survey per FCC 10-17 for all new development, redevelopment, and additions which show property lines, easements, 2' contours, existing structures, floodplain, and highest observed tide.

Visual Aids: New construction or story additions require visual aids. Please refer to FCC 10-17.

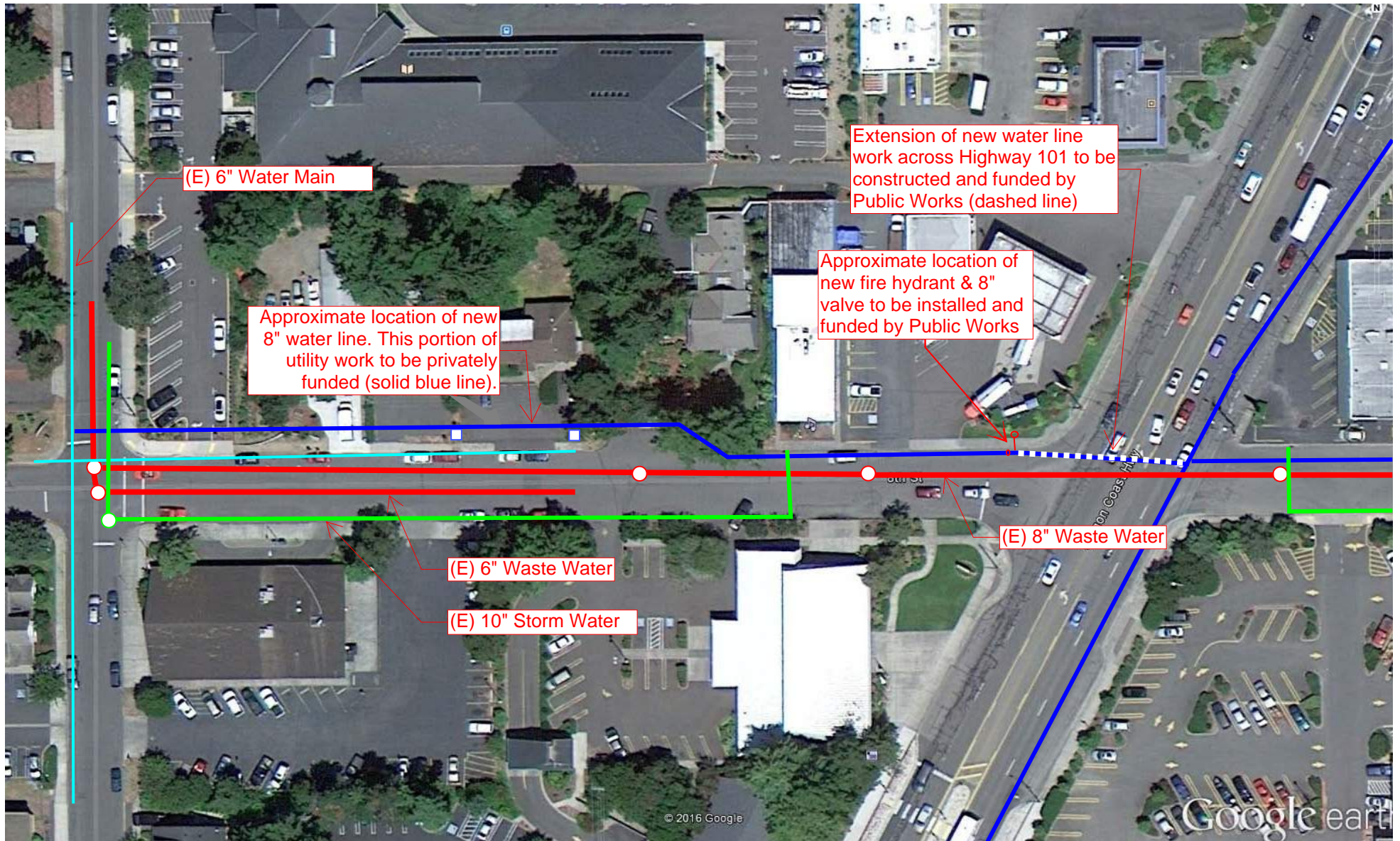




OPTIONS COUNSELING & FAMILY SERVICES - FLORENCE EXPANSION 2016  
CITY OF FLORENCE DESIGN REVIEW APPLICATION FOR PHASE 1 OF 2

**FIRE FLOW WITH PROPOSED WATER LINE IMPROVEMENTS RECEIVED FROM PUBLIC WORKS**

**Exhibit I**



OPTIONS COUNSELING & FAMILY SERVICES - FLORENCE EXPANSION 2016  
CITY OF FLORENCE DESIGN REVIEW APPLICATION FOR PHASE 1 OF 2

**PRELIMINARY WATER LINE LOCATION AS PROPOSED BY PUBLIC WORKS. EXACT ALIGNMENT OF WATER LINE IS PENDING FURTHER REVIEW AND COORDINATION WITH PUBLIC WORKS.**