

**CITY OF FLORENCE  
PLANNING COMMISSION**

**RESOLUTION PC 15 03 CUP 02**

**A REQUEST FOR A CONDITIONAL USE PERMIT TO PLACE AN 84FT. BY 64 FT. MODULAR BUILDING WITH FIVE CLASSROOMS TO SERVE AS THE KINDERGARTEN FACILITY FOR THE SCHOOL DISTRICT IN THE MULTI-FAMILY RESIDENTIAL DISTRICT.**

**WHEREAS**, application was made by the Siuslaw 97J School District for a Conditional Use Permit as required by FCC 10-1-1-4, and FCC 10-4-3; and

**WHEREAS**, the Planning Commission/Design Review Board met in a public hearing on March 24, 2015 as outlined in Florence City Code 10-1-1-4-D, to consider the application, evidence in the record, and testimony received, and

**WHEREAS**, the Planning Commission/Design Review Board determined per FCC 10-4-10, after review of the application, testimony and evidence in the record, that the application meets the criteria through compliance with certain Conditions of Approval; and

**WHEREAS**, the Planning Commission/Design Review Board of the City of Florence finds, based on the Findings of Fact, staff recommendation and evidence and testimony presented to them, that the application meets the applicable criteria.

**NOW THEREFORE BE IT RESOLVED** that the Planning Commission/Design Review Board of the City of Florence finds, based on the Findings of Fact and the evidence in record that:

The request for a Conditional Use Permit to place an 84ft. by 64 ft. modular building with five classrooms meet or meet with conditions the applicable criteria in Florence City Code and the Florence Realization 2020 Comprehensive Plan. The Planning Commission approves the conditional use permit with the conditions listed below:

**Conditions of Approval:**

1. Approval for shall be shown on:

"A" Findings of Fact
"B" Site Plans (1. demolition, 2. grading & 3. utility)
"C" Storm Drain Plan
"D" Fire Hydrant Plan
"E" Fence Detail

"F" Elevations
"G" Color Scheme (color palette & EC Cares example)
"H" Landscape Plan
"I" Land Use Application & Feb. 12th Email

Findings of Fact attached as Exhibit "A" are incorporated by reference and adopted in support of this decision. It is hereby expressed that this approval accepts a less than 20' front yard setback along Redwood St. as pre-existing. Any modifications to the approved plans or changes of use, except those changes relating to Building Codes, will require approval by the Community Development Director or Planning Commission/Design Review Board.

2. Regardless of the content of material presented for this Planning Commission, including application text and exhibits, staff reports, testimony and/or discussions, the Owner agrees to comply with all regulations and requirements of the Florence City Code which are current on this date, EXCEPT where variance or deviation from such regulations and requirements has been specifically approved by formal Planning Commission action as documented by the records of this decision and/or the associated Conditions of Approval. The property owner shall submit to the Community Development Department a signed "Agreement of Acceptance" of all conditions of approval within 30 days after the signing of the resolution.
3. Accessible parking spaces in the northern parking lot shall meet FCC 10-3-5 and shall be upgraded as necessary with signs and pavement markings identifying them as reserved for persons with disabilities. Signs shall be posted directly in front of the parking space at a height of no less than 42 inches and no more than 72 inches above pavement level. Van spaces shall be specifically identified as such providing an access aisle of 96" in width.
4. The applicant shall provide bicycle parking for visitors and students that meets the standards of FCC 10-3-10.
5. No drop-off is proposed in the kindergarten modular. If one is to be provided in the future a loading plan shall be reviewed and approved by the City prior to the provision of a loading area that illustrates compliance with the loading zone and access code criteria.
6. Any lighting installed on-site shall meet the requirements of FCC 10-37 and the type, brightness, height, and number of lamps and luminaires shall be required at the time of building permit application. All lighting on the primary and elementary school site shall meet the requirements of FCC 10-37 prior to December 31, 2024.

**ADOPTED BY THE FLORENCE PLANNING COMMISSION/DESIGN REVIEW BOARD** the 24<sup>th</sup> day of March, 2015.

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CURT MUILENBURG, Chairperson  
**Florence Planning Commission**

\_\_\_\_\_  
DATE

# **STAFF REPORT & FINDINGS**

## **FLORENCE COMMUNITY DEVELOPMENT DEPARTMENT**

### **Planning Commission**

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**Hearing Date:** March 24, 2015  
**Date of Report:** March 17, 2015  
**Application:** PC 15 03 CUP 02

**Planner:** Wendy Farley Campbell

#### **I. PROPOSAL DESCRIPTION**

**Proposal:** A request for a conditional use permit to place an 84ft. by 64 ft. modular building with five classrooms to serve as the Kindergarten facility for the school district in the Multi-Family Residential District.

**Applicant/Property Owners:** School District 97J

**Location:** Map 18-12-22 Tax Lot 1001

**Comprehensive Plan Map Designation:** High Density

**Zone Map Classification:** Multi-Family Residential District

#### **Surrounding Land Use/Zoning:**

**Site:** Primary school parking lot/ Multi-Family Residential District (MF)  
**North:** Middle School, EC Cares, & Headstart / MF  
**South:** Primary school & district offices / MF  
**East:** Single family & multi-family residences / MF  
**West:** Play field / MF

#### **Streets/ Classification:**

Oak Street – Collector Street

#### **II. NARRATIVE**

The site is located at 2221 Oak Street, between eastbound 23<sup>rd</sup> St. and what would be 24<sup>th</sup> St. in the Multi-Family Residential District. The Elementary school campus includes multiple buildings for maintenance, school and district office uses. The site proposed for the modular building is presently used for parking for the existing Elementary/Primary School. The property receives vehicular and pedestrian access from Oak St. where it also receives water, sewer, and electricity service.

### III. PUBLIC NOTICE AND REFERRALS

**Notice:** Notice was mailed to surrounding property owners within 300 feet of the property and a sign was posted on the property March 3, 2015. Notice was published in the Siuslaw News on March 18, 2015. As of this writing, the City has not received any written comments.

**Referrals:** Referrals were sent to Central Lincoln PUD, Florence Building Department, Florence Police Department, Florence Public Works, and Siuslaw Valley Fire and Rescue. As of this writing, the City has received referral comments from Sean Barrett, SVFR Fire Marshal and Robin Hicks of CLPUD. Neither had concerns with the project in question and have been working with the applicant.

### V. APPLICABLE REVIEW CRITERIA

#### **Florence City Code (FCC) Title 10**

- Chapter 1: Zoning Administration, Section 5
- Chapter 3: Sections 2 through 5, 8 through 10
- Chapter 4: Conditional Uses, Sections 5, 8, 10 through 12
- Chapter 6: Design Review, Section 5, 6 & 9
- Chapter 13: Sections 3 through 5
- Chapter 34: Sections 3 through 5
- Chapter 35: Sections 2-9, 2-12-D, 2-14 & 3-1 through 3-3
- Chapter 36: Public Facilities, Section 3
- Chapter 37: Sections 2 through 4, & 7

### VI. FINDINGS AND CONCLUSION

The criteria are listed in bold followed by the findings of fact.

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#### **10-13: MULTI-FAMILY RESIDENTIAL DISTRICT**

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**10-13-3: BUILDINGS AND USES PERMITTED CONDITIONALLY:** The Planning Commission, subject to the procedures and conditions set forth in Chapter 4 of this Title, may grant a conditional use permit for the following buildings and uses:

**Public or parochial schools.**

**Finding:** The proposed kindergarten classroom building is allowed with a conditional use permit. The criteria for a conditional use are addressed in the following section. This criterion is met.

#### **10-13-4: LOT AND YARD REQUIREMENTS:**

**A. Minimum Lot Dimensions:** To be designated a building site; an existing lot must be at least fifty feet wide and at least eighty feet in depth (50' x 80'). For new subdivisions and newly platted lots, the minimum width shall be sixty five feet and the depth shall be eighty feet (65' x 80').

**B. Minimum Lot Area:** To be designated a building site, an existing lot must be comprised of at least six thousand (6,000) square feet. For new subdivisions and newly platted lots, the minimum square feet shall be six thousand five hundred (6,500).

**Finding:** There are no changes to the dimensions or area of the existing Elementary School lot. Both criteria are exceeded and thus met.

#### **C. Lot Coverage:**

- 2. For multiple-family dwellings and other uses, the maximum coverage by all enclosed buildings shall not exceed fifty percent (50%) of the lot area. The maximum coverage by all storage structures, driveways, parking spaces and surfaced area shall not exceed seventy five percent (75%) of the lot area.**

**Finding:** The site consists of the school building, maintenance building, EC Cares/Headstart building and the district offices. The existing buildings consist of approximately 116,500 sq. ft. and the proposed building is 3,500 sq. ft. totaling 120,000 sq. ft. or approximately 17% of the lot, meeting the maximum 50% building coverage. The site has multiple paved pedestrian walkways and parking pads totaling approximately 112,280 sq. ft. The total impervious lot coverage is approximately 332,280 sq. ft. or 27%, well within the maximum 75% maximum lot coverage.

#### **D. Yard Regulations:**

- 2. For multiple-family dwellings and other uses, the front, side and rear setback shall be five feet (5'). When a multiple use adjoins a single-family use, the multiple use shall be set back from all lot lines one additional foot for each foot of height over twenty eight feet (28'), except that the required setback shall not exceed twenty feet (20') from any lot line.**

**Finding:** The front lot line is defined as the narrowest frontage upon a street. The project impacts only the north, east and west setbacks. The front lot line is along length along Oak Street. The approximate setbacks are over 1000' west rear, 970' north side, and 283' east front. The proposal meets the criteria.

#### **10-13-5: SITE AND DEVELOPMENT PROVISIONS:**

**A. Building or Structural Height Limitations:**

**3. Nonresidential Buildings:** The maximum building or structural height shall not exceed twenty eight feet (28').

**Finding:** The proposed building is 22' 9" ft. in height. This criterion is met.

**B. Separation Between Buildings:** The minimum separation between multiple-family buildings shall be thirty feet (30') unless the buildings are arranged end to end. In such a case, there shall be at least a ten foot (10') separation and no doorway or entry may open into the space between the buildings.

**Finding:** Not applicable.

**C. Fences: Refer to 10-34 of this Title for requirements.**

**Finding:** The applicant proposes a north south running fence between the building and the new western edge of the easterly parking lot. It will be 6' high chain link. The 10-34 criteria are met.

**D. Vision Clearance: Refer to Section 10-1-4 and 10-35-2-13 of this Title for definitions, and requirements.**

**Finding:** The proposal does not include visual obstructions within the vision clearance areas of the driveways along Oak Street. This criterion is met.

**E. Off-Street Parking: Refer to Chapter 3 of this Title.**

**10-3-2: GENERAL PROVISIONS:**

**B. At the time of new construction or enlargement or change in use of an existing structure within any district in the City, off-street parking spaces shall be provided as outlined in this Chapter, unless requirements are otherwise established by special review or City Council action. Additional parking spaces shall meet current code.**

**Finding:** The applicant proposes to expand the existing use. Therefore, parking is in accordance with the applicable sections of Title 10 Chapter 3. These are reviewed below.

**10-3-3: MINIMUM STANDARDS BY USE:** The number of required off-street vehicle parking spaces shall be determined in accordance with the standards in Table 10-3-1.

- A. Parking that counts toward the minimum requirement is parking in garages, carports, parking lots, bays along driveways, and shared parking. Parking in driveways does not count toward required minimum parking.**

**Finding:** The applicant has provided a parking plan showing the layout of all parking spaces adjacent to the proposed building. The parking count provided is all within parking lots and no shared parking or parking spaces along driveways are provided. The applicant meets this criterion.

#### **10-3-4: MINIMUM REQUIRED PARKING BY USE:**

**Elementary, middle school and other children's day schools: 1 space per classroom, or as determined by the Design Review Board and,**

**Educational Services, not a school 1 space per 500 sq. ft. floor area**

**Finding:** The site has 64 spaces in the northern parking lot and 36 spaces along the Oak St. parking lots in front of the school buildings. There are also 39 spaces adjacent to the district office building, making 139 spaces available. The district office building is approximately 3500 sq. ft. and requires 7 spaces. The remaining 132 spaces more than adequately serve the 1 space per classroom requirement. The project will require removal of 10 spaces leaving 122 parking spaces. This amount is more than adequate and thus the criterion is met.

#### **10-3-5: VEHICLE PARKING - MINIMUM ACCESSIBLE PARKING:**

**A. Accessible parking shall be provided for all uses in accordance the standards in Table 10-3-2; parking spaces used to meet the standards in Table 10-3-2 shall be counted toward meeting offstreet parking requirements in Table 10-3-1;**

**B. Such parking shall be located in close proximity to building entrances and shall be designed to permit occupants of vehicles to reach the entrance on an unobstructed path or walkway;**

**C. Accessible spaces shall be grouped in pairs where possible;**

**E. Required accessible parking spaces shall be identified with signs and pavement markings identifying them as reserved for persons with disabilities; signs shall be posted directly in front of the parking space at a height of no less than 42 inches and no more than 72 inches above pavement level. Van spaces shall be specifically identified as such.**

**Finding:** From aerial mapping it appears that nine accessible parking spaces are provided. Five spaces are required for the 132 spaces remaining after the modular placement. Two are provided in the northern parking lot adjacent to the new modular building. The quantity criteria are met. Accessible parking spaces in the northern



parking lot shall meet FCC 10-3-5 and shall be upgraded as necessary with signs and pavement markings identifying them as reserved for persons with disabilities. Signs shall be posted directly in front of the parking space at a height of no less than 42 inches and no more than 72 inches above pavement level. Van spaces shall be specifically identified as such providing an access aisle of 96" in width. **(Condition 3)**

**10-3-8: PARKING AREA IMPROVEMENT STANDARDS:** All public or private parking areas, loading areas and outdoor vehicle sales areas shall be improved according to the following: All required parking areas shall have a durable, dust free surfacing of asphaltic concrete, cement concrete, porous concrete, porous asphalt, permeable pavers such as turf, concrete, brick pavers or other materials approved by the City. Driveways aprons shall be paved for the first fifty feet (50') from the street.

**Finding:** All existing parking spaces and driveways are hard surfaced and meet the criteria. This criterion is met.

**B. All parking areas except those required in conjunction with a single-family or duplex dwelling shall be graded so as not to drain storm water over public sidewalks. All drainage systems shall be connected to storm sewers where available. Parking lot surfacing shall not encroach upon a public right of way except where it abuts a concrete public sidewalk, or has been otherwise approved by the City.**

No changes are proposed for the existing parking space grading design. The existing catch basin located in the center of the proposed building pad is proposed to be relocated east of the proposed chain link fencing and just west of the parking lots. This criterion is met.

**C. Parking spaces shall be located or screened so that headlights do not shine onto adjacent residential uses.**

**Finding:** There are no proposed changes to the parking or loading spaces and no new areas are proposed. The parking along Oak St. is oriented to shine headlights onto the adjacent residential uses. There is insufficient width between the parking and the sidewalk to create a landscape buffer. This situation is pre-existing non-conforming.

**D. Except for parking areas required in conjunction with a single-family or duplex dwelling, all parking areas shall provide:**

**1. A curb of not less than six inches (6") in height near abutting streets and interior lot lines. This curb shall be placed to prevent a motor vehicle from encroaching on adjacent private property, public walkways or sidewalks or the minimum landscaped area required in paragraph D2 of this subsection.**

**2. Except for places of ingress and egress, a five foot (5') landscaped area wherever it abuts street right-of-way. In areas of extensive pedestrian traffic or**

**when design of an existing parking lot makes the requirements of this paragraph unfeasible, the Design Review Board may approve other landscaped areas on the property in lieu of the required five foot (5') landscaped area. See also FCC 10-34-3-6 and -7 for parking lot landscaping standards.**

**Finding:** The applicant proposes to replace curbs within the areas along the northern internal property line. Curbing is also proposed along the eastern project between the modular and the eastern parking. No sidewalk area is subject to encroachment. A 5' landscape buffer is present between parking in the northern lot and Oak St. These criteria are met.

**F. Except for parking in connection with dwellings, parking and loading areas adjacent to a dwelling shall be designed to minimize disturbance by the placement of a sight obscuring fence or evergreen hedge of not less than three feet (3') nor more than six feet (6') in height, except where vision clearance is required. Any fence, or evergreen hedge must be well kept and maintained.**

**Finding:** There is landscaping present along the northern parking lot and Oak St. There are two residential buildings across from this parking lot. This criterion is met.

**G. Lighting: Refer to Section 10-37 of this Title for requirements**

**Finding:** This criterion is addressed under FCC 10-37.

**H. Except for single-family and duplex dwellings, groups of more than two (2) parking spaces shall be so located and served by a driveway that their use will require no backing movements or other maneuvering within a street right of way other than an alley.**

**Finding:** All parking spaces within the Elementary/Primary School campus meet this criterion. No parking spaces require backing movements within a street right-of-way.

**I. Unless otherwise provided, required parking and loading spaces shall not be located in a required front or side yard.**

**Finding:** There are no proposed changes to the parking or loading spaces and no new areas are proposed. The parking along Oak St. is located within the setback along the frontage. This situation is pre-existing non-conforming.

**10-3-10: BICYCLE PARKING REQUIREMENTS: All new development that is subject to Site Design Review, shall provide bicycle parking, in conformance with the standards and subsections A-H, below.**

**A. Minimum Size Space: Bicycle parking shall be on a two (2) feet by six (6) feet minimum.**

**B. Minimum Required Bicycle Parking Spaces.** Short term bicycle parking spaces shall be provided for all non-residential uses at a ratio of one bicycle space for every ten vehicle parking spaces. In calculating the number of required spaces, fractions shall be rounded up to the nearest whole number, with a minimum of two spaces.

**D. Location and Design.** Bicycle parking should be no farther from the main building entrance than the distance to the closest vehicle space other than handicap parking, or fifty (50) feet, whichever is less and shall be easily accessible to bicyclists entering the property from the public street or multi-use path.

**E. Visibility and Security.** Bicycle parking for customers and visitors of a use shall be visible from street sidewalks or building entrances, so that it provides sufficient security from theft and damage;

**F. Lighting.** For security, bicycle parking shall be at least as well lit as vehicle parking. Refer to Section 10-37 of this Title for requirements.

**G. Reserved Areas.** Areas set aside for bicycle parking shall be clearly marked and reserved for bicycle parking only.

**H. Hazards.** Bicycle parking shall not impede or create a hazard to pedestrians. Parking areas shall be located so as to not conflict with vision clearance standards. If bicycle parking cannot be provided safely, the Design Review Board or Community Development Director may waive or modify the bicycle parking requirements.

The applicant did not indicate whether bicycle parking is available. The applicant shall provide bicycle parking for visitors and students that meets the standards of FCC 10-3-10. **(Condition 4)**

#### **10-3-11: LOADING AREAS:**

**A. Purpose.** The purpose of this section of the Code is to provide standards (1) for a minimum number of off-street loading spaces that will ensure adequate loading areas for large uses and developments, and (2) to ensure that the appearance of loading areas is consistent with that of parking areas.

**B. Applicability.** This section applies to residential projects with fifty (50) or more dwelling units, and non-residential and mixed-use buildings with 20,000 square feet or more total floor area.

The buildings on the campus consist of approximately 120,000 square feet, qualifying as a non-residential building with 20,000 square feet or more total floor area. Loading areas are currently located along the east side of the classroom buildings. Commercial

deliveries take place at this same location. The proposed modular building will be accessed from inside the campus building. No drop-off is proposed in the kindergarten modular. If one is to be provided in the future a loading plan shall be reviewed and approved by the City prior to the provision of a loading area that illustrates compliance with the loading zone and access code criteria. **(Condition 5)**

**C. Location.**

**1. All necessary loading spaces for commercial and industrial buildings and uses shall be off the street and shall be provided in addition to the required parking spaces.**

**2. Vehicles in the berth shall not protrude into a public right of way or sidewalk. When possible, loading berths shall be located so that vehicles are not required to back or maneuver in a public street.**

The school, currently and as proposed, provides loading spaces for child drop-off and pick-up and essential safety purposes such as ambulance zones. The loading zones are located so that they are not located on a public street or along the central private driveway and are not protruding into a sidewalk. The criteria of 10-3-11-C are met.

**D. Number of Loading Spaces.**

**2. Non-residential and mixed-use buildings. Buildings where any floor area is in nonresidential uses shall meet the following standards:**

**b. 20,000 to 50,000 square feet of total floor area: One (1) loading space.**

The two school buildings are required by this section of code to provide only one loading space. Two separate loading areas are provided. The applicant meets and exceeds this criterion.

**E. Size of Spaces. Required loading spaces shall be at least thirty-five (35) feet long and ten (10) feet wide, and shall have a height clearance of at least thirteen (13) feet.**

Both loading areas meet this criterion. The delivery area is open-air, meets these dimensional criteria, and is in a location of the building which is not being remodeled or expanded.

**F. Placement, setbacks, and landscaping. Loading areas shall conform to the setback and perimeter landscaping standards of FCC 10-34 Landscaping. Where parking areas are prohibited between a building and the street, loading areas are also prohibited. The decision body may approve a loading area adjacent to or within the street right-of-way through Site Design Review or Conditional Use Permit review, as applicable, where it finds that loading and unloading operations**

**are short in duration (i.e., less than one hour), not obstruct traffic during peak traffic hours, or interfere with emergency response services.**

There are no setbacks or landscaping which will affect the school loading areas. The proposal meets this criterion.

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**10-13: MULTI-FAMILY RESIDENTIAL DISTRICT-Continued**

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**F. Access and circulation: Refer to Section 10-35 of this Title for requirements.**

**10-35-2-12: Driveway Design. All openings onto a public right-of-way and driveways shall conform to the following:....,**

**Finding:** There are no changes proposed to the existing driveway curbcuts that affect vision clearance, width, fire lane access, or vertical clearances. No changes are needed either...this criteria are met.

**10-35-3-2: Site Layout and Design: To ensure safe, direct, and convenient pedestrian circulation, all developments shall provide a continuous pedestrian system. The pedestrian system shall be based on the standards in subsections A - C:**

The applicant proposes paving from each of the six doors on the north, south and east sides. The paving extends around the perimeter except the west side. The applicant proposes to the building to be accessed from pedestrian by way of the southern building. Ultimately a covered walkway will be provided. Due to the nature of the facility and the need to provide child safety many of the requirements do not make sense for the development such as connectivity to parking lots and the main building entry. Safe and direct pedestrian access is available from all exits of the proposed buiding and to the building on the south. These criteria are met.

**G. Public Facilities: Refer to Section 10-36 of this Title for requirements.**

**Finding:** The proposal includes pulling utilities from the northern middle school lot, specifically the head start service line. Public Works and Siuslaw Valley Fire and Rescue and School District worked together to ensure the utilities meet the applicable criteria.

**H. Signs: Signs shall be in accordance with Title 4 Chapter 7 of this Code.**

**Finding:** No signs are proposed.

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## 10-4: CONDITIONAL USES

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**10-4-9: GENERAL CRITERIA:** A conditional use permit may be granted only if the proposal conforms to all the following general criteria:

**A. Conformity with the Florence Comprehensive Plan.**

**Finding:** There are no policies related to the school district properties or to schools in general. The proposal is consistent with the Comprehensive Plan.

**B. Compliance with special conditions established by the Planning Commission to carry out the purpose of this Chapter.**

The description and purpose of Chapter 4 Conditional Uses, states: *Certain types of uses require special consideration prior to their being permitted in a particular district. The reasons for requiring such special considerations involve, among other things:*

**A. *The size of the area required for development of such uses;***

**Finding:** The proposal would utilize an unused paved pad on the northern side of the elementary school campus. The building is situated so that all utilities, access, and other amenities fit within the project area and don't need special accommodation. This criterion is met.

**B. *The effect such uses have on the public utility systems;***

**Finding:** The proposal includes the addition of two children's restrooms and six classroom sinks. The use does not negatively impact the public utility system. Therefore, the existing public utility system is adequate to serve the proposed development. This criterion is met.

**C. *The nature of traffic problems incidental to operation of the use;***

**Finding:** The proposed building will utilize existing vehicular access points and drop-off lanes. The addition of a drop off lane is conditioned to require plans approved by the city prior to installation. The existing population is presently served by the existing facilities. The proposal does not intensify the demands upon the existing street utilities. Therefore, the proposal will not impact traffic in this area. This criterion is met.

**D. *The effect such uses have on any adjoining land uses; and***

**Finding:** Adjoining land uses are not expected to be negatively impacted by the proposed addition of classroom space. This criterion is met.

***E. The effect such uses have on the growth and development of the community as a whole.***

**Finding:** The proposal adds 5 classrooms on the existing campus. Provision of expanded upgraded classroom space is a positive impact on the community's growth and development. This criterion is met.

**C. Findings that adequate land is available for uses which are permitted outright in the district where the conditional use is proposed. Available land can be either vacant land or land which could be converted from another use within the applicable zoning district. Land needs for permitted uses may be determined through projections contained in the Florence Comprehensive Plan or other special studies.**

**Finding:** The subject property is in the Multi-Family Residential zoning district, which provides for public and parochial schools as a conditional use. The proposal uses land already set aside for education use. The school district properties were not included in the buildable lands analysis for the multi-family inventory. From the perspective of the comprehensive plan and the land use analysis no conversion of lands is proposed.

**D. Conditional uses are subject to design review under the provisions of Chapter 6 of this Title, except single family and duplex residential use. See Code Section 10-6-3 for Design Review requirements.**

**Finding:** The design review criteria are reviewed later in the report.

**E. Adequacy of public facilities, public services and utilities to service the proposed development.**

**Finding:** Public Facilities were reviewed earlier in the report. The proposal does intensify the demands upon the existing water, wastewater, and street utilities, therefore additional System Development Charges are necessary for this project. Water to this property is from an existing water main, and the City water distribution system in this area is adequate for both domestic and fire supply needs. The public facilities, public services and utilities are adequate to service the proposed development. This criterion is met.

**F. Adequacy of vehicle and pedestrian access to the site, including access by fire, police and other vehicles necessary to protect public health and safety.**

**Finding:** Vehicular and pedestrian access was reviewed earlier in the report. Therefore, access for vehicles, fire and police is adequate to protect the public health and safety. This criterion is met.

**10-4-10: GENERAL CONDITIONS:** The Planning Commission may require any of the following conditions it deems necessary to secure the purpose of this Chapter. Where a proposed conditional use is permitted in another district, the Planning Commission may apply the relevant development standards from the other district. In addition, conditions may be required by the Design Review Board. Such conditions may include:

**A. Regulation of uses, special yard setbacks, coverage and height.**

**Finding:** These criteria are addressed within the zoning district section, and these findings are incorporated by reference. In summary, these findings state that the proposed building meets the height, coverage, and side and rear yard setback standards of the Multi-Family Residential District. These criteria are met.

**B. Requiring fences, walls, screens and landscaping plus their maintenance.**

**Finding:** Fences, screens and buffers are reviewed earlier in the report. There are no landscaping requirements to be met for this development. This criterion is met.

**C. Regulation and control of points of vehicular ingress and egress.**

**Finding:** Points of vehicular access is addressed within the zoning district regulations. These findings are incorporated by reference. This criterion is met.

**D. Regulation of noise, vibration, odors, and sightliness.**

**Finding:** Uses which create noise, vibration, odors, and sightliness are not proposed. This criterion is met.

**E. Requiring surfacing of parking areas.**

**Finding:** Parking is addressed within the zoning district regulations. These findings are incorporated by reference.

**F. Requiring rehabilitation plans.**

**Finding:** There are currently no code enforcement issues for the site; therefore, the criterion does not apply.

**G. Regulation of hours of operation and duration of use or operation.**

**Finding:** This criterion does not apply

**H. Requiring a time period within which the proposed use shall be developed.**



**Finding:** FCC 10-4-7 permits a CUP to be valid for one year after the date of approval, unless a building permit has been issued for the required and substantial construction pursuant thereto has taken place. The applicant may apply to the Planning Commission for a one-time extension of one (1) year maximum duration based on compliance with the criteria outlined under FCC 10-4-7.

**I. Requiring bonds to insure performance of special conditions.**

**Finding:** No public infrastructure is required; therefore, no bonds are required to insure performance of special conditions. This criterion is met.

**J. Regulation of tree and vegetation removal to maintain soil stability, preserve natural habitat, protect riparian vegetation, buffer conflicting uses, and maintain scenic qualities.**

**Finding:** There are no activities that require screening and there is no habitat or riparian areas. This criterion is met.

**K. Such other conditions as will make possible the development of the City in an orderly and efficient manner and in conformity with the intent and purpose of the Florence Comprehensive Plan.**

**Finding:** No additional special conditions are needed to meet the intent and purpose of the Florence Comprehensive Plan. This criterion is met.

**10-4-12: ADDITIONAL CONDITIONS:** Some land uses by the nature of the activity associated with them require separate and intense consideration by the Planning Commission prior to their establishment. Such uses and additional conditions are as follows:

**C. Public or Parochial Schools:** Any building used for school purposes shall provide and maintain a minimum setback of fifty feet (50') from rear and side property lines, except on the street side of a corner lot. Alleys contiguous to or within the property being used for school purposes may be included as part of the required setback.

The rear and side lot lines would be to the west and north respectively. The modular building is proposed to be placed over 1000' from the western property line and over 970 ft. from the northern side property line. This criterion is met.

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**TITLE 10: CHAPTER 37: LIGHTING**

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**10-37-2: APPLICABILITY:** Section 10-37 applies to installation of all lighting fixtures as of the effective date of this Ordinance, except as exempted by provision of this Ordinance. Devices include but are not limited to, lights for:

buildings and structures, recreational areas, parking lot and maneuvering areas, landscape areas, streets and street signs, product display areas, building overhangs and open canopies, holiday celebrations, and construction lights.

**B. Major Additions or Alterations** - If a major addition occurs on a property, lighting for the entire property shall comply with the requirements of this Code. For purposes of this section, the following are considered to be major additions:

- 1. Additions of 26 percent or more in terms of additional dwelling units, gross floor area, seating capacity, or parking spaces, either with a single addition or with cumulative additions after the effective date of this Ordinance.**
- 2. Single or cumulative additions, modification or replacement of 25 percent or more of installed exterior lighting luminaires existing as of the effective date of this Ordinance.**
- 3. Existing lighting on sites requiring a conditional use permit or variance after the effective date of this ordinance.**

**C. Amortization** - On or before 10 years from the effective date of this code, all outdoor lighting shall comply with this Code. Most outdoor lighting will be fully depreciated at the end of 10 years if not sooner. “Easy fixes” such as re-aiming or lowering lumen output of lamps is recommended in advance of the effective date of the ordinance. Where lighting is judged to be a safety hazard immediate compliance is required.

The proposed addition will add 4% to the primary/elementary school campus buildings. The applicant does not meet the criteria for the consideration of the entire campus for lighting review. The applicant should consider bringing lighting fixtures up to current code standards, if they do not already meet the requirements of FCC 10-37 prior to the expiration of the 10-year amortization period in 2024.

Any lighting installed on-site shall meet the requirements of FCC 10-37 and all lighting on the site shall meet the requirements of FCC 10-37 prior to December 31, 2024.  
**(Condition 6)**

**10-37-3: LIGHTING PLANS REQUIRED:** All applications for building permits and land use planning review which include installation of exterior lighting fixtures, not exempted, shall include the number of luminaires, the number of lamps in each luminaire, a photometric report for each type of luminaire and a site plan with the photometric plan of the lumen output.

The City shall have the authority to request additional information in order to achieve the purposes of this Ordinance.

The applicant did not submit a lighting plan with this application. The type, brightness, height, and number of lamps and luminaires shall be required at the time of building permit application. **(Condition 6)**

#### **10-37-4: LIGHTING STANDARDS:**

**A. All exterior lighting fixtures subject to this code section must be designed as a full cut-off fixture or have a shielding method to direct light emissions downward below the horizontal plane onto the site and does not shine illumination or glare skyward or onto adjacent or nearby property.**

**B. Parking areas shall have lighting to provide at least two (2) foot-candles of illumination at any point in the entire lot with a maximum of five (5) footcandles over parking spaces and walkways. The Design Review Board may decrease the minimum if the applicant can provide documentation that the overall parking lot has adequate lighting. The Design Review Board may increase the maximum on a case-by-case basis, with no greater than 7 foot-candles measured directly under the light fixture.**

**C. Lighting in or adjacent to residential zones or residential uses shall not exceed twenty feet in height as measured from the adjacent grade to the top of the light fixture. Heights in other zoning districts shall not exceed 25 feet unless the Design Review Board adopts findings that the higher light fixtures are necessary to achieve proper illumination levels.**

**D. Main exterior lights for commercial, institutional, and industrial buildings, landscaping and parking lots shall be extinguished at end of business hours with a minimum lighting remaining for personal and building security and safety after hours.**

**E. A thirty-day review period beginning with the first day in business using the new lighting system shall be required to evaluate and adjust illumination levels of lighting. The City may ask for lighting to be adjusted in this time period based on public comments or staff inspections.**

**F. All externally lit commercial signs should shine from the top and point down toward the ground. Signs with uplighting must be shielded so that illumination is restricted to the sign face and glare is eliminated.**

Any installed exterior lighting shall meet the requirements of FCC 10-37-4.

#### **10-37-5: EXEMPTIONS:**

**A. Exterior light fixtures, except Mercury Vapor lights, lawfully installed prior to and operable on the effective date of the requirements codified in this Ordinance except as follows:**

**1. All replacement of outdoor lighting fixtures, as of the date of adoption, shall be subject to the provision of this ordinance.**

**2. Until a date ten years after the date of the adoption of this ordinance.**

The replacement/relocation of the outdoor lighting fixtures are required to meet the stipulations of FCC 10-37. All other outdoor lighting fixtures on the Siuslaw 97J Primary and Elementary School campus shall either meet the requirements of FCC 10-37 as the fixtures are replaced or by December 31, 2024.

## **VII. OPTIONS FOR THE PLANNING COMMISSION**

1. Approve the request for a conditional use permit with the conditions of approval, based on the proposed findings of fact in this staff report.
2. Modify the proposed findings of fact, Conditions of Approval, or both, and approve the request for a conditional use permit as modified.
3. Continue the hearing to a date certain or leave the record open in order to allow more time for additional information to be submitted.
4. Deny the application based on the Planning Commission's findings of fact.

## **VIII. CONCLUSION AND RECOMMENDATION**

The request for a Conditional Use Permit to change the church use to a single family residence can meet or meet with conditions the applicable criteria in Florence City Code and the Florence Realization 2020 Comprehensive Plan. Staff recommends the Planning Commission approve the conditional use permit with the conditions listed below:

## Conditions of Approval:

1. Approval for shall be shown on:

"A" Findings of Fact
"B" Site Plans (1. demolition, 2. grading & 3. utility)
"C" Storm Drain Plan
"D" Fire Hydrant Plan
"E" Fence Detail
"F" Elevations
"G" Color Scheme (color palette & EC Cares example)
"H" Landscape Plan
"I" Land Use Application & Feb. 12th Email

Findings of Fact attached as Exhibit "A" are incorporated by reference and adopted in support of this decision. It is hereby expressed that this approval accepts a less than 20' front yard setback along Redwood St. as pre-existing. Any modifications to the approved plans or changes of use, except those changes relating to Building Codes, will require approval by the Community Development Director or Planning Commission/Design Review Board.

2. Regardless of the content of material presented for this Planning Commission, including application text and exhibits, staff reports, testimony and/or discussions, the Owner agrees to comply with all regulations and requirements of the Florence City Code which are current on this date, EXCEPT where variance or deviation from such regulations and requirements has been specifically approved by formal Planning Commission action as documented by the records of this decision and/or the associated Conditions of Approval. The property owner shall submit to the Community Development Department a signed "Agreement of Acceptance" of all conditions of approval within 30 days after the signing of the resolution.
3. Accessible parking spaces in the northern parking lot shall meet FCC 10-3-5 and shall be upgraded as necessary with signs and pavement markings identifying them as reserved for persons with disabilities. Signs shall be posted directly in front of the parking space at a height of no less than 42 inches and no more than 72 inches above pavement level. Van spaces shall be specifically identified as such providing an access aisle of 96" in width.
4. The applicant shall provide bicycle parking for visitors and students that meets the standards of FCC 10-3-10.
5. No drop-off is proposed in the kindergarten modular. If one is to be provided in the future a loading plan shall be reviewed and approved by the City prior to the provision of a loading area that illustrates compliance with the loading zone and access code criteria.

6. Any lighting installed on-site shall meet the requirements of FCC 10-37 and the type, brightness, height, and number of lamps and luminaires shall be required at the time of building permit application. All lighting on the primary and elementary school site shall meet the requirements of FCC 10-37 prior to December 31, 2024.

## **IX. EXHIBITS**

- A. Findings of Fact
- B. Site Plans (1. demolition, 2. grading & 3. utility)
- C. Storm Drain Plan
- D. Fire Hydrant Plan
- E. Fence Detail
- F. Elevations
- G. Color Scheme (color palette & EC Cares example)
- H. Landscape Plan
- I. Land Use Application & Feb. 12th Email
- J. CLPUD Referral Comments
- K. SVFR Referral Comments

Sheet No.

C1

Date

February 2015

Stuslaw School District 97J

Florence, Lane County, Oregon

Existing Site And Demolition Plan

REV.

DATE

DESCRIPTION

BY

Project No.

3208-002

Designed By:

Drawn By:

Checked By:

MLG

486 E Street

Coos Bay, Oregon 97420

541-266-8601

www.civilwest.com

Civil West

Engineering Services, Inc.

EXPIRATION DATE: 6/30/15

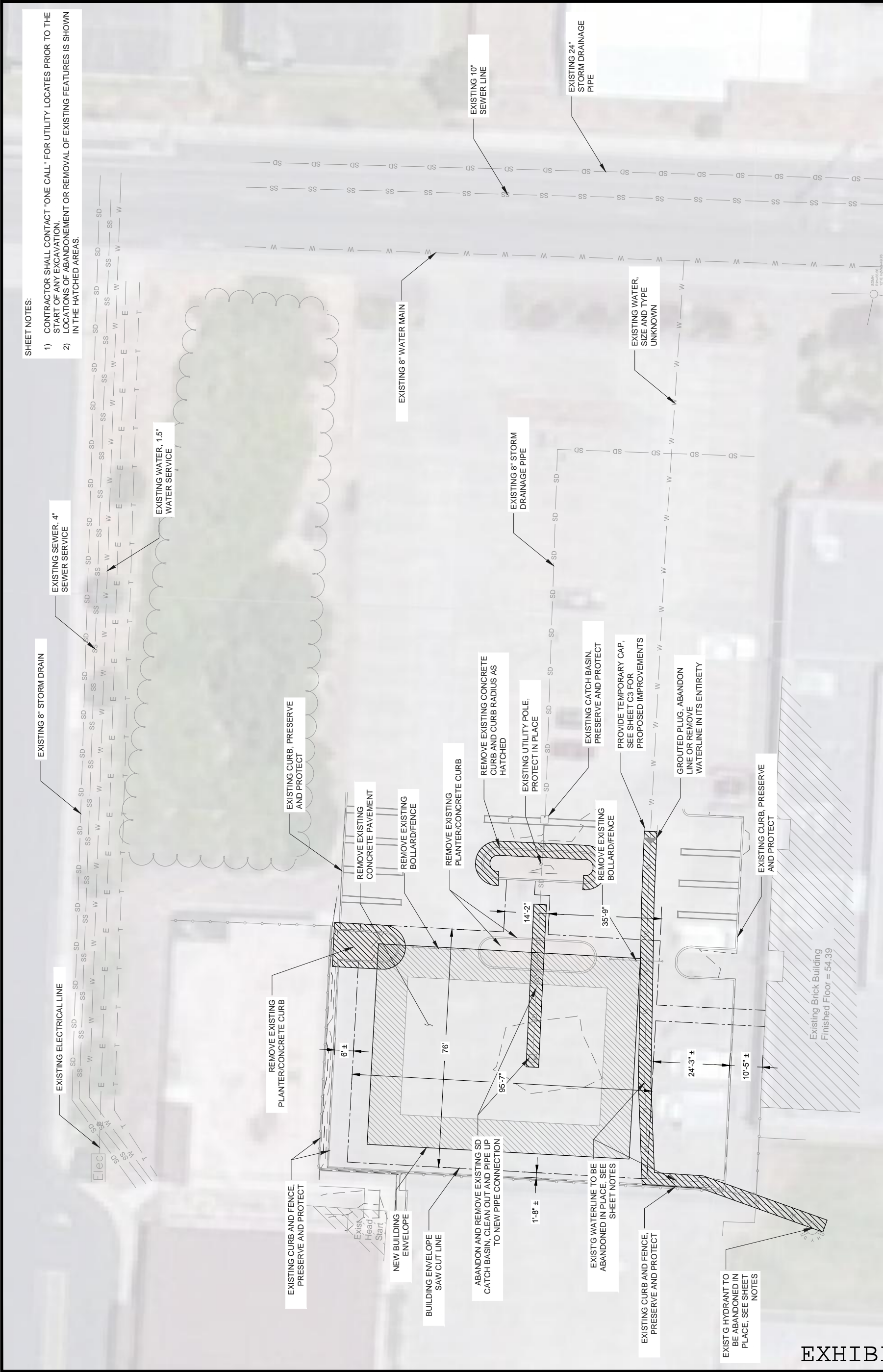
REGISTERED PROFESSIONAL ENGINEER

84469PE

OREGON

JULY 13, 2010

MARLIN L. GOCHMOUR



SHEET NOTES:

1) CONTRACTOR SHALL CONTACT "ONE CALL" FOR UTILITY LOCATES PRIOR TO THE START OF ANY EXCAVATION.

2) LOCATIONS OF ABANDONEMENT OR REMOVAL OF EXISTING FEATURES IS SHOWN IN THE HATCHED AREAS.

EXISTING SITE AND DEMOLITION PLAN

1 C1



EXHIBIT B1

EXHIBIT B1

[illegible]

- 1) CONTRACTOR SHALL CONTACT "ONE CALL" FOR UTILITY LOCATES PRIOR TO THE START OF ANY EXCAVATION.
- 2) A 2% GRADE SHALL BE CONSTRUCTED TO ALLOW FOR PROPER DRAINAGE AWAY FROM BUILDING IN ALL LOCATIONS.
- 3) ALL FINISHED GRADE SPOT ELEVATIONS ARE LOCATED AT TOP OF CONCRETE (TC) AT BUILDING EDGE OR BUILDING CORNER UNLESS LABELED OTHERWISE.
- 4) FINISHED ELEVATIONS SHOWN ARE APPROXIMATE.





Sheet No.

C3

Date

February 2015

Siuslaw School District 97J

Florence, Lane County, Oregon

Modular Building Site Design

Proposed Site And Utility Plan

REV.

DATE

DESCRIPTION

BY

Designed By:

Drawn By:

Checked By:

MLG

Project No:

3208-002

486 E Street

Coos Bay, Oregon 97420

541-266-8601

www.civilwest.com

Civil West

Engineering Services, Inc.

REGISTRATION

REGISTERED PROFESSIONAL ENGINEER

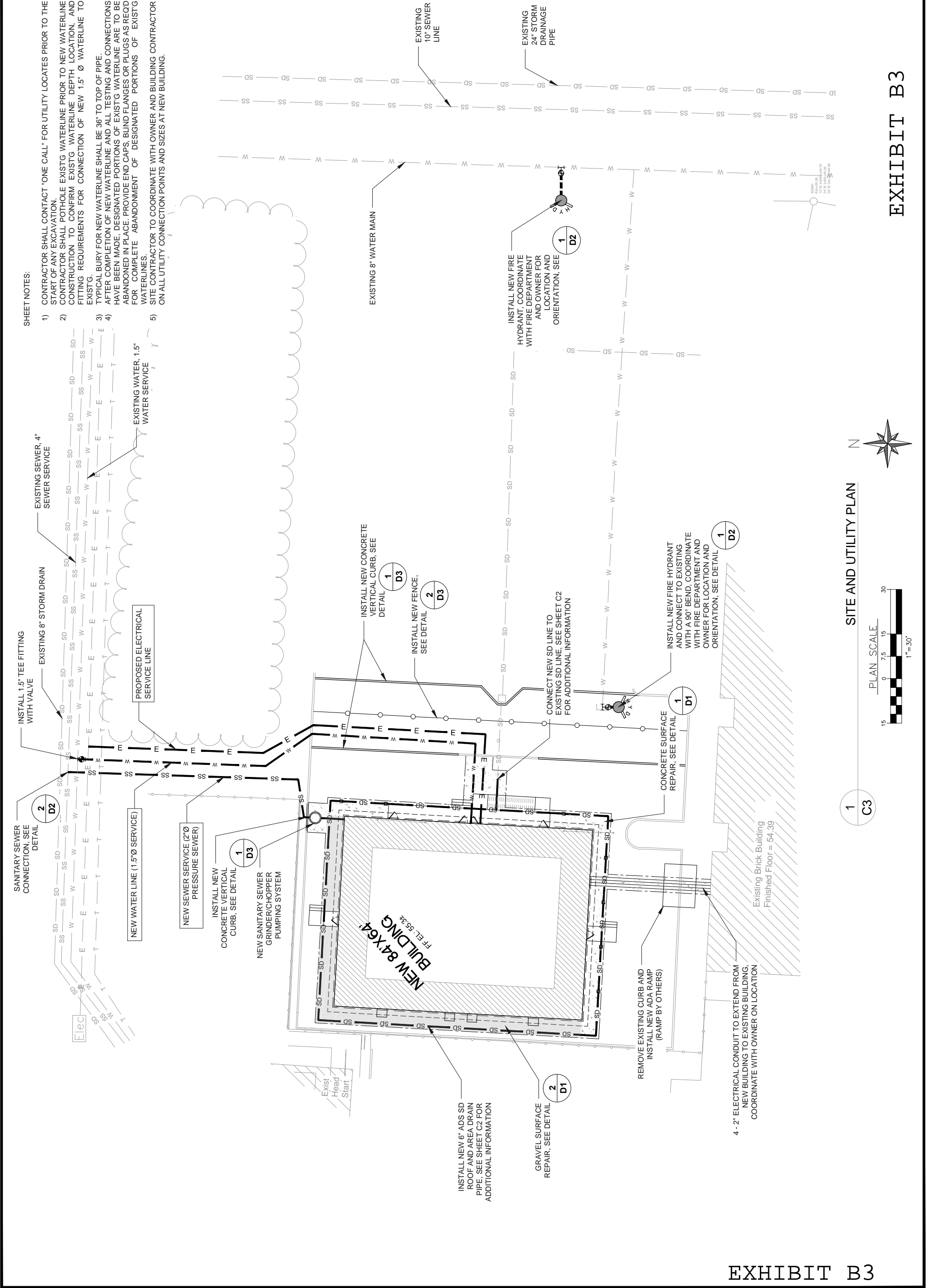
84469PE

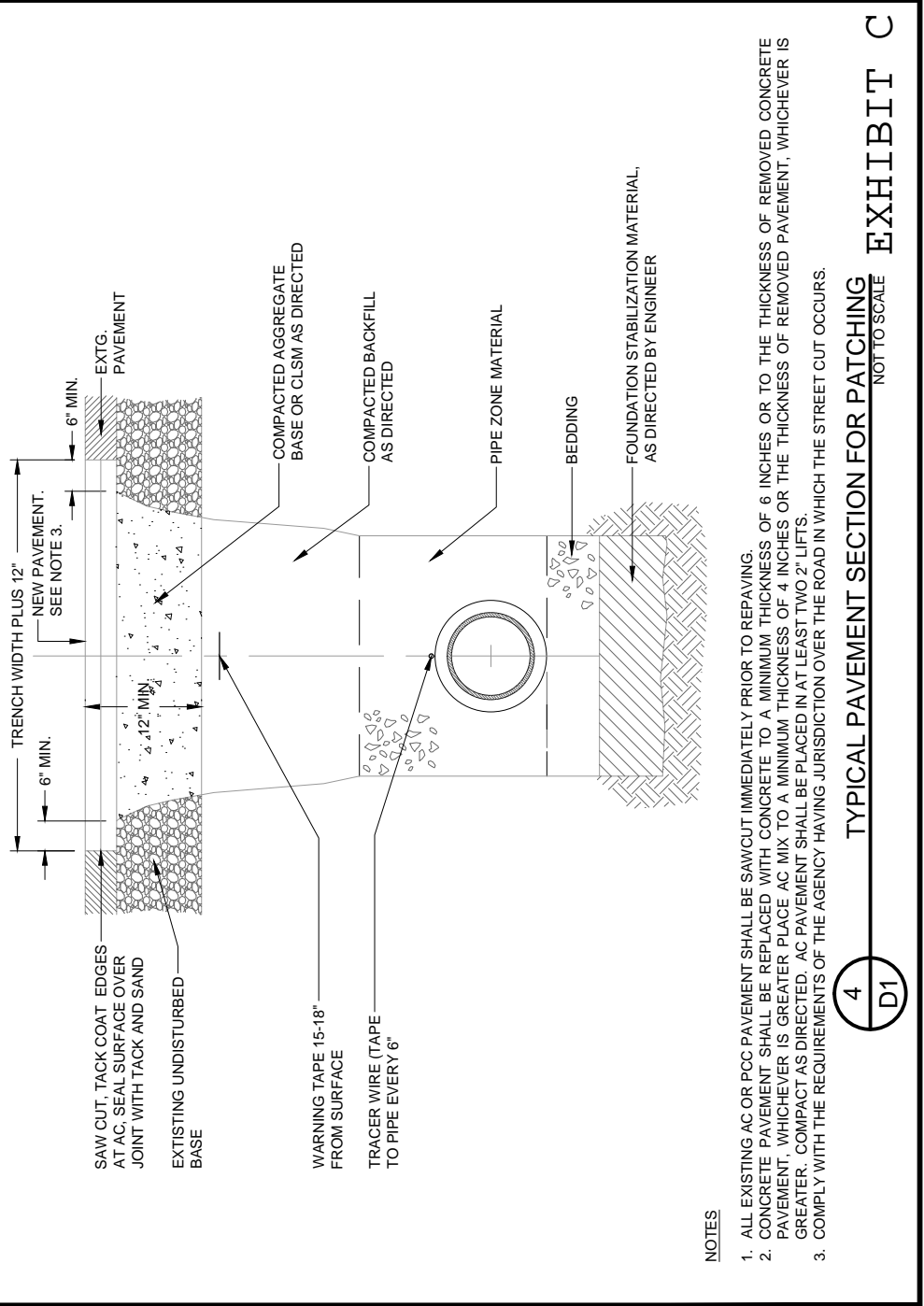
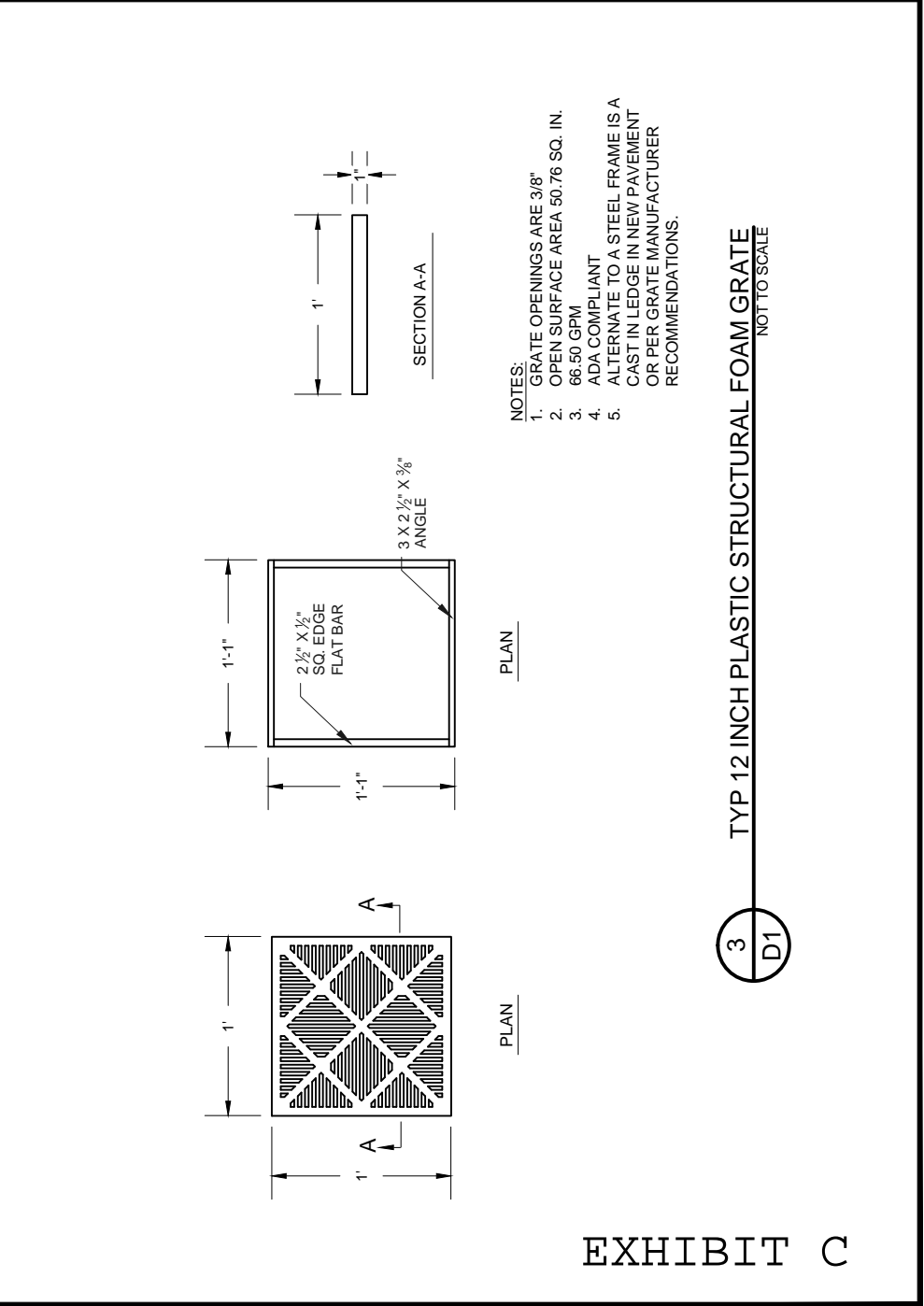
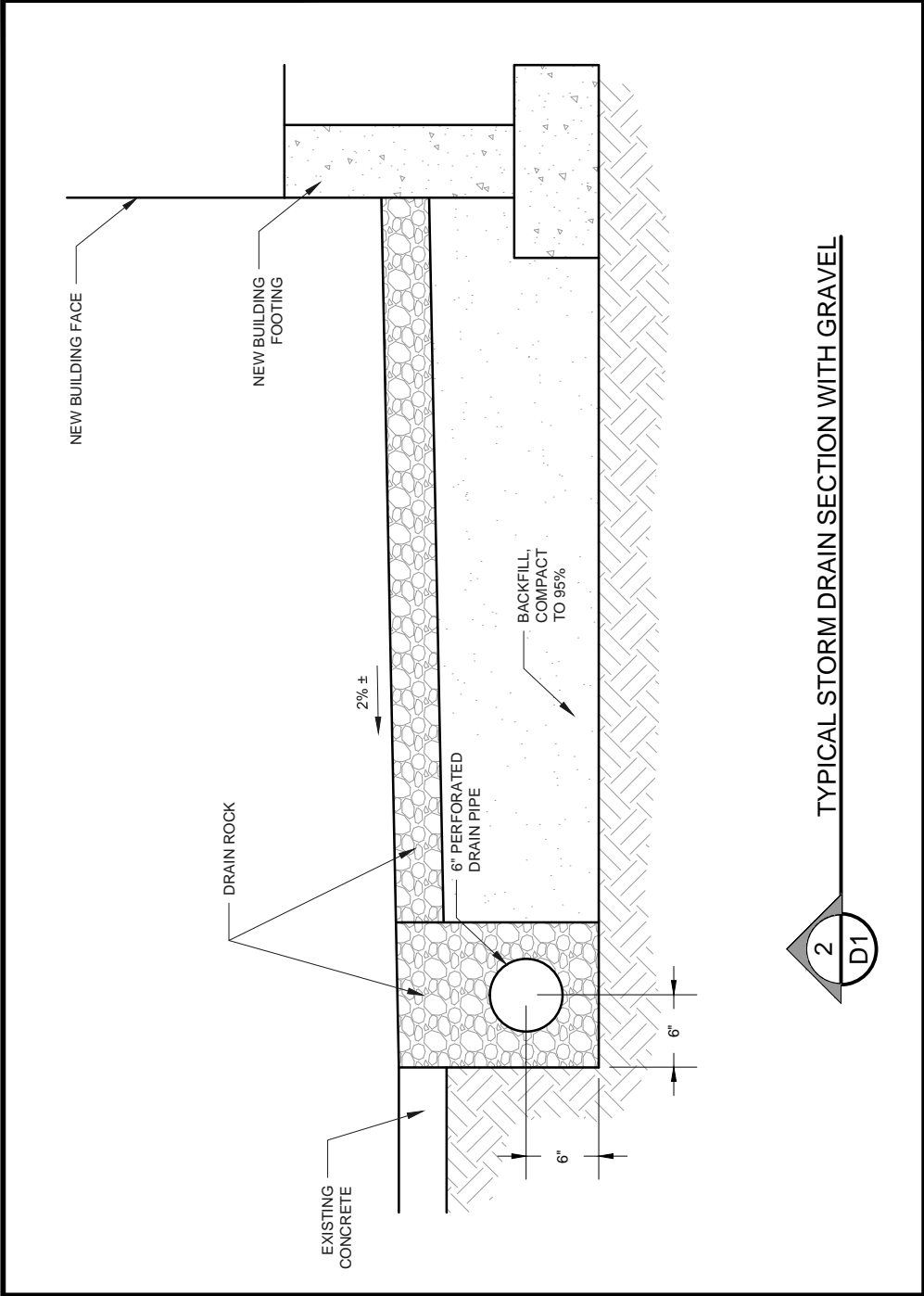
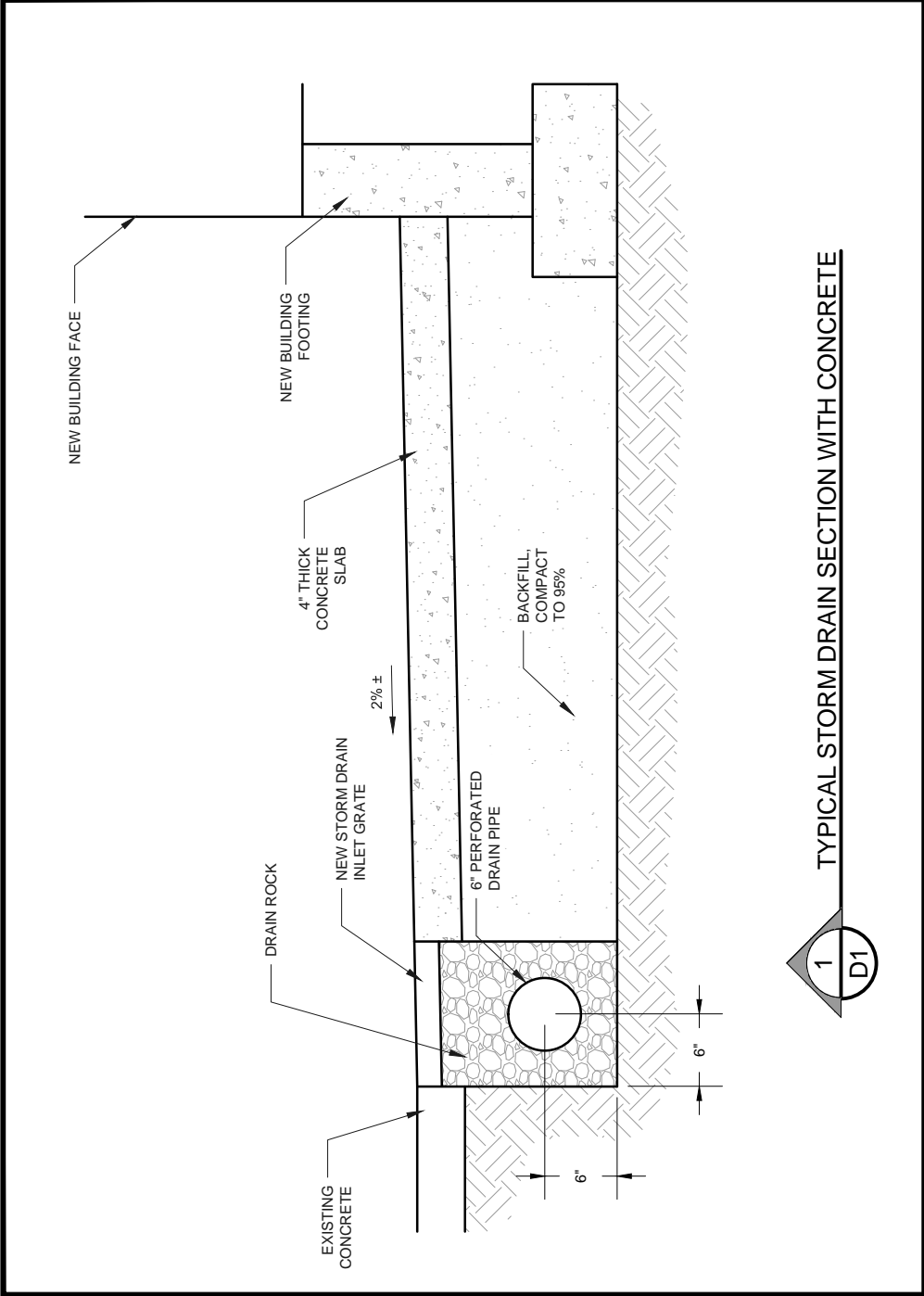
OREGON

JULY 13, 2010

MARLIN L. GOCHMOUR

EXPIRATION DATE: 6/30/15





Siuslaw School District 97J Florence, Lane County, Oregon		Modular Building Site Design		Standard Details	
REV.	DATE	DESIGNED BY:	DRAWN BY:	CHECKED BY:	PROJECT NO.
					3208-002
BY					MLG
Civil West Engineering Services, Inc. 541-266-8601 www.civilwest.com					
486 E Street Coos Bay, Oregon 97420					
REGISTRATION INFORMATION REGISTERED PROFESSIONAL ENGINEER 84469PE OREGON JULY 13, 2010 MARLIN L. GOCHNOUR					
EXPIRATION DATE: 6/30/15					

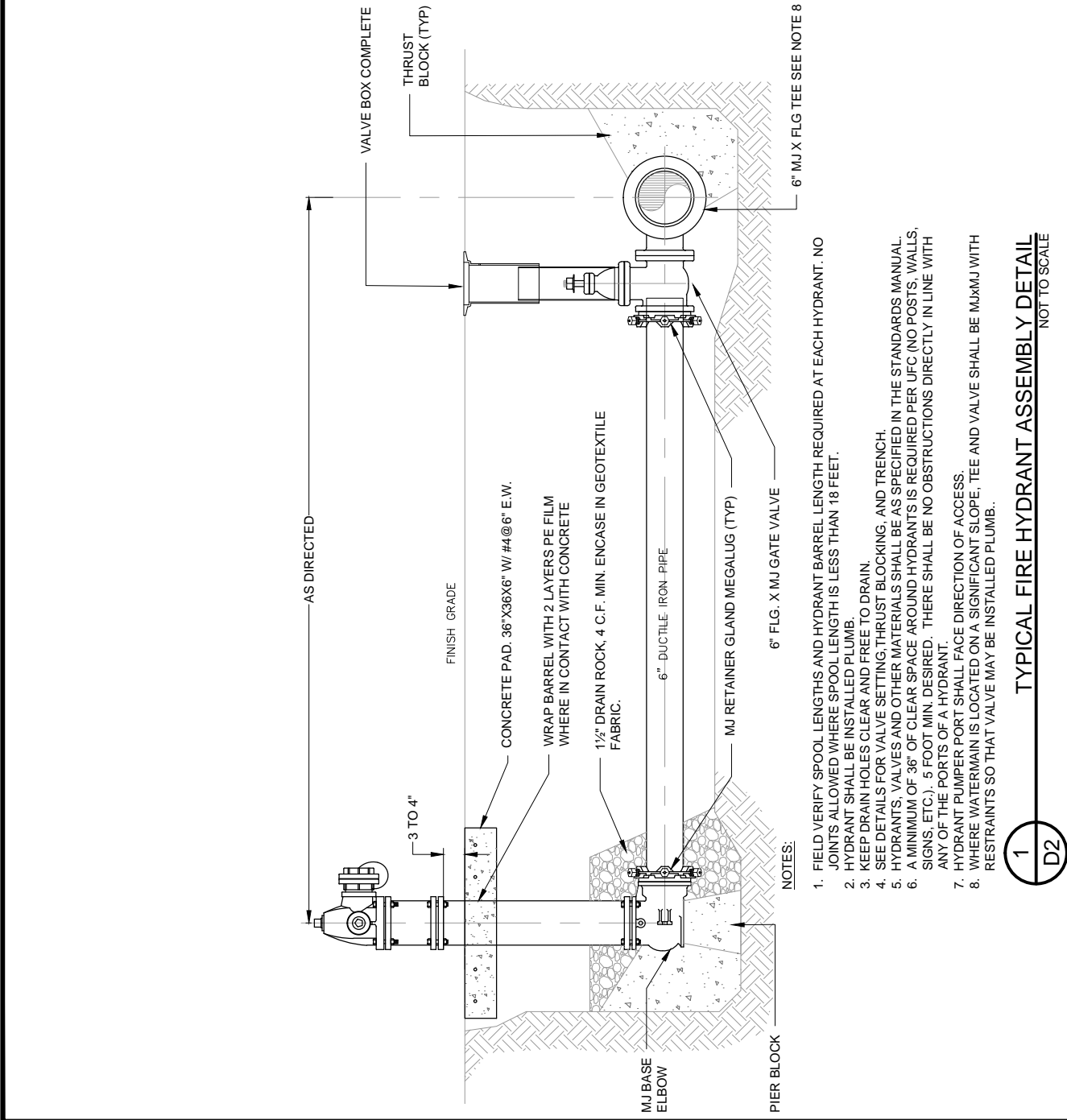


EXHIBIT D

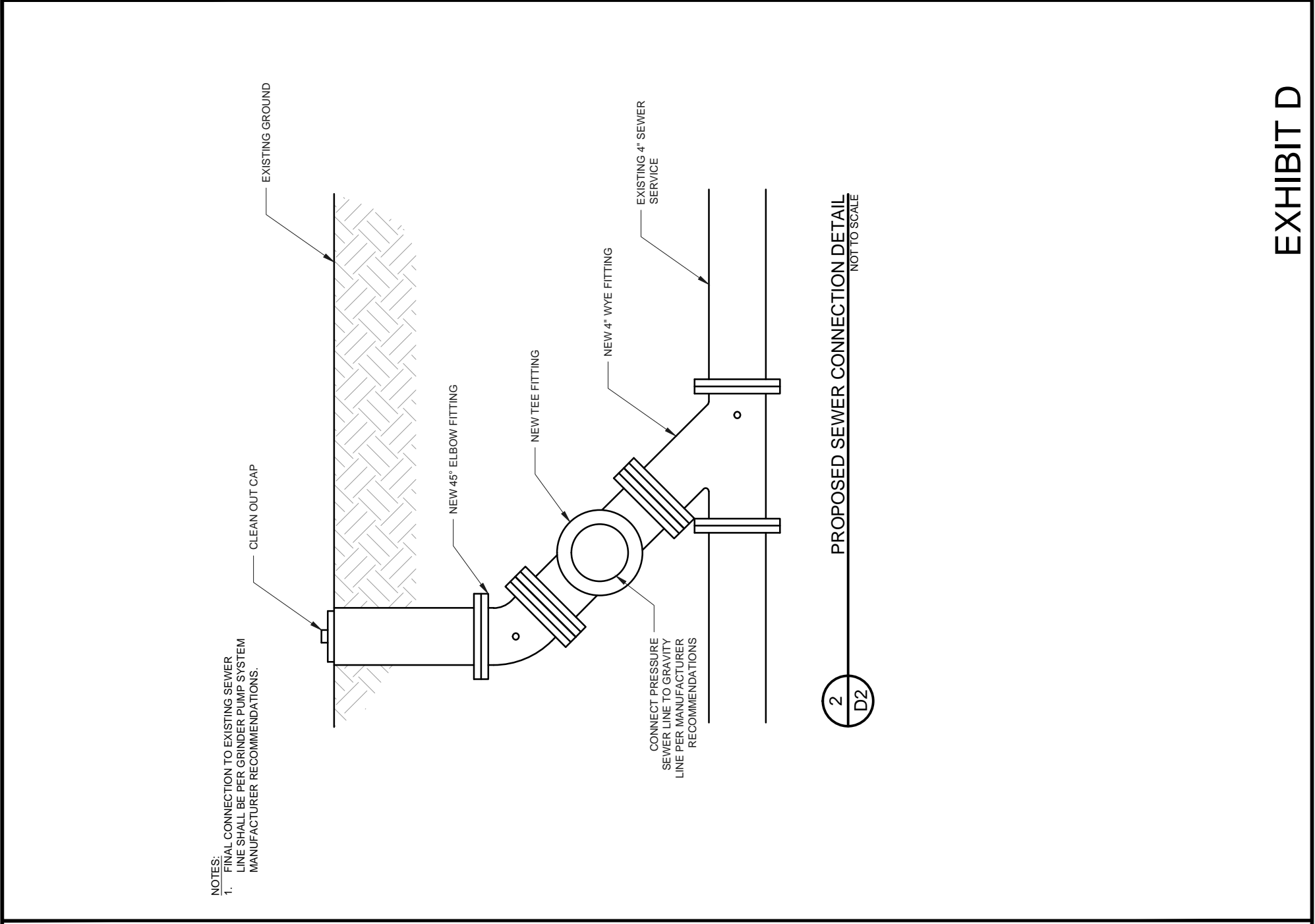
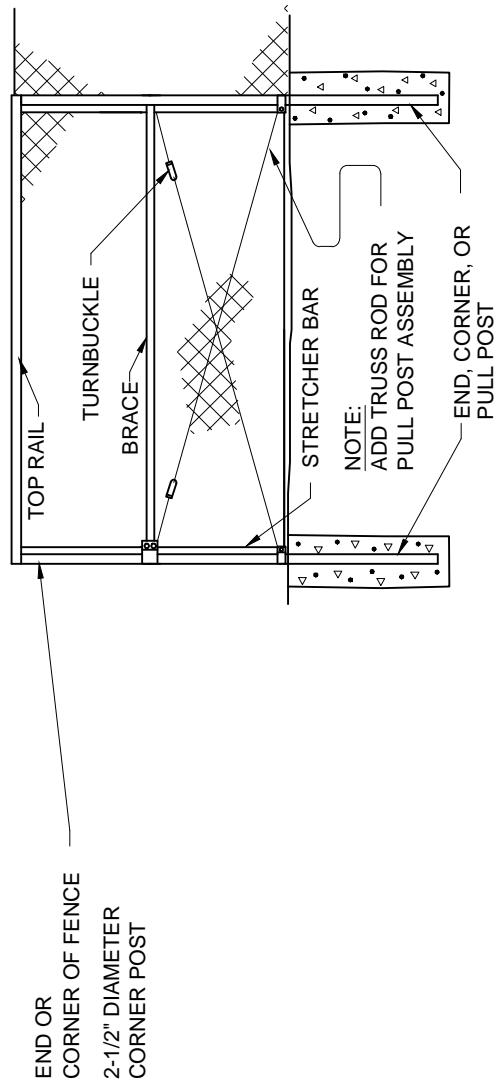
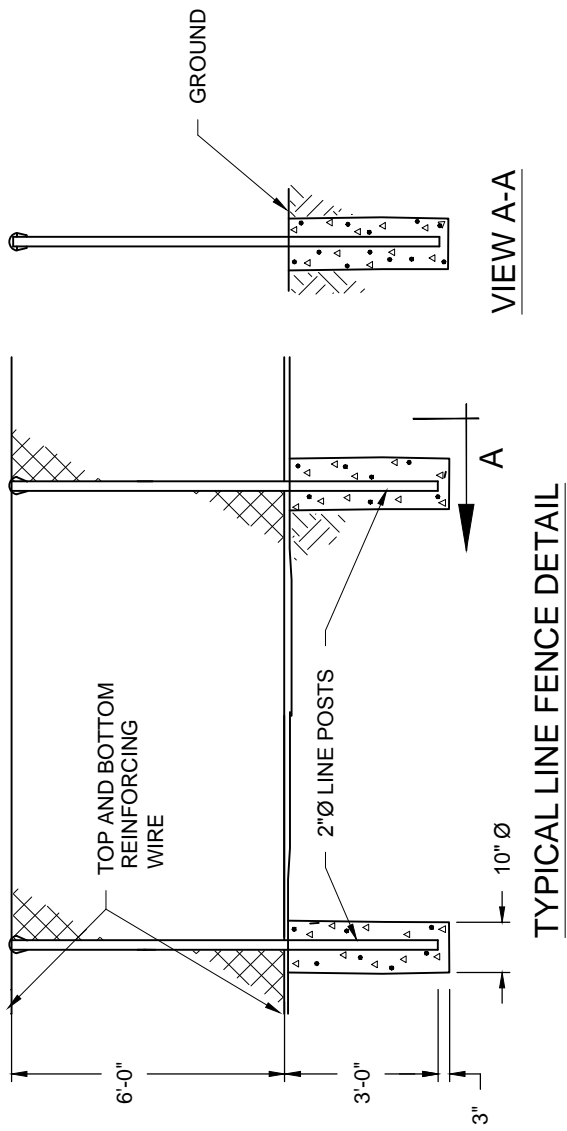


EXHIBIT D

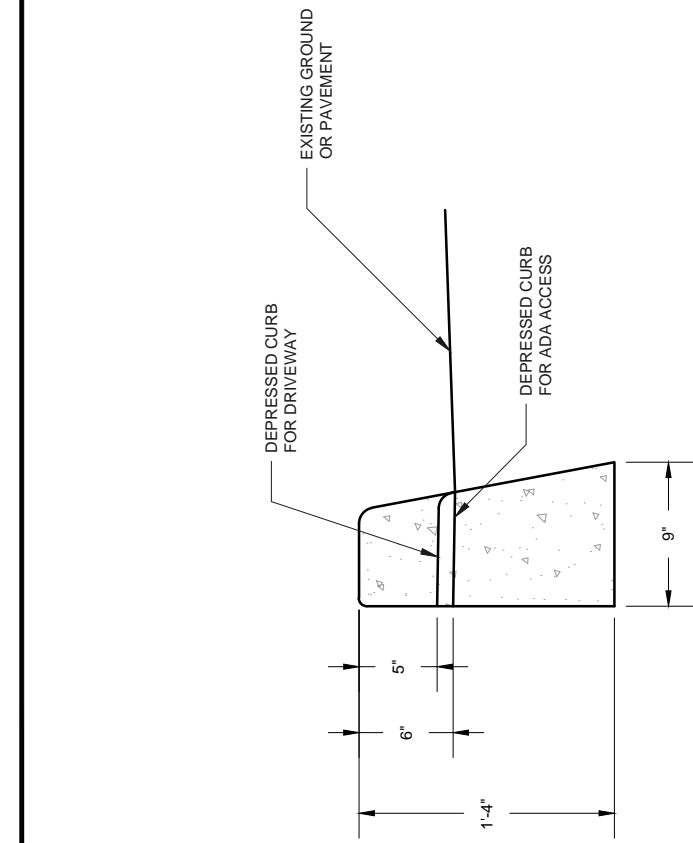
Date		Sheet No.		D2		February 2015	
Siuslaw School District 97J		Florence, Lane County, Oregon		Modular Building Site Design		Standard Details	
REV.		DATE		Project No:		3208-002	
BY		DESCRIPTION		Drawn By: OVD		Checked By: MLG	
486 E Street		Coos Bay, Oregon 97420		541-266-8601		www.civilwest.com	
Civil West		Engineering Services, Inc.		541-266-8601		www.civilwest.com	
REGISTRATION		ENGINEER		84469PE		MAR 11 N L. GOCHMOUR	
EXPIRATION DATE: 6/30/15		OREGON		JULY 13, 2010			



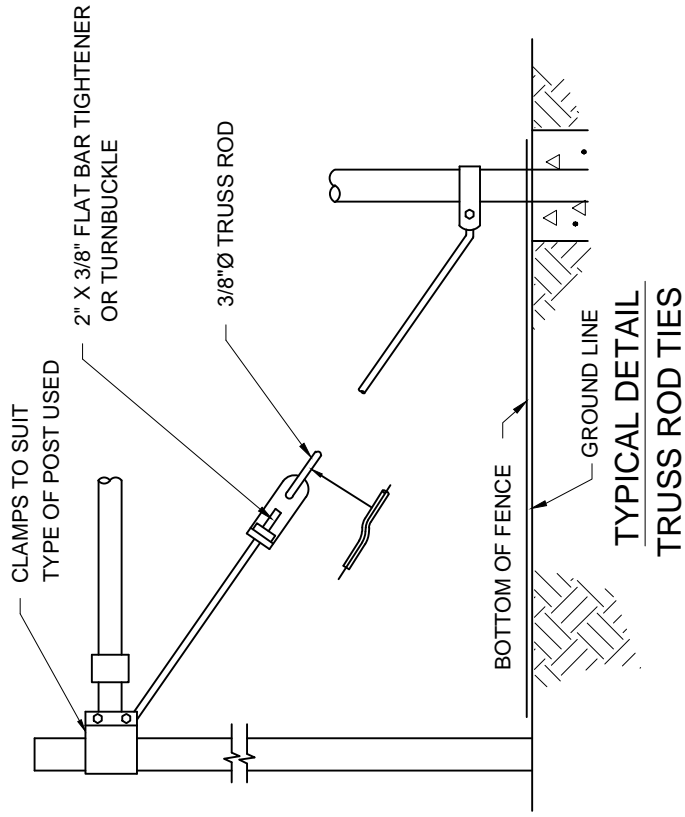
CORNER OR END PANEL ASS'Y  
PULL POST ASS'Y SIMILAR (EXCEPT AS INDICATED)



## TYPICAL LINE FENCE DETAIL



TYPICAL VERTICAL CURB DETAIL



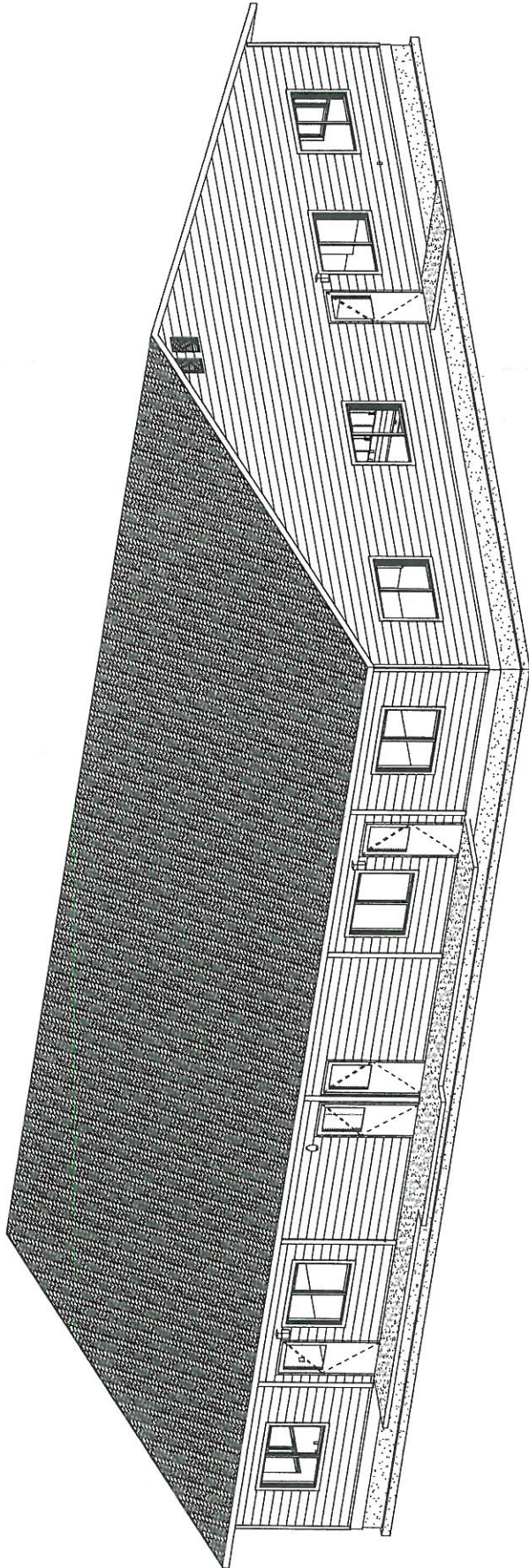
**TYPICAL FENCE DETAILS**  
NOT TO SCALE

[illegible]



# AEPA - SIUSLAW SD II

84' x 64' MODULAR CLASSROOM



SHEET INDEX				
SHT. NO.	SHEET NAME	Current Rev.	Rev. Issued By	Checked By
A 0.0	COVER SHEET	2/5/15	TS	KR
A 1.0	FLOOR PLAN	2/5/15	TS	KR
A 1.1	REFLECTED CEILING PLAN	2/5/15	TS	KR
A 2.0	EXTERIOR ELEVATIONS			
A 3.0	FINISH NOTES, SCHEDULES	2/5/15	TS	KR
A 4.0	INTERIOR ELEVATIONS & DETAILS	2/5/15	TS	KR
S 1.0	FOUNDATION PLAN			
S 2.0	FRAMING PLAN (NOT USED)			
S 3.0	BUILDING SECTIONS			
S 4.0	FOUNDATION NOTES & DETAILS	2/5/15	TS	KR
S 4.1	DETAILS			
E 0.1	ELECTRICAL NOTES & SCHEDULE	2/5/15	TS	KR
E 1.0	ELECTRICAL PLAN	2/5/15	TS	KR
E 2.0	LIGHTING PLAN	2/5/15	TS	KR
M 1.0	HVAC PLAN & NOTES	2/5/15	TS	KR
P 1.0	PLUMBING NOTES & ISOMETRICS	2/5/15	TS	KR

## SYMBOLS LEGEND

- 1 Ref

A1/01

1 Ref

A1/01

1 Ref

A1/01

1 Ref

A1/01

1 Ref

0

Name

Elevation

MOD A

WALL TAG

DOOR TAG

WINDOW TAG

REVISION TAG

CENTERLINE

## GENERAL NOTES

- THE TERM IBC SHALL APPLY TO THE CURRENT EDITION OF THE INTERNATIONAL BUILDING CODE, AS ADOPTED BY THE STATES OF OREGON AND WASHINGTON FOR PROJECTS IN ALL OTHER STATES IT SHALL APPLY TO THE CURRENT EDITION OF THE UBC OR IBC AS ADOPTED BY THAT STATE.
- ALL CONTROLS AND HARDWARE SHALL BE ACCESSIBLE TO PERSONS WITH DISABILITIES.
- LOCAL JURISDICTION TO DETERMINE COMPLIANCE WITH CHAPTER 2B (WITH REGARD TO ADJACENT FACILITIES) IN OCCUPANCY GROUPS SHALL BE WITH THEIR CURRENTLY ADOPTED EDITION OF THE OESC.
- THIS SET OF PLANS PREPARED AND SUBMITTED FOR APPROVAL UNDER THE FOLLOWING CODES:

BUILDING

2014 OESC

MECHANICAL

2014 OESC

PLUMBING

2014 OFSC

ELECTRICAL

2014 OESC
- SPECIAL INSPECTION OF WOOD SHEAR WALLS WITH FASTENER SPACING OF LESS THAN 12" SHALL BE PERFORMED BY THE ENGINEER OF RECORD. THE REPORT SHALL BE SUBMITTED TO THE DEPARTMENT OF RECORDS AND PLANNING AND BE PLACED INTO THE APPROVED SET.
- MANUAL PULL FIRE ALARMS IN ACCORDANCE TO 907.2.3

## DESIGN CRITERIA

- GENERAL CONSTRUCTION TYPE

206

VB (NON-SPRINKLERED)
- OCCUPANCY GROUP

E
- OCCUPANCY LOAD

206
- DISTANCE TO PROPERTY LINE OR ASSUMED PROPERTY LINE

FRONT: 10' MIN.  
REAR: 10' MIN.  
LEFT: 10' MIN.  
RIGHT: 10' MIN.
- ELECTRICAL: ELECTRICAL SERVICE LOAD

(3) 200 AMP 1 PH.  
114.7 KVA
- MECHANICAL: VENTILATION OCCUPANCY LOAD

148
- CLIMATE ZONE

4C/5B
- HEATING

SP/H/HP
- AIR-CONDITIONING

YES
- PLUMBING: PLUMBING OCCUPANCY LOAD

43
- QUANTITY OF PLUMBING FIXTURES

19
- STRUCTURAL: SNOW LOAD

25 PSF
- FLOOR LIVE LOAD

50 PSF / 100 PSF
- WIND LOAD

lambda = 1.0

Vult = 140 MPH (Vult = 108 MPH) 3 SECOND GUST - EXP. B
- SEISMIC

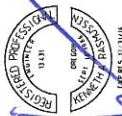
BEARING WALL SYSTEM, Ss = 1.330, Fa = 1.000

S6s = 0.887, RISK CATEGORY II

Ie = 1.0, SEISMIC DESIGN CATEGORY D, SITE CLASS D

## ENERGY CODE NOTES

- ALL BUILDING THERMAL ENVELOPE INSULATION SHALL BE MARKED IN ACCORDANCE WITH OEEESC 303.1.1 AND INSTALLED PER OEEESC 303.1.2
- BLOW-IN INSULATION SHALL BE INSTALLED AND CERTIFIED PER OEEESC 303.1.1.1
- ALL AIR BARRIER MATERIALS SHALL BE ASTM E2178 RATED OR AS LISTED IN OEEESC 502.4.1.2.1
- AIR BARRIER COMPLIANCE OPTIONS:  
CONTINUOUS AIR BARRIER FOR THE OPAQUE BUILDING ENVELOPE SHALL COMPLY WITH OEEESC 502.4.1.2.1
- PENETRATIONS OF THE AIR BARRIER SHALL BE CAULKED, GASKETED OR SEALED PER OEEESC 502.4.2
- ALL FENESTRATION ASSEMBLIES SHALL BE LABELED BY THE MANUFACTURER PER OEEESC 303.1.3 & 502.4.3
- AIR ECONOMIZER SHALL BE CAPABLE OF PROVIDING 100% OUTSIDE AIR PER OEEESC 503.3.1
- MECHANICAL VENTILATION SYSTEM SHALL HAVE THE CAPABILITY TO REDUCE THE OUTSIDE AIR SUPPLY TO THE MINIMUM REQUIRED PER OEEESC 503.2.5
- OUTSIDE AIR AND EXHAUST AIR DAMPERS SHALL BE RATED PER OEEESC 502.4.4 & 503.2.4.5
- OPERATING AND MAINTENANCE MANUALS FOR ALL MECHANICAL SYSTEMS SHALL BE PROVIDED TO THE BUILDING OWNER PER OEEESC 503.2.9.3.



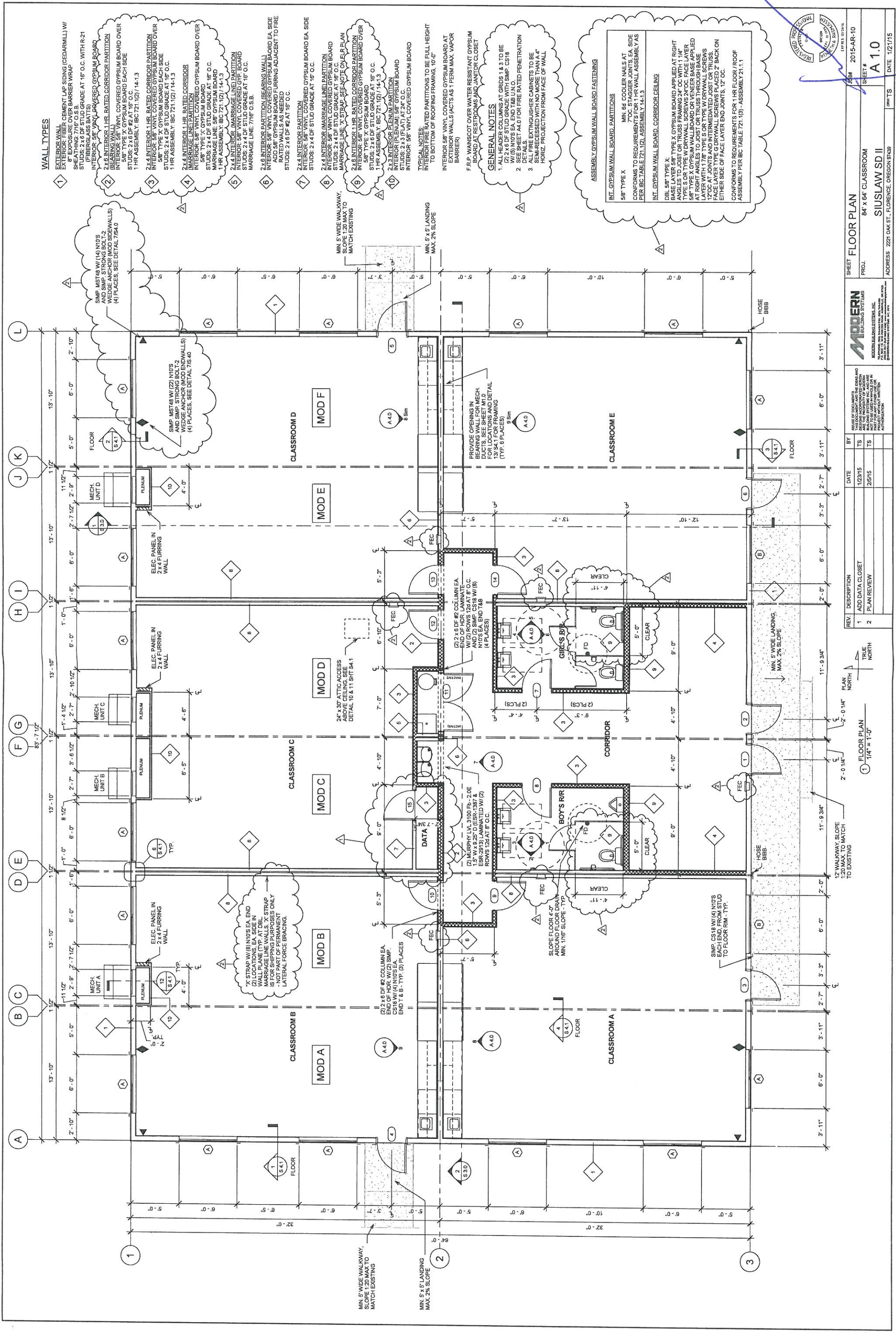
REV.	DESCRIPTION	DATE	BY
1	CUSTOMER	1/23/15	TS
2	PLAN REVIEW	2/5/15	TS

SHEET COVER SHEET		JOSHUA A. LARSEN	2015-AR-10
PROJ.		84' x 64' CLASSROOM	SHEET #
		SIUSLAW SD II	A.0.0
ADDRESS		2221 OAK ST., FLORENCE, OREGON 97439	DATE 1/21/15



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WALL TYPES

- 1 EXTERIOR WALL  
EXPOSURE FIBER CEMENT LAP SIDING (CEDAR/MILL) W/  
SHEATHING OVER BARRIER WRAP  
STUDS: 2x6 DF STUD GRADE AT 16" O.C. WITH R-21  
(FIBERGLASS BATT)  
INTERIOR: 5/8" VINYL COVERED GYPSUM BOARD  
(BEARING WALL)  
INTERIOR: 5/8" VINYL COVERED GYPSUM BOARD OVER  
5/8" TYPE X GYPSUM BOARD EACH SIDE  
1 HR ASSEMBLY: IBC 721.10/14.1.3
- 2 2x4 INTERIOR 1 HR. RATED CORRIDOR PARTITION  
INTERIOR: 5/8" VINYL COVERED GYPSUM BOARD OVER  
5/8" TYPE X GYPSUM BOARD  
MARRIAGE LINE: 5/8" GYPSUM BOARD  
1 HR ASSEMBLY: IBC 721.10/14.1.3
- 3 2x4 INTERIOR 1 HR. RATED CORRIDOR PARTITION  
INTERIOR: 5/8" VINYL COVERED GYPSUM BOARD OVER  
5/8" TYPE X GYPSUM BOARD  
MARRIAGE LINE: 5/8" GYPSUM BOARD  
1 HR ASSEMBLY: IBC 721.10/14.1.3
- 4 2x4 INTERIOR 1 HR. RATED CORRIDOR PARTITION  
INTERIOR: 5/8" VINYL COVERED GYPSUM BOARD OVER  
5/8" TYPE X GYPSUM BOARD  
MARRIAGE LINE: 5/8" GYPSUM BOARD  
1 HR ASSEMBLY: IBC 721.10/14.1.3
- 5 2x4 INTERIOR (MARRIAGE LINE) PARTITION  
INTERIOR: 5/8" VINYL COVERED GYP. BOARD  
STUDS: 2x4 DF STUD GRADE AT 16" O.C.  
MARRIAGE LINE: 7/16" O.S.B.
- 6 2x6 INTERIOR PARTITION (BEARING WALL)  
INTERIOR: 5/8" VINYL COVERED GYPSUM BOARD EA. SIDE  
RUD. 5/8" GYPSUM BOARD FURRING ADJACENT TO FIRE  
RATED ASSEMBLY: IBC 721.10/14.1.3  
STUDS: 2x6 DF #2 AT 16" O.C.
- 7 2x4 INTERIOR PARTITION  
INTERIOR: 5/8" VINYL COVERED GYPSUM BOARD EA. SIDE  
STUDS: 2x4 DF STUD GRADE AT 16" O.C.
- 8 2x4 INTERIOR (MARRIAGE LINE) PARTITION  
INTERIOR: 5/8" VINYL COVERED GYPSUM BOARD  
STUDS: 2x4 DF STUD GRADE AT 16" O.C.  
MARRIAGE LINE: 7/16" O.S.B. NOT TO BE PLANNED
- 9 2x6 INTERIOR 1 HR. RATED CORRIDOR PARTITION  
INTERIOR: 5/8" VINYL COVERED GYPSUM BOARD OVER  
5/8" TYPE X GYPSUM BOARD  
STUDS: 2x6 DF STUD GRADE AT 16" O.C.  
1 HR ASSEMBLY: IBC 721.10/14.1.3
- 10 2x3 INTERIOR PLENUM PARTITION  
INTERIOR: 1/2" VINYL COVERED GYPSUM BOARD  
STUDS: 1x3 VINYL COVERED GYPSUM BOARD  
INTERIOR: 5/8" VINYL COVERED GYPSUM BOARD

GENERAL NOTES

- 1. ALL HEADER COLUMNS AT GRIDS 1 & 3 TO BE (2) 2x6 DF STUD GRADE WITH SMP. CS18
- 2. SEE SHEET A4.0 FOR FIRE RATED PENETRATION
- 3. ALL FIRE EXTINGUISHER CABINETS TO BE SEMI-RECESSED WITH NO MORE THAN A 4" HORIZ. PROJECTION FROM FACE OF WALL

ASSEMBLY GYPSUM WALL BOARD FASTENING

- INT. GYPSUM WALL BOARD, PARTITIONS  
5/8" TYPE X  
MIN. 6d COOLER NAILS AT  
7" OC. STAGGER JOINTS EA. SIDE  
CONFORMS TO REQUIREMENTS FOR 1 HR WALL ASSEMBLY AS  
PER IBC TABLE 721.10/14.1.3
- INT. GYPSUM WALL BOARD, CORRIDOR CEILING  
DBL 5/8" TYPE X  
BASE LAYER 5/8" TYPE X GYPSUM BOARD APPLIED AT RIGHT  
ANGLES TO JOIST OR TRUSS FRAMING 24" OC WITH 1 1/4"  
W/ (5) NUTS EA. END T&B U.N.O.  
5/8" TYPE X GYPSUM BOARD APPLIED AT RIGHT ANGLES TO JOIST OR TRUSS THROUGH BASE  
LAYER WITH 1 7/8" TYPE S OR TYPE W DRYWALL SCREWS  
12" OC AT JOINTS AND INTERMEDIATE JOIST OR TRUSS  
SPACING. EACH END OF THE BOARD SHALL BE SECURED TO  
EITHER SIDE OF FACE LAYER END JOINTS, 12" OC.  
CONFORMS TO REQUIREMENTS FOR 1 HR FLOOR / ROOF  
ASSEMBLY PER IBC TABLE 721.10/14.1.3

SHEET FLOOR PLAN		JOB#	2015-AR-10
PROJ.		SHEET #	A 1.0
84' x 64' CLASSROOM			
SIUSLAW SD II			
ADDRESS 2221 OAK ST., FLORENCE, OREGON 97439		DW'TS	DATE 1/21/15
			
MODERN BUILDING SYSTEMS, INC. 10000 N. 10TH AVE., SUITE 100 DENVER, CO 80231 TEL: 303.751.1000 FAX: 303.751.1001 WWW.MODERNBUILDINGSYSTEMS.COM			
REVIEW OF DOCUMENTS THIS DOCUMENT AND THE DRAWING ARE THE PROPERTY OF MODERN BUILDING SYSTEMS INC. AND ARE NOT TO BE REPRODUCED OR REPRODUCED FOR ANY OTHER USE OR PURPOSE WITHOUT WRITTEN AUTHORIZATION			
REV.	DESCRIPTION	DATE	BY
1	ADD DATA CLOSET	1/23/15	TS
2	PLAN REVIEW	2/5/15	TS

1 FLOOR PLAN  
1/4" = 1'-0"

PLAN NORTH  
TRUE NORTH

EXHIBIT F

13



SW 7561

Lemon Meringue



SW 7562

Roman Column

SW 7563

Restful White



SW 7564

Polar Bear

SW 7565

Oyster Bar





# Concepts in Color



SW 7595  
Sommelier

SW 7594  
Carriage Door

SW 7593  
Rustic Red

SW 7592  
Crabby Apple

SW 7591  
Red-Born

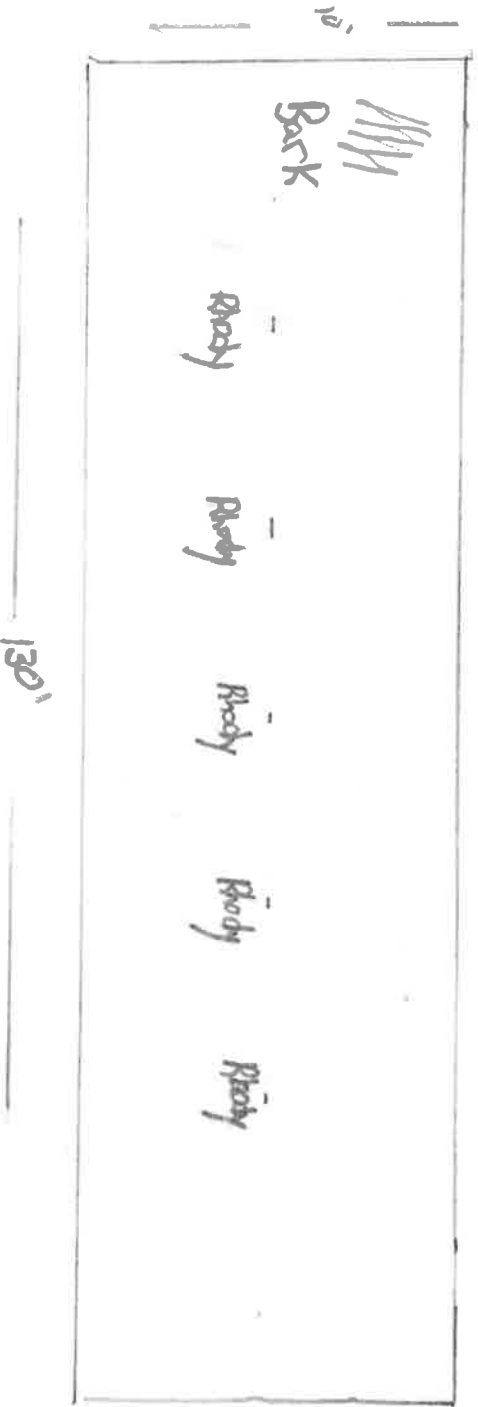




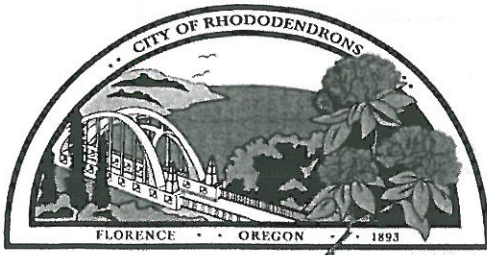
Head Staff  
Building

New Building

Existing  
School Building



Parking lot



City of Florence  
Community Development Department  
250 Highway 101  
Florence, OR 97439  
Phone: (541) 997-8237  
Fax: (541) 997-4109  
[www.ci.florence.or.us](http://www.ci.florence.or.us)

### Type of Request

☒ Design Review (DR) (See FCC 10-6) ☐ Conditional Use Permit (CUP) (See FCC 10-4)

### Applicant Information

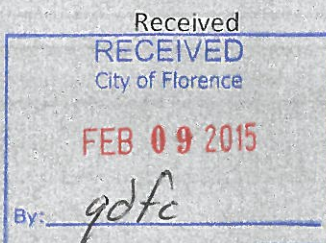
Name: Siuslaw School District 97J Phone 1: 541-902-7471  
E-mail Address: barcher@siuslaw.k12.or.us Phone 2: 541-991-9225  
Address: 2221 Oak Street Florence OR 97439  
Signature: \_\_\_\_\_ Date: \_\_\_\_\_  
Applicant's Representative (if any): Bob Archer / Kari Blake

### Property Owner Information

Name: Siuslaw School District 97J Phone 1: 541-902-7471  
E-mail Address: barcher@siuslaw.k12.or.us Phone 2: 541-991-9225  
Address: 2221 Oak Street Florence OR  
Signature: \_\_\_\_\_ Date: \_\_\_\_\_  
Applicant's Representative (if any): Bob Archer / Kari Blake

NOTE: If applicant and property owner are not the same individual, a signed letter of authorization from the property owner which allows the applicant to act as the agent for the property owner must be submitted to the City along with this application. The property owner agrees to allow the Planning Staff and the Planning Commission onto the property. Please inform Planning Staff if prior notification or special arrangements are necessary.

### For Office Use Only:



Approved

Exhibit

EXHIBIT I



Property Description

Site Address: 2221 OAK Street

General Description: North west Abandoned PARKING AREA

Assessor's Map No.: 18 - 12 - 22 -

Tax lot(s): 1001

Zoning District: \_\_\_\_\_

Conditions & land uses within 300 feet of the proposed site that is one-acre or larger and within 100 feet of the site that is less than an acre OR add this information to the off-site conditions map

(FCC 10-1-1-4-B-3): \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Project Description

Square feet of new: 5376

Square feet of existing: \_\_\_\_\_

Hours of operation: 8AM - 4PM M-F

Existing parking spaces: YES

Is any project phasing anticipated? (Check One): ☐ Yes ☒ No

Timetable of proposed improvements: MID MARCH 2015 - AUG 2015 completion

Will there be impacts such as noise, dust, or outdoor storage? ☒ Yes ☐ No

If yes, please describe: machinery operating throughout project  
General const. noise

Proposal: (Describe the project in detail, what is being proposed, size, objectives, and what is desired by the project. Attach additional sheets as necessary)

Installing A modular complex that will serve as the  
KG Facility For the school District. MOD complex  
will be 84x64 which will consist of 5 classrooms  
and 2 bathrooms, 4 classrooms will be use Full  
time and the 5th will serve as a work area of  
special services.

For Office Use Only:

Date Submitted: \_\_\_\_\_ Fee: \_\_\_\_\_

Received by: \_\_\_\_\_

Paid

## Other Information Required

Below is a check list of the required information to determine if an application is complete. The Florence City Code is available at City Hall or online at [www.ci.florence.or.us](http://www.ci.florence.or.us) (click on "City Code" which is located on the main menu). You will also find the *Florence Transportation Plan*, *Downtown Architectural Guidelines*, *Highway 101 Access Management Plans*, *Stormwater Design Manual*, and *Stormwater Management Plan* available on the City's website or at the City Hall for review or purchase.

☒ Site Plan existing and proposed drawn to scale, showing the following:

- Existing and proposed site boundaries and proposed lot boundaries
- Existing and proposed structures
- Existing and proposed roads, streets, rights-of-way, pedestrian walks (widths and types), names, grades, radii
- Existing and proposed utility services – location of water and sewer lines, drainage routes and facilities, manholes, meters, fire hydrants, etc...
- Areas of scenic value, wildlife habitat, potential hazard areas (floodplains, geologic instability), wetlands, or other areas of special significance

*Note: Please submit an electronic copy of any plans submitted larger than 11" x 17"*

☐ A title report from a title company showing:

- Existing liens
- Access and/or utility easements
- Legal description

☐ Utility Plan:

List all utilities currently available to the site AND add this information to a utility plan map (See FCC 10-1-1-4-B-2).

*Note: For help identifying the location of utilities, please call Dig Safely Oregon at 1-800-332-2344 or dial 811. Call Public Works (541-997-4106) to determine the size of utility lines. Call the Fire Marshal (541-997-3212) to determine fire flows.*

Water Supply: 8" - inch line available from OAK (Street)  
Sanitary Sewer: 10" - inch line available from OAK (Street)  
Storm Sewer: 24" - inch line available from OAK (Street)

Check if available: ☒ Telephone ☒ Cable TV ☐ Electrical ☐ Other (Such as fiber optics)

Please provide a plan drawn to common scale showing the location of existing and proposed buildings, existing and proposed utility services, location and size of water and sewer lines, drainage routes, manholes, meters, fire hydrants, fire flows, and 2' contours.

☐ Lighting Plan: AS PG PLAN

Show location of each light fixture, diagram illustrating foot-candle distribution, and elevation drawing of each light fixture in conformance to FCC 10-3-8-G.

☐ Access Permits:

For properties along State or County roads (see FCC 10-35-2-4), a state or county access permit or application is required. For properties on Highway 101 located between Highway 126 and the Siuslaw River Bridge, please also refer to the *Highway 101 Access Management Plan*.

☐ Proposed:

Are new streets planned or needed? (Please refer to the Transportation System Plan)

☐ Yes ☒ No If yes, please describe: \_\_\_\_\_

Are utility upgrades or extensions planned or needed?

☒ Yes ☐ No If yes, please describe: TRANSFORMED UPGRADE

If you answered yes to either question above, how will these improvements be funded?

FUNDING WILL FALL UNDER THE SCOPE OF THE PROJECT

☐ Stormwater Plan:

Per FCC 9-5-2-4, a drainage plan is required for projects which add **500 SQUARE FEET OR GREATER** of impervious surface area or clearing vegetation from **10,000 SQUARE FEET OR GREATER** (single family homes are excluded). Please refer to FCC 9-5 and the Florence Stormwater Design Manual for requirements.

☐ Traffic Impact Study:

Per FCC 10-1-1-4-D, larger projects may require a Traffic Impact Study. Please attach a TIA if needed.

☒ Design & Architectural Drawings:

Per FCC 10-6-6-C, if applying for a design review, please attach or describe colors and materials being used as well as elevations of the proposed building.

COLORS WILL MATCH THE EXISTING HEADSTART FACILITY

☒ Landscaping Plan: EXISTING PLANTER WILL BE USED AND EXPANDED

Per FCC 10-34-3-2, the location, size and species of newly proposed plant materials, location(s) of area where existing vegetation will be cleared and/or preserved, irrigation and anticipated planting schedule, and location of existing and proposed fences and walls including buffering and screening materials.

☐ Erosion Control:

Projects of over 1 acre of land disturbance over a period of time (please see FCC 10-36-4) are required to obtain a National Pollution Discharge Elimination System permit from the Department of Environmental Quality prior to the issuance of a development permit or land use permit based on appropriate criteria.

☐ Site Investigation Report:

Refer to FCC 10-7-3 for the list of hazard areas within the City Limits which will require a SIR.

☐ Old Town District:

Survey: Properties within the Old Town District require a recent survey per FCC 10-17 for all new development, redevelopment, and additions which show property lines, easements, 2' contours, existing structures, floodplain, and highest observed tide.

Visual Aids: New construction or story additions require visual aids. Please refer to FCC 10-17.

## Glen Southerland

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**From:** Hicks, Robin <RHicks@cencoast.com>  
**Sent:** Wednesday, March 04, 2015 4:28 PM  
**To:** Glen Southerland  
**Subject:** RE: Referral - PC 15 03 CUP 02 - Kindergarten Modular Building

Hi Glen, I'm actually working with Bob Archer on this in regards to new service for this addition.  
At this time, PUD have no issues with this project.

Robin

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**From:** Glen Southerland [mailto:glen.southerland@ci.florence.or.us]  
**Sent:** Wednesday, March 04, 2015 3:56 PM  
**To:** Mike Miller; Jim Langborg (jlangborg@svfr.org); sean@svfr.org; Eric Rines; Lynn Lamm; Hicks, Robin  
**Cc:** Wendy Farley-Campbell; Vevie Walker  
**Subject:** Referral - PC 15 03 CUP 02 - Kindergarten Modular Building

Greetings,

The purpose of this notice is to acquaint you with a proposed development, to gather information you may have about the project, and provide an opportunity to comment and express concerns related to the approval criteria, prior to the Planning Commission's decision to approve or deny the project proposal.

**RESOLUTION PC 15 03 CUP 02:** An application by Bob Archer/Kari Blake on behalf of the Siuslaw School District 97J for approval of a Conditional Use Permit to install a modular complex that will serve all the Kindergarten facility for the school district. The modular complex will be 84x64, which will consist of five classrooms and two bathrooms. Four classrooms will be used full time and the fifth will serve as a work area or special services.

Please let me know if you have any questions.

Best Regards,

**Glen Southerland**

Assistant Planner  
City of Florence Planning Department  
[ci.florence.or.us](http://ci.florence.or.us)  
250 Highway 101  
Florence, OR 97439  
Phone: (541) 997-8237

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## Glen Southerland

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**From:** Sean Barrett <sean@svfr.org>  
**Sent:** Thursday, March 05, 2015 1:11 PM  
**To:** Glen Southerland  
**Subject:** RE: Referral - PC 15 03 CUP 02 - Kindergarten Modular Building

Fire has no concerns with this referral. We have been involved with this project and support it. Sean

Sean Barrett  
Fire Marshal  
Siuslaw Valley Fire and Rescue  
2625 Hwy 101  
Florence Oregon 97439  
Office (541) 997-3212  
Fax (541) 997-9116  
Cell (541) 999-0600

---

**From:** Glen Southerland [mailto:glen.southerland@ci.florence.or.us]  
**Sent:** Wednesday, March 04, 2015 3:56 PM  
**To:** Mike Miller; Jim Langborg; Sean Barrett; Eric Rines; Lynn Lamm; Hicks, Robin  
**Cc:** Wendy Farley-Campbell; Vevie Walker  
**Subject:** Referral - PC 15 03 CUP 02 - Kindergarten Modular Building

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Best Regards,  
**Glen Southerland**  
Assistant Planner  
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