

AGENDA ITEM # 4

MAY 10, 2011

PUBLIC HEARING

Port of Siuslaw Restroom and Laundry Facilities: PC 11 01 CUP 01: An application for Conditional Use Permit and Design Review to replace the restroom and laundry buildings with new facilities at the Port of Siuslaw's RV Campground. The site is located east of Harbor Street, south of Quince Street and north of the Siuslaw boardwalk, near 100 Harbor Street, as applied by the Port of Siuslaw.

Exhibits:

- A. Finding of Fact
- B. Site Map (Existing and Proposed)
- C. Elevations of Laundry Facility
- D. Elevations of Restroom Facility
- E. Brochure of Restroom
- F. Color Sample for Restroom
- G. Landscaping Plan
- H. Parking Lot South of Site Showing Proposed ADA Space
- I. Applicant's Narrative and response to Staff's comments
- J. Location Map
- K. Site Indicated on Air Photo
- L. Findings of Fact from Resolution 92-5-26-26
- M. Planning Commission minutes for Resolution 92-5-26-26

**STAFF REPORT & FINDINGS
FLORENCE COMMUNITY DEVELOPMENT DEPARTMENT
Planning Commission**

Hearing Date: May 10, 2011 **Planner:** Michelle Pezley
Date of Report: May 3, 2011, Amended May 4, 2011
Application: PC 11 01 CUP 01

I. PROPOSAL DESCRIPTION

Proposal: An application for Conditional Use Permit and Design Review to replace the restroom and laundry buildings with new facilities at the Port of Siuslaw's Campground

Applicant/ Mark Freeman, Port of Siuslaw Manager/ Port of Siuslaw (Port)
Property Owner:

Location: Near 100 Harbor Street, North of the Siuslaw River, east of Harbor Street and south of Quince Street (Map No. 18-12-35-22 Tax Lot 03503)

Site: Adjacent to the car wash, along the northern property line 5,400 square feet of 3.02 Acres (See Exhibit K)

Comprehensive Plan Map Designation: Marine

Zone Map Classification: Waterfront Marine
Mixed Development Overlay District (/MD)

Surrounding Land Use/Zoning:

Site: Port of Siuslaw RV Park and Campgrounds/ Marine and (/MD)
North: Residences, Commercial Building, Vacant/ Old Town Area B and Marine
South: Parking lot, storage buildings and Siuslaw River/ Waterfront Marine and Development Estuary
East: Siuslaw River/ Dredge Spoils storage/ Natural Estuary
West: Commercial and Residential/ Old Town Area B

Streets/ Classification:
Harbor Street/ Local Street

II. NARRATIVE

The Port of Siuslaw campground consists of RV sites, tent sites, restrooms, car wash, office, and picnic pavilion along the river. The Port of Siuslaw RV Park was developed over dredge spoils. According to the Port, the campground was started in 1966 before the Florence Zoning Code was approved. In 1992, the Port came to the Planning Commission

The preparation of this report was made possible in part through financial assistance provided by the Coastal Zone Management Act of 1972, as amended, administered by the Office of Ocean and Coastal Resource Management, National Oceanic and Atmospheric Administration, through a grant to the Department of Land Conservation and Development.

for a Conditional Use Permit (CUP) and Design Review to expand their RV Park by 18 spaces. According to the Findings of Fact from Resolution 92-5-26-26 (See Exhibit K), the RV Park use was determined by the Planning Commission to be a water-related use, which was a conditional use under Marine Zoning District, Chapter 18 at that time.

In the beginning of 2008, the zoning text for Title 10, Chapter 24: Waterfront Marine was amended. Title 10, Chapter 24 permits uses and conditional uses from Chapter 17 Old Town District Area A, permitted uses in Chapter 18, Marine District, and conditional uses within Marine District. Under Old Town Area A, RV parks and campgrounds are listed as prohibited uses. Furthermore, in 2010, the City amended the definitions in Chapter 1 of "water related" and "water dependent" uses to be consistent with Oregon Planning Goals. Uses which are not required to be located near water and that may be located anywhere, such as a restaurant or campground is not considered water related or water dependent. Under current codes, the campground is considered a non-conforming use. However, the restrooms and laundry facilities are water related as they are needed to serve people using the boat ramp and docks.

The applicant is proposing to replace the restrooms and laundry building located at entrance of the Port's RV and Campground. When the city approved the RV and Campground extension in 1992, the city at the time also reviewed how the proposal meets the shorelands and estuary overlays. Staff waived the requirements for an environmental impact assessment.

In 2008, the Port applied for a CUP to replace the restrooms. The approval expired before the Port was able to start the project. The Port was awarded a grant from the Oregon State Marine Board and will be able to start work as soon as possible.

The restrooms and laundry building is used by the public, fishermen, and the campers. Since the facility is important to the function of the Port's boat ramp, the staff report reviews the restroom and laundry facilities as supporting that function rather than exclusively for the RV campground.

III. NOTICES & REFERRALS

Notice: Notice was sent to surrounding property owners within 300 feet of the 3.2 acre property and a sign was posted on the property on April 20, 2011. Notice will be published in the Siuslaw News on May 4, 2011. As of this writing, the city received no comments.

Referrals: Referrals were sent to Central Lincoln PUD, Qwest, Confederated Tribes of the Coos, Lower Umpqua and Siuslaw Indians, Florence Code Enforcement Officer, Florence Building Department, Florence Police Department, Siuslaw Valley Fire and Rescue, Florence Public Works, Western Lane Ambulance District, Federal Aviation Administration.

On April 22, 2011, Carl Dependahl, the Florence Building Official, stated: The proposal relates to a pre-fabricated restroom and a future laundry. At a minimum, plans with sufficient detail to verify compliance with Building Code/ ADA accessibility issues are required. Also, verification of appropriate site utilities is needed. They will both require appropriate plumbing/mechanical/electrical plans. Note: The pre-fab manufacturer's plans may be sufficient for much of the information for the restroom.

On May 4, 2011, Public Works Director, Mike Miller stated, "As part of this project, Florence Public Works will be relocating the water meter(s) to a location within the public right-of-way. The applicant shall coordinate the project's construction schedule with Public Works in order to limit service impacts. Additionally, the applicant is required to demonstrate that all publicly owned water, wastewater and stormwater mains, including service lines or laterals, are contained within easements prior to final occupancy of the facility. All public utilities located on the subject property shall be covered by easements. The minimum width of a utility easement is 15 feet with the service or main line centered within the easement. Prior to recording of the easements, Florence Public Works shall approve said easements." **(Condition 3)**

IV. APPLICABLE REVIEW CRITERIA

Florence City Code (FCC) Title

- Title 10-1: Zoning Administration
- Title 10-3: Off Street Parking
- Title 10-4: Conditional Uses
- Title 10-6: Design Review
- Title 10-18: Marine District
- Title 10-19: Estuary, Shorelands, Beaches, and Dunes
- Title 10-24: Waterfront Marine District
- Title 10-34: Landscaping

Florence Realization 2020 Comprehensive Plan

Chapters 2, 6, 16 and 17

V. PROPOSED FINDINGS AND CONCLUSION

The criteria are listed in bold followed by the findings of fact.

FCC TITLE 10: CHAPTER 24: WATERFRONT/MARINE DISTRICT

10-24-1: PURPOSE: The Waterfront/Marine District applies to areas designated a Water Dependent Site in the Florence Comprehensive Plan. The District is intended

to allow a mix of water-dependent, water-related and water-oriented uses along the Siuslaw River Estuary. The WF/M zone, while allowing up to 50% of the zone to be used for non-water-dependent or non-water related uses, will continue to be the community's center for water-dependent and water-related activities and will continue to provide access for such uses to the Siuslaw River Estuary in Florence.

10-24-3: BUILDINGS AND USES PERMITTED CONDITIONALLY: In the WF/M District, the Planning Commission, subject to the procedures and conditions set forth in Chapter 4 of this Title, may grant a Conditional Use Permit for any use listed in the Marine District (50% of the Zone) and Old Town District Area A (50% of the Zone), with affirmative findings that the criteria in section 10-24-4 are met.

The restrooms and laundry building will be used by the public, boaters, and fishermen. The facilities are considered a water-related use, which requires approval of a conditional use permit as listed in FCC 10-18-3.

10-24-4: SITE AND DEVELOPMENT PROVISIONS AND OTHER CRITERIA:

A. Fifty percent (50%) of the Waterfront Marine District shall be maintained and protected for Water Dependent and Water Related Uses as permitted with a Conditional Use Permit in the Marine District. The uses, site and development standards, and other criteria in the Marine District shall apply to these uses.

B. The uses, site and development standards, and other criteria in the Old Town District A shall apply to the remaining fifty percent (50%) of the Waterfront Marine District.

The applicant proposes to replace an existing building with two smaller buildings which are water related uses. Therefore, the site is proposed to be maintained and protected for the water related uses as permitted with a CUP and be reviewed under the Marine District.

C. In addition to the standards defined in subsections A and B, all development proposals in the Waterfront Marine District must demonstrate that the development will retain at least 50% of the zone to be used for-water-dependent or water related uses, as specified in Chapter 18: Marine District.

The site will be retained for water related uses.

FCC TITLE 10: CHAPTER 18: MARINE DISTRICT

10-18-3: BUILDINGS AND USES PERMITTED CONDITIONALLY: The Planning Commission, subject to the procedures and conditions set forth in Chapter 4 of this Title, may grant a conditional use permit for the following uses. The requirements of the adjacent Estuary District shall supersede the requirements in this section; and the provisions of the adjacent Estuary District shall be reviewed for any additional uses or requirements that may apply.

A. Water Dependent Uses

**Dredge or fill activities, consistent with the adjacent Estuary District provisions.
Wharves, docks, and piers, consistent with the adjacent Estuary District provisions
Other water dependent buildings and uses as those are defined in the definition of
Water Dependent Uses in this Code.**

B. Water Related Uses

C. Temporary Uses

FCC 10-1 defines water-related uses as, "Uses which are not directly dependent upon access to a water body, but which provide goods or services that are directly associated with water dependent land or waterway use, and which, if not located adjacent to water, would result in a public loss of quality in the goods or services offered. Except as necessary for water-dependent or water-related uses or facilities, residences, parking lots, spoil and dump sites, roads and highways, restaurants, businesses, factories, and trailer parks are not generally considered dependent on or related to water location needs."

The Port's restrooms and laundry facilities serve a variety of people such as commercial and recreational boaters, campers, tourists, and local residences. Without the restrooms, there would be a public loss of quality of services offered for the boat ramp and docks; therefore, meets the definition of water-related use.

10-18-4: SPECIFIC APPROVAL CRITERIA:

A. Conditional Use Permit: In addition to the general approval criteria set forth in Section 10-4-9 of this Title, the following criteria shall apply to the consideration of a conditional use permit in this District in addition to applicable criteria in the adjacent Estuary District:

1. The proposed use must be a Water Dependent or Water Related Use, as defined in Chapter 1 of this Title.

As addressed above, the restroom and laundry facilities meet the definition of water-related uses by providing a public service to the boat ramp and docks.

2. Where the proposed location is within a management unit as defined in the Comprehensive Plan, approval is subject to the "allowed uses and priorities" listed for that management unit. Where competition for limited land area exists, uses higher on the list have priority.

The management unit for the location of the site as defined by the Comprehensive Plan states:

Management Unit #4 is the developed shoreline of Old Town Florence and the Port from Kingwood Street to the North Fork tideflats, including the Highway 101 Bridge, the Port of Siuslaw Marina, and Dredge Spoils Site #19.

Rationale is:

- a. Existing urban residential and commercial development within the City of Florence;
- b. Existing marina development;
- c. Existing water-dependent, water-related uses;
- d. Dredge spoils site.

Furthermore, the subarea for the site:

At least fifty percent of Unit 4.2 must be protected for water-dependent and water-related uses. ¹ Access, terrain, proximity to deep water, compatibility with historical and existing uses, and ownership patterns would support this reasoning. About one-third of this unit is already developed into water-dependent/related uses. It is vital to the future economy of the Florence area that an adequate portion of this area be reserved for the widest possible range of high intensity recreation, commercial and industrial water-dependent uses.

Due to the proximity of the Management Unit to the North Fork shoals, the main turning basin and the lack of suitable dredged sites near those shoals, a dredged material disposal "stockpile" site has been designated (DMDP site #19) in this unit. The location of that site is critical. Improvements such as those to the jetty which would allow more year-round, all weather bar crossing is expected to increase the demand for marine-related uses and the needs of the fishing industry. This area has the highest potential for receiving stations and processing facilities, marinas/moorages, boat repair and servicing, cold storage, canneries, or possible aquaculture release/recapture facility at Munsel Creek. Uses for this area must be flexible and in keeping with the Port of Siu-law goals. One recorded tribal archaeological site is located in this management unit and another tribal archaeological site is located in the nearby Natural Estuary Management Unit G. There is a high probability that there are additional archaeological resources in this Management Unit.

The proposal is consistent with the management unit as defined by the Comprehensive Plan. The restroom and laundry facilities proposal is part of existing urban residential and commercial development within the City of Florence; existing marina development; and existing water-dependent, water-related uses.

3. In the case of water related uses, approval must be based on findings that:

- a. **Water Related Uses must be in conjunction with and incidental and subordinate to water-dependent uses on the site and there are no alternative upland locations in other districts which would be suitable for the proposed use;**

¹ CRMP amendment by Lane County in 1996.

The proposal is in conjunction with and subordinate to the water-related boat ramp and docks. Other upland locations would not be feasible to service the boat ramp and docks. Furthermore, other upland locations would create a loss in public service as restrooms are essential for public gathering places.

b. There are sufficient sites available to meet projected needs for water dependent uses, especially sites adjacent to the estuary.

Most of the Waterfront Marine district is owned by the Port and most of the district has been developed. The area south of the site has a vacant building which is possible for redevelopment for water dependent uses.

c. Such non-water-dependent uses shall be constructed at the same time as or after the water-dependent use of the site is established, and must be carried out together with the water-dependent use.

This criterion does not apply. The applicant proposes to replace existing facilities that will be used by those who are using the boat ramp and docks, as well as campers, tourists, and residents and is considered a water-related use.

d. The ratio of the square footage of ground-level indoor floor space plus outdoor acreage distributed between the non-water-dependent uses and the water-dependent uses at the site shall not exceed one to three (non-water-dependent to water-dependent).

The restrooms and laundry facilities are consisted water-related. The site consists of water-related use of two buildings, landscaping, and some concrete. The applicant states the site under review is 5,400 square feet of the total 3.2 acres or 3%, therefore; the one to three ratio is not exceeded.

e. Such non-water-dependent uses shall not interfere with the conduct of the water-dependent use.

There are no additional non-water-dependent uses proposed at this time which would interfere with the water-related use. The proposed facilities replace existing ones.

f. For temporary non-water-dependent uses: the use must involve minimal capital investment and no permanent structures. The intent of allowing such uses is to avoid posing a significant economic obstacle to attracting water-dependent uses. Tools for implementing this approach include "vacate" clauses in leases on public lands, as well as requiring "vacate" clauses for land use approvals involving leasing of private lands.

The applicant is not proposing a temporary non-water-dependent use; therefore, this criterion does not apply.

B. Special Conditions: In addition to the general conditions listed in Sections 10-4-10 and 10-4-11, special conditions may be required.

1. State and/or Federal permits for any dredge, fill or installation of pilings must be obtained, if applicable.
2. Structures or vegetative plantings may be required to prevent riverbank erosion.

The proposal does not need State and/or Federal permits nor will the construction be near the riverbank to cause any erosion.

10-18-5: PROPERTY DEVELOPMENT STANDARDS:

A. Minimum Lot Area: The minimum lot area shall be two thousand five hundred (2,500) square feet.

The proposal meets the criterion. The 5,400 square feet site is on a 3.2 acre lot.

B. Minimum Lot Dimensions: The minimum lot width shall be fifty feet (50').

The proposal meets the criterion. The lot width is 65 feet.

C. Lot Coverage: Eighty-five percent (85%) lot coverage, unless a preservation credit is achieved in accordance with FCC 10-34-2-4.

The site consists of 43% lot coverage. The proposal meets the criterion.

D. Setback Requirements:

1. Front yards are not required except where setbacks have been established for road widening or other purposes.
2. Side yards are not required except:
 - a. Where setbacks have been established for road widening or other purposes;
 - b. Where the use abuts a residential district. In such instances a buffer may be required; and
 - c. Where required to preserve a visual corridor or public access to the river.

Harbor Street is a local street and there are no policies to widen Harbor Street. There is no residential district abutting the project site and the project site is not abutting the river; therefore, there are no setbacks are required. The applicant is proposing a three foot setback on the north for a sidewalk. The building will be 8 feet away and meets the setback requirements.

3. Shorefront setback requirements will be required for permanent structures in those instances where sound engineering practices require setback:

- a. To comply with the National Flood Insurance Program;
- b. To provide for shoreland stabilization or protection measures; and
- c. To allow a buffer strip for areas of geological instability.

The property does not abut the river, therefore; these criteria do not apply.

E. Building and Structural Height Limitations: The maximum building or structural height shall be twenty eight feet (28').

The restrooms will be 12 feet high to the tallest point and the laundry facility will be 10 feet high. Both buildings are less than the twenty eight feet maximum height, therefore, the proposal meets the height limit.

F. Fences, Hedges, Walls and Landscaping: The City may require that a fence, hedge, wall or landscaping be maintained within the Marine District or with abutting districts. Refer to Section 10-34 of this Title for requirements. (Ord. 625, 6-30-80)

The applicant proposes to keep the existing six foot high fence. FCC 10-34 allows a fence to be up to six feet. The proposal meets the fence requirements.

G. Parking and Loading Space: Refer to Chapter 3 of this Title for specific parking requirements. (Ord. 625, 6-30-80; amd. Ord. 669, 5-17-82)

FCC 10-3-4-C does not have standards for public marinas. The property south of the site is a parking lot for the marina which has 75 parking spaces. The parking code requires retail and service to have 1 space per 333 square feet. The laundry facility would be considered a service and will need two spaces with one space to be a handicap parking space. As shown in Exhibit K the site is adjacent to a parking lot which is owned by the Port. The applicant proposes to add an ADA parking space closest to the restroom (see Exhibit H).

H. Visual Clearance: Refer to Section 10-1-4 and 10-35-2-13 of this Title for definition and requirements.

FCC 10-1-4 defines vision clearance as, "a triangular area at an intersection; the space being defined by a line across the corner, the ends of which are on street lines or alley lines, an equal and specified distance from the corner and containing no planting, walls, structures or temporary or permanent obstruction from two and one half feet (2 1/2') above the street grade to a height of eight feet (8')".

FCC 10-35-2-13 states,

Vision Clearance: No visual obstruction (e.g., sign, structure, solid fence, or shrub vegetation) shall block the area between two and one-half feet (2 1/2') and eight (8) feet in height in "vision clearance areas" on streets, driveways, alleys, mid-block lanes, or multi-use paths where no traffic control stop sign or signal is provided, as shown in Figure 10-35(4). The following requirements shall apply in all zoning districts:

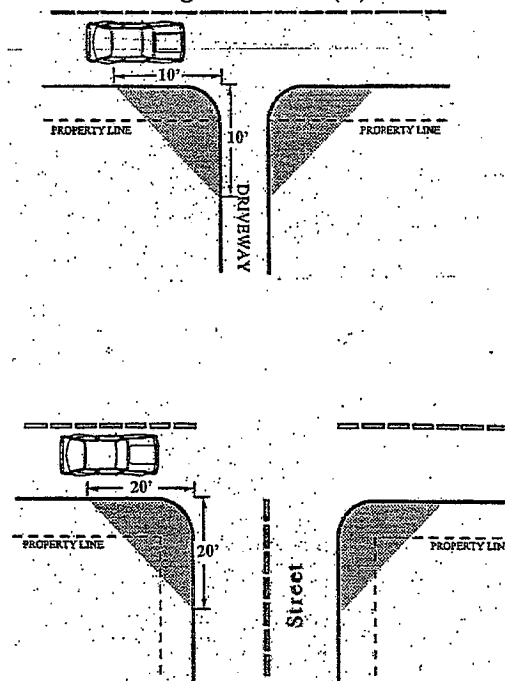
A. At the intersection of two (2) streets, minimum vision clearance shall be twenty feet (20').

B. At the intersection of an alley or driveway and a street, the minimum vision clearance shall be ten feet (10').

C. At the intersection of internal driveways, the minimum vision clearance shall be ten feet (10').

The sides of the minimum vision clearance triangle are the curb line or, where no curb exists, the edge of pavement. Vision clearance requirements may be modified by the Public Works Director upon finding that more or less sight distance is required (i.e., due to traffic speeds, roadway alignment, etc.). This standard does not apply to light standards, utility poles, trees trunks and similar objects. Refer to Section 10-1-4 of this Title for definition.

Figure 10-35(4)



The applicant proposes using the existing driveway off Harbor Street, which will require vision clearance areas that are ten feet by ten feet on each side of the driveway. The vision clearance areas are free of visual obstructions; therefore, the proposal meets the criterion.

I. Signs: Signs shall be in accordance with Title 10, Chapter 26 of this Code, and amendments thereto. (Ord. 26, 2008)

The applicant did not propose signs. All new signs shall meet the requirements of the sign code under FCC 4-7.

J. Vegetative Strip: A vegetative strip adjacent to the estuary shall be maintained, insofar as possible, consistent with permitted uses.

There is another property between the site and the river. This criterion does not apply.

K. Utility Systems and Public Facilities: The necessary utility systems and public facilities must be available with sufficient capacity to serve the proposed use. Refer to Section 10-36 of this Title for requirements.

Florence Public Works will be relocating the water meter(s) to a location within the public right-of-way. The applicant shall coordinate the project's construction schedule with Public Works in order to limit service impacts. Additionally, the applicant is required to demonstrate that all publicly owned water, wastewater and stormwater mains, including service lines or laterals, are contained within easements prior to final occupancy of the facility. All public utilities located on the subject property shall be covered by easements. The minimum width of a utility easement is 15 feet with the service or main line centered within the easement. Prior to recording of the easements, Florence Public Works shall approve said easements. **(Condition 3)**

L. Access and Circulation: Refer to Section 10-34 of this Title for requirements.

The applicant does not propose to change the access and circulation of the property or neighboring property which has shared access to the site. This criterion does not apply at this time.

M. Design Review: All uses shall be subject to the design review provisions of Chapter 6 of this Title. (Ord. 625, 6- 30-80)

Design Review criteria are reviewed below in the Design Review section of this report.

TITLE 10, CHAPTER 19: ESTUARY, SHORELANDS, BEACHES AND DUNES

10-19-7: MIXED DEVELOPMENT OVERLAY DISTRICT (/MD):

A. Purpose: The Mixed Development Overlay District (/MD) is applied to those coastal shorelands which are recognized in the City Comprehensive Plan and supportive technical data as being all or partially committed to commercial, industrial and public uses. The proximity of these lands to the dredged channel of the Siuslaw River dictates that opportunities shall be provided to preserve and expand existing water-dependent and water-related commercial, industrial or public uses. If the shorelands are adjacent to the estuary, refer to the adjacent Estuary District for additional allowed uses and criteria. The requirements of any adjacent Estuary District shall supersede the requirements of this Section of the Code. Shoreland uses and buffer zones shall not prohibit landside components of activities and uses as otherwise permitted in the adjacent estuary.

The site is not adjacent to an Estuary District; therefore, the shorelands uses (Mixed Development Overlay (/MD)) apply.

In addition, the /MD District is specifically intended to carry out the following purposes:

1. Provision, adjacent to deep water environments, of shorelands sites for use by waterdependent and water- related commercial and industrial uses.
2. Protection of previously-existing water-dependent and water-related commercial and industrial sites in shorelands areas.
3. Provision of opportunities for non-water-dependent and non-water-related uses where designated in the Comprehensive Plan.
4. Protection of coastal waters and avoidance of geographic and hydrologic hazards.

The restrooms meet the purpose of the /MD District. As mentioned in the Marine Zoning District, the use is consistent with the Management unit from the Comprehensive Plan. The restrooms are a water-related use and will support the water-dependent marine use.

B. Permitted Uses: In addition to uses specifically allowed in the adjacent Estuary District, the following structures and uses and no others are permitted outright, provided they are consistent with the requirements of the adjacent Estuary District.

1. Dryland storage.
2. Shore-secured floating moorage facilities, mooring buoys, and launch ramps.

C. Special Uses Approved by Administrative Review: In addition to Special Uses specifically allowed in the adjacent Estuary District, the following uses are permitted only with a Special Use Permit. A Special Use Permit may be approved according to the procedures set forth in Chapter 1 of this Title, provided they are consistent with the requirements of the adjacent Estuary District and upon satisfaction of the applicable criteria in Section F and below:

1. All permitted buildings and uses permitted outright in the base zoning district, provided the requirements of the base zoning district are met.
2. Water-dependent and water-related commercial, industrial and public uses, subject to the following criteria and conditions:
 - a. The site has the potential for water-dependent and water-related uses.
 - b. Maintain or encourage riparian vegetation for erosion control and temperature and general aesthetics where feasible.

D. Conditional Uses: In addition to Conditional Uses specifically allowed in the adjacent Estuary District, the following specified uses and no others are permitted subject to approval by the Planning Commission. The Planning Commission, subject to the procedures and conditions set forth in Chapter 4 of this Title, may grant a Conditional Use Permit for the following uses, provided they are consistent with the requirements of the adjacent Estuary District and upon satisfaction of the applicable criteria in Section F and below:

1. All buildings and uses permitted Conditionally or by Special Use Permit in the base zoning district, provided the requirements of the base zoning district are met.

The restrooms are permitted conditionally in the overlay district because the use is considered a conditional use in the base zoning district. Please refer to the zoning district section of the report above to review how the proposal meets the criteria.

E. Determination of Land Suitable for Water-Dependent Uses: Land suitable for water-dependent uses has been designated in the Florence Comprehensive Plan and classified on the Zoning Map as the sites zoned Waterfront Marine and Marine. The zoning provisions in these districts protect these sites for water-dependent uses.

This site is designated as land suitable for water-dependent uses as it is zoned Waterfront Marine and Marine and is listed in the Comprehensive Plan. Water-related uses are considered a conditional use within the zoning district. Please refer to the conditional use permit section of this report to review how the project meets the conditional use criteria.

F. Site and Development Requirements for Special and Conditional Uses: The development requirements specified herein shall be in addition to those provided by the base zoning district. See also Chapter 7, Special Development Standards for any applicable requirements.

1. A 50 foot buffer of riparian vegetation measured from the mean high tide shall be maintained to promote bank stabilization, maintain water quality and temperature, reduce erosion and for general aesthetics, except where unfeasible in connection with a water-dependent or water-related use.

The site is over 200 feet away from the river; therefore, this criterion does not apply.

2. The applicant must submit an analysis of all physical and biological impacts upon the shorelands area and upon coastal waters and water resources. The report shall consider at a minimum the critical relationships which exist between coastal shorelands and coastal water resources and the potential for geological and hydrological hazards.

The Planning Commission reviewed the environmental impacts of the RV campground at the time of Conditional use permit in 1992. There have been very few changes to the facility since 1992. Staff did not ask for this information again for this review.

3. The benefits of the proposed activity to the long term economic development or improved public recreational use shall outweigh the negative impacts on water quality, temperature and resources, bank stabilization, erosion control and general aesthetics.

The restrooms and laundry facility will benefit the water quality as there will be public facilities for people to use rather than using the river. The facilities also benefit the public recreational use. The existing restrooms have been vandalized. The new restrooms are built to resist vandalism and improve the safety for the campers, boaters, and residents in the area. With proper erosion control during construction, there will be no effects of the development to the bank stabilization or temperature of the river. Erosion control measures will be required with the building permit.

4. For existing lots which are too small to accommodate the buffer zone, development will be allowed within the buffer zone only with approval of a variance issued under Chapter 5 of this code. In addition it must be shown that clearance of vegetation on the remainder of the lot is kept to an absolute minimum, stormwater is directed away from the bank, engineered plans protect life, property, and the coastal water (that is no erosion hazards, slide potential, or flood damage are likely to occur).

The site is over 200 feet away from the river; therefore, the buffer zone criterion does not apply. The facilities replace existing facilities and vegetation removal is very limited and will be replaced prior to issuance of final occupancy. (See Condition 9)

REALIZATION 2020 FLORENCE COMPREHENSIVE PLAN

Chapter 2: Policy 3: The quality of residential, commercial and industrial areas within the City shall be assured through the enforcement of City zoning, design review, applicable conditions of development approval, parking and sign ordinances, and the enforcement of building, fire, plumbing and electrical codes.

As discussed in the design review and zoning districts, the applicant is making every attempt to meet the applicable conditions of development. Carl Dependahl, the Florence Building Official will not issue a building permit until the proposal meets building, fire, plumbing and electrical codes.

Chapter 6: Air, Water and Land Quality

Policy 3: Site construction procedures shall not contribute to serious erosion and sedimentation of lakes, impoundments or waterways.

The property owner shall make sure no sand leaves the site during construction. A sand management plan is required with the application of the building permit. **(Condition 4)**

Chapter 17: Coastal Shorelands:

Policy 8. This Plan, implementing actions, and permit reviews shall include consideration of the strong relationships between Coastal Shorelands and traditional tribal land use patterns which have been heavily dependent on the resources of coastal and estuarine waters, and shall conserve archaeological resources. Actions shall avoid, where possible, impacts to archaeological resources. Unavoidable impacts to tribal archaeological resources shall be mitigated in consultation with the Confederated Tribes of the Coos, Lower Umpqua and Siuslaw Indians. Mitigation may include data recovery (archaeological excavation), capping, or other appropriate methods of preserving the archaeological value of the site.

The management unit within the Comprehensive Plan for this site listed that this area may have archaeological value to the Confederated Tribes of the Coos, Lower Umpqua and

Siuslaw Indians. The City sent a referral to the Tribes. As of this writing, the tribes have not responded to the referral.

Policy 15. In Mixed Development Management Units, the following additional policies shall apply:

a. For Shorelands in the Mixed Development MU within the Florence UGB, implementation requirements in Lane Code Chapter 10 Overlay Zoning Districts shall apply outside city limits, and the Mixed Development Overlay Zoning District in Florence City Code Title 10 Chapter 19 shall apply inside city limits.

Please review the Title 10, Chapter 19 section of this report on how the proposal meets the criteria listed in the Mixed Development Overlay Zoning District.

b. Uses shall respect the priorities set out in the General Priority statement (Policy 12).

Policy 12 states: General priorities for the overall use of Coastal Shorelands (from highest to lowest) shall be to:

1. Promote uses which maintain the integrity of estuaries and coastal waters;
2. Provide for water-dependent uses;
3. Provide for water-related uses;
4. Provide for nondependent, nonrelated uses which retain flexibility of future use and do not prematurely or inalterably commit shorelands to more intensive uses;
5. Provide for development, including nondependent nonrelated uses, in urban areas compatible with existing or committed uses;
6. Permit nondependent, nonrelated uses which cause a permanent or long-term change in the features of coastal shorelands only upon a demonstration of public need.

The restrooms and laundry facilities fall under the definition of water-related uses which is #3 of the priority list.

FCC TITLE 10: CHAPTER 4: CONDITIONAL USES

10-4-1: DESCRIPTION AND PURPOSE: Certain types of uses require special consideration prior to their being permitted in a particular district. The reasons for requiring such special considerations involve, among other things:

A. The size of the area required for development of such uses;

The size of the development is consistent with its use. The new restrooms and laundry facilities will decrease the lot coverage by 28 square feet. (See Exhibit B)

B. The effect such uses have on the public utility systems;

The applicant is proposing to relocate the power lines to underground. The new facilities will not have any effect or change to the public utility system. Furthermore, Florence Public Works will be relocating the water meter(s) to a location within the public right-of-way. The applicant shall coordinate the project's construction schedule with Public Works in order to limit service impacts. Additionally, the applicant is required to demonstrate that all publicly owned water, wastewater and stormwater mains, including service lines or laterals, are contained within easements prior to final occupancy of the facility. All public utilities located on the subject property shall be covered by easements. The minimum width of a utility easement is 15 feet with the service or main line centered within the easement. Prior to recording of the easements, Florence Public Works shall approve said easements. **(Condition 3)**

C. The nature of traffic problems incidental to operation of the use;

There are no known or cited traffic problems at the site.

D. The effect such uses have on any adjoining land uses; and

Once construction is completed, the new restrooms and facilities will not have any negative change to the adjoining land uses. In fact, the improved safety features will discourage additional vandalism.

E. The effect such uses have on the growth and development of the community as a whole. All uses permitted conditionally are declared to be in possession of such unique and special characteristics as to make impractical their being included as outright uses in any of the various districts created by this Title. The authority for the location and operation of certain uses shall be subject to review by the Planning Commission and issuance of a conditional use permit. The purpose of review shall be to determine the type of uses permitted in surrounding areas and for the further purpose of stipulating such conditions as may be reasonable, so that the basic purposes of this Title shall be served. (Ord. 625, 6-30-80; amd. Ord. 669, 5-17-82).

The new restroom and laundry facility will have a positive effect on the growth and development on the community as a whole as it will improve the safety and looks of the area. The police department has requested the port lock half of the restrooms at night. The applicant stated in his application (see Exhibit I) that they plan to comply.

10-4-9: GENERAL CRITERIA: A conditional use permit may be granted only if the proposal conforms to all the following general criteria: (Ord. 669, 5-17-82)

A. Conformity with the Florence Comprehensive Plan.

The Florence Realization 2020 Comprehensive Plan policies are reviewed in the Comprehensive Plan section of this report above. In summary, the proposal conforms to the Florence Realization 2020 Comprehensive Plan.

B. Compliance with special conditions established by the Planning Commission to carry out the purpose of this Chapter.

The purpose of the Conditional Use Permit is explained in the beginning of this section of the report. No special conditions are recommended.

C. Findings that adequate land is available for uses which are permitted outright in the district where the conditional use is proposed. Available land can be either vacant land or land which could be converted from another use within the applicable zoning district. Land needs for permitted uses may be determined through projections contained in the Florence Comprehensive Plan or other special studies.

There are other sites within the Waterfront Marine District which may be redeveloped for allowed uses.

D. Conditional uses are subject to design review under the provisions of Chapter 6 of this Title, except single family and duplex residential use. (Ord. 625, 6-30-80) See Code Section 10-6-3 for Design Review requirements.

The design criteria are addressed below in section FCC 10-6 of this report.

E. Adequacy of public facilities, public services and utilities to service the proposed development.

As discussed in the beginning of this section, the use will not require additional city utilities. Other service providers do not have concerns with the project with the exception of Public Works. Florence Public Works will be relocating the water meter(s) to a location within the public right-of-way. Please coordinate your project's construction schedule with Public Works in order to limit service impacts. Additionally, the applicant is required to demonstrate that all publicly owned water, wastewater and stormwater mains, including service lines or laterals, are contained within easements prior to final occupancy of the facility. All public utilities located on the subject property shall be covered by easements. The minimum width of a utility easement is 15 feet with the service or main line centered within the easement. Prior to recording of the easements, Florence Public Works shall approve said easements. **(Condition 3)**

F. Adequacy of vehicle and pedestrian access to the site, including access by fire, police and other vehicles necessary to protect public health and safety. (Ord. 669, 5-17-82).

The proposed restrooms will not change the Port's demand for public facilities, public services, and utilities since proposal only replaces the existing restrooms and laundry facilities.

10-4-10: GENERAL CONDITIONS: The Planning Commission may require any of the following conditions it deems necessary to secure the purpose of this Chapter. Where a proposed conditional use is permitted in another district, the Planning Commission may apply the relevant development standards from the other district. In addition, conditions may be required by the Design Review Board. Such conditions may include: (Ord 625, 6-30-80; amd. Ord 669, 5-17-82).

A. Regulation of uses, special yard setbacks, coverage and height.

As mentioned in the Marine and Waterfront Marine District sections of this review, the project meets the lot coverage, height, and use. The City finds the proposal is adequate for the site, height, and use.

B. Requiring fences, walls, screens and landscaping plus their maintenance. Fencing is required when wholesaling, warehousing and storing of outdoor sales.

The applicant is not proposing wholesaling, warehousing, or storage of outdoor sales. The applicant proposes to add landscaping around the building as addressed below. No additional regulation is needed.

C. Regulation and control of points of vehicular ingress and egress.

Vehicular ingress and egress was discussed above and meets the criterion.

D. Regulation of signs.

Signs are not proposed for the site. Any new signs shall apply to the sign code as outlined in FCC Title 4, Chapter 7.

E. Regulation of noise, vibration, odors, and sightliness.

Construction and placement of the restroom and laundry facilities will have minor noise, vibration and dust; however, once the proposed buildings are in place, there will not be any additional noise, vibration, dust, or odor.

F. Requiring surfacing of parking areas.

Please refer to Marine District section of this report for parking review.

G. Requiring rehabilitation plans. The City may require the rehabilitation of substandard or nonconforming buildings or uses. In such an instance, the voluntary cooperation of the owner shall be solicited. The City may establish a schedule of rehabilitation which allows reasonable time for compliance, does not create a financial hardship for the owner and fulfills the purpose and intent of this Chapter. In the absence of voluntary compliance, the City will enforce the applicable codes, State laws or City ordinances to affect structural, building, electrical, clearance of debris or vehicles, elimination of health, safety and sanitation problems or deficiencies when necessary.

The proposal is a rehabilitation project. No other buildings have been cited as a health or safety problem on the site or property.

H. Regulation of hours of operation and duration of use or operation.

The applicant seeks a permanent conditional use permit for the two buildings. Half of the restrooms will be in operation 24 hours a day, seven days a week, while the other half will be locked at night.

I. Requiring a time period within which the proposed use shall be developed.

The applicant proposes to start construction soon after obtaining the building permit once the land use approval is obtained. The applicant states that the laundry building will be started two weeks after the restrooms are completed. The design review and conditional use criteria (FCC 10-6-9 and FCC 10-4-7) requires substantial construction be completed within one year of approval. The code considers substantial construction as completion of a building foundation.

J. Requiring bonds to insure performance of special conditions.

No special conditions or city infrastructure improvements are recommended or required; therefore, no bonds are required.

K. Regulation of tree and vegetation removal to maintain soil stability, preserve natural habitat, protect riparian vegetation, buffer conflicting uses, and maintain scenic qualities.

Due to the site being over 200 feet from the river bank, there is no known natural habitat, riparian vegetation, or scenic quality existing at the site or would be affected by the project.

L. Such other conditions as will make possible the development of the City in an orderly and efficient manner and in conformity with the intent and purpose of the Florence Comprehensive Plan.

No special conditions are needed to meet the intent and purpose of the Florence Comprehensive Plan.

FCC: TITLE 10, CHAPTER 6: DESIGN REVIEW

10-6-1: PURPOSE: The design review process is intended to:

- A. Create an attractive appearance that will enhance the City and promote the general welfare of its citizens.**
- B. Provide property owner the means to protect and conserve the architectural tone of their neighborhood.**
- C. Recognize areas of existing or potential scenic value.**
- D. Protect and preserve buildings and sites that are of significant architectural or historic merit. (Ord. 625, 6- 30-80)**

10-6-5: GENERAL CRITERIA: The Design Review Board may require any of the following conditions it deems necessary to secure the purpose and intent of this Chapter. The Board shall, consider the effect of its action on the availability and cost of needed housing. The Board shall not use the requirements of this Section to exclude needed housing types. However, consideration of these factors shall not prevent the Board from imposing conditions of approval if the costs of such conditions shall not unduly increase the cost of housing. The Board shall have no authority to affect dwelling unit densities. The Board shall consider the following criteria reviewing applications and may set conditions or standards which regulate and limit the following: (Ord. 680, 1-11-83)

A. Setbacks, yards, height, density and similar design features according to the underlying zoning district.

Setbacks and height are discussed above in the Conditional Use Permit section and Marine and Waterfront Marine section of this report.

B. Lot area, dimensions and percentage of coverage according to underlying zoning district.

The lot area, dimensions, and percentage of coverage are discussed in the Marine and Waterfront Marine section of this report.

C. Installation and maintenance of fences, walls, hedges, screens and landscaping according to standards set forth in FCC 10-34 Landscaping, and any requirements of the underlying zoning district.

The landscaping proposal is discussed in section FCC 10-34 review below. The applicant proposes to keep the existing fence which borders the northern property line. The proposal meets these requirements with conditions of approval. No additional fences, walls or screening are proposed or required.

D. The location and design of access and egress points for vehicles and pedestrians, including access points along State highways according to standards set forth in FCC 10-35 Access and Circulation, and any requirements of the underlying zoning district.

The location and design of the ingress and egress points are discussed above in the conditional use section of this report.

E. Noise, vibration, smoke, dust, odor, light intensity and electrical interference's.

The construction and placement of the project will produce noise, vibration, possible smoke, dust and odor. Once construction is completed, no additional noise, vibration, smoke, dust, odor, light intensity and electrical interference are proposed.

F. Parking and outside display areas, dimensions, surfacing and on-site traffic circulation according to standards set forth in FCC 10-3 Parking and Loading.

No new parking spaces are required. The applicant is proposing converting a standard space to one new ADA space closest to the restroom (see Exhibit H). Prior to final occupancy of the restroom facility, the ADA space shall be marked and signed as required by FCC 10-3-5. **(Condition 5)**

G. Signs according to standards set forth in FCC 10-26 Sign Regulations and Matrix.

Signs are not proposed; therefore, this criterion does not apply.

H. Architectural quality and aesthetic appearance, including compatibility with adjacent buildings.

As shown in Exhibit D, the one story bathroom building will have a standard tan barnwood texture with a dark green gabled roof. Each of the shower rooms will have doors accessing outside. There will be one door for the mechanical room/hallway. The sides will have small windows close to the ceiling to let natural light in while protecting privacy of the users. The building will be compatible with the office building and car wash. The laundry facility is proposed to be a box with a flat roof and windows only to the front of the building facing south (see Exhibit C). The building is proposed to have similar colors as the restrooms.

I. Color, building materials and exterior appearance in accordance with the policies established by the City in the Downtown Implementation Plan, and in applicable zoning districts.

The buildings will have tan colored walls and dark green or brown concrete roofs as shown in Exhibit F.

J. Exterior lighting and security.

All exterior lighting shall meet the requirements listed FCC 10-3-8-G and most importantly, lighting shall be directed downward. Direct glare and reflection shall be fully shielded to prevent lighting spillover into any adjacent residential district or use.

K. Public health, safety and general welfare.

Replacing the current bathrooms will help with public health. The new proposed building will be easier to take care and designed to be resistant to vandalism, thus protecting the health, safety and general welfare of the users.

L. Provision of public facilities and infrastructure according to standards set forth in FCC 10-36 Public Facilities.

The application does not require construction or expansion of public utilities or facilities with the expansion with the exception of the water meter and water lines. FCC 10-36-6 states:

10-36-6: EASEMENTS

A. Provision. Dedication of easements for storm water, sewers, water and for access thereto for maintenance, in order to safeguard the public against flood damage and the accumulation of surface water; dedication of easements for sanitary sewers, and for access thereto for maintenance; and dedication of easements for other public utilities may be required of the land divider by the Planning Commission along lot rear lines, lot side lines or elsewhere as necessary to provide needed facilities for present or future development of the area in accordance with the purpose of this Title. Easements for utility lines shall be not less than fifteen feet (15') in width and the utility shall be located in the center of the easement. Before a partition or subdivision can be approved, there shall appear thereon a restriction, providing that no building, structure, tree, shrubbery or other obstruction shall be placed or located on or in a public utility easement. The City may require an additional five foot (5') easement for utility lines along street frontages when necessary.

B. Recordation. As determined by the City all easements for sewers, storm drainage and water quality facilities, water mains, electric lines, or other public utilities shall be recorded with the final plat.

Florence Public Works will be relocating the water meter(s) to a location within the public right-of-way. Please coordinate your project's construction schedule with Public Works in order to limit service impacts. Additionally, the applicant is required to demonstrate that all publicly owned water, wastewater and stormwater mains, including service lines or laterals, are contained within easements prior to final occupancy of the facility. All public utilities located on the subject property shall be covered by easements. The minimum

width of a utility easement is 15 feet with the service or main line centered within the easement. Prior to recording of the easements, Florence Public Works shall approve said easements. **(Condition 3)**

M. Requiring a time period within which the proposed use or portions thereof shall be developed.

Title 10, Chapter 4, Section 7 states,

Authorization of a conditional use permit shall be valid one (1) year after the date of approval of a conditional use application, unless a building permit has been issued and substantial construction pursuant thereto has taken place. Substantial construction shall be considered to be completion of a building foundation.

The applicant may apply to the Planning Commission for a one-time extension of one (1) year maximum duration based on compliance with the following criteria:

- A. The request for an extension is made in writing prior to expiration of the original approval.**
- B. There are special or unusual circumstances that exist which warrant an extension.**
- C. No material changes of surrounding land uses or zoning has occurred.**

The Planning Commission may deny the request for an extension of a conditional use if new land use regulations have been adopted that affect the applicant's proposal. (Ord. 26, 2008).

The design review is also valid for one year with the same criteria as listed for the conditional use permit.

N. Requiring bonds to insure performance of special conditions. (Ord. 625, 6-30-80)

There are no special conditions required with the proposed development; therefore bonds to insure performance are not necessary. No public infrastructure improvements are required for this project; therefore, no performance agreement, petition or bond for improvements shall be required.

O. Such other conditions as are necessary to implement policies contained in the Florence Comprehensive Plan. (Ord. 680, 1- 11-83)

No special conditions are proposed or required at this time.

TITLE 10, CHAPTER 34: LANDSCAPING

10-34-1: PURPOSE: The purpose of Chapter 34 is to promote community health, safety, and welfare by protecting natural vegetation and setting development standards for landscaping, street trees, fences, and walls. Together, these elements of the natural and built environment contribute to the visual quality, environmental health, and character of the community. Landscaping plants and materials are intended to conserve, enhance and be compatible with the coastal village character of Florence, with liberal use of evergreens and native species.

10-34-3-1: Applicability. Except for single-family and duplex dwelling uses, this Section shall apply to all new development as well as changes of use and expansions as described below, and shall apply in all districts except where superseded by specific zoning district requirements.

A. For developments requiring a public hearing, all landscaping shall be brought up to current code requirements.

B. For developments not requiring a public hearing, landscaping shall be brought up to current code requirements in the same proportion as the increase in use and/or building size.

The application meets criterion A above. The site is 5,400 square feet. The site consists of the restroom and laundry facilities, sidewalk and pavement. The applicant proposes 57% of the site to consist of landscaping. Any turf grass which is removed for construction will be replaced.

10-34-3-2: Landscaping Plan Required. A landscape plan is required. All landscape plans shall include the following information:

A. The location and height of existing and proposed fences and walls, buffering or screening materials.

B. The location of existing and proposed terraces, retaining walls, decks, patios, shelters, and play areas.

C. The location, size, and species of the new proposed plant materials (at time of planting).

D. The location(s) of areas where existing vegetation will be cleared and the location(s) of areas where existing vegetation will be preserved, delineated on a recent aerial photo or site plan drawn to scale.

E. Existing and proposed building and pavement outlines.

F. Specifications for soil at time of planting, irrigation and anticipated planting schedule.

G. Other information as deemed appropriate by the City Planning Official.

As shown in Exhibit B, the applicant submitted a landscaping plan which shows the location, size and species of the plants. The plant sizes conform to the *Tree and Plant List for the City of Florence*. The applicant proposes native plants with the exception of turf grass. The applicant did not list the type of soil at the time of planting. (See Condition 7)

The applicant did not propose irrigation; however, FCC 10-34-3-5 requires permanent, underground irrigation for all new non-drought tolerant landscaping. (See Condition 10)

10-34-3-3: Landscape Area and Planting Standards. The minimum landscaping area is 15% of the lot area, unless specified otherwise in the applicable zoning district for the proposed use. This required minimum landscaping area may be reduced if preservation credits are earned as specified in Section 10-34-2-4.

A. Landscaping shall include planting and maintenance of the following:

- 1. One tree per 30 lineal feet as measured along all lot lines that are adjacent to a street.**
- 2. Six shrubs per 30 lineal feet as measured along all lot lines that are adjacent to a street.**

The site does not have street frontage; therefore, additional trees and shrubs are not required.

3. Living plant materials shall cover a minimum of 70 percent of the required landscape area within 5 years of planting.

Landscaping shall cover a minimum of 70 percent in five years. Prior to final inspection, the applicant shall provide a written statement from the landscaper that the landscaping will cover 70 percent of the landscaped areas within the next 5 years. **(Condition 6)**

4. Except for preservation of existing significant vegetation, the required plant materials on-site shall be located in areas within the first 20 feet of any lot line that abuts a street. Exceptions may be granted where impracticable to meet this requirement or the intent is better served. Required trees may be located within the right-of-way and must comply with Section 10-34-4. Plant materials may be installed in any arrangement and do not need to be equally spaced nor linear in design. Plantings and maintenance shall comply with the vision clearance standards of FCC 10-35-2-13.

The site is not near a property line; therefore, this criterion does not apply.

5. Pocket-planting with a soil-compost blend around plants and trees shall be used to ensure healthy growth.

The applicant did not indicate what the soil type will be at the time of planting. The landscaping will be planted with a soil compost blend around and under the new plants **(Condition 7).**

B. Noxious Weeds shall be removed during site development and the planting of invasive or noxious weeds is prohibited.

No noxious weeds are proposed. All noxious weeds within the site shall be removed final inspection. **(Condition 8)**

10-34-3-4: Landscape Materials. Permitted landscape materials include trees, shrubs, ground cover plants, non-plant ground covers, existing native vegetation, outdoor hardscape features and storm water features, as described below.

A. Plant Selection. A combination of deciduous and evergreen trees, shrubs, and ground covers shall be used for all planted areas, consistent with the purpose of this Chapter. A suggested Tree and Plant List for the City of Florence and the Sunset Western Garden Book are available at City Hall. The selection of plant and tree species shall be based upon site conditions such as wind and sun exposure, space limitations, water availability, and drainage conditions. The use of indigenous plants is encouraged, and may be required where exposure, slope or soil conditions warrant.

1. **Ground Cover.** Ground cover may consist of separate plants or mowed grass turf. Ground cover plant species shall meet the following minimum standards: plants from 4-inch pots shall be spaced a minimum of 18 inches on center, and 1-2 gallon size plants shall be spaced a minimum of 3 feet on center.

2. **Shrubs.** Shrub plant species shall be planted from 3 gallon containers unless otherwise specified in the Tree and Plant List for the City of Florence.

3. **Trees.** Evergreen and deciduous tree species shall meet the following minimum standards: deciduous trees shall be a minimum of 1 ¾ inch caliper (diameter) measured 6 inches above grade, and evergreen trees shall be a minimum of 5 feet tall (Nursery Grade 5/6).

4. **Non-plant Ground Covers.** Bark dust, chips, aggregate, or other non-plant ground covers may be used. Non-plant ground cover located adjacent to pedestrian ways shall be confined to the material within the planting bed to avoid safety hazards by edging 4 inches above-grade or recessing from grade. Non-plant ground covers cannot be a substitute for ground cover plants.

5. **Pocket-planting** with a soil-compost blend around plants and trees shall be used to ensure healthy growth.

The proposed plants as shown in Exhibit B are listed in the *Tree and Plant List for the City of Florence*. Prior to issuance of a Certificate of Occupancy, the applicant or representative shall call the Planning Department for inspection of landscaping at (541) 997-8237, and allow one week for an inspection of the landscaping. **(Condition 9)**

B. Existing Native Vegetation. Preservation of existing native vegetation is encouraged and preservation credits in accordance with Section 10-34-2-4 may be used to meet the landscape requirements of this Chapter.

Native vegetation has been removed from the site; therefore, this criterion does not apply.

C. Hardscape features, such as plazas, pathways, patios and other pedestrian amenities may count toward ten (10) percent of the required landscape area, except in the Old Town and Main Street districts where hardscape features may count toward 50 percent of the landscape area, provided that such features conform to the standards of those districts. Swimming pools, sports courts, decks and similar facilities may not be counted toward fulfilling the landscape requirement in any zone.

The applicant does not propose hardscape features for the site; therefore, the criterion does not apply.

D. Storm Water Facilities. Storm water facilities, such as detention/retention ponds and swales shall be landscaped. Landscaped bio-swales are encouraged and shall count toward meeting the landscaping requirement of this section if they are designed and constructed in accordance with the standards specified in Title 9 Chapter 5, and approved by the Public Works Department. Storm water facilities shall be landscaped with water-tolerant, native plants.

The development is replacing existing buildings and reduces the impervious surfaces. The applicant is not required to add a storm water facility at this time.

10-34-3-5: Irrigation. Permanent, underground irrigation is required for all landscaping, except existing native vegetation that is preserved in accordance with the specifications of Section 10-34-2-2 and new drought tolerant plants which must have temporary irrigation for plant establishment. All irrigation systems require an irrigation permit and shall be installed with a backflow prevention device per FCC 9-2-3-5.

The applicant has indicated that all plantings are drought tolerant plants. The applicant shall install a temporary irrigation for plant establishment for the drought tolerant plants. The turf grass is not a drought tolerant plant; therefore, permanent, underground irrigation is required. Prior to issuance of a building permit, applicant, property owner and/or representative shall obtain an irrigation permit and shall include the location for a backflow device. The permanent, underground irrigation system shall be installed prior to final inspection **(Condition 10)**

Conclusion:

The Conditional Use and Design Review requests are consistent with the applicable criteria in Florence City Code Title and the Florence Realization 2020 Comprehensive Plan.

VI. OPTIONS FOR THE PLANNING COMMISSION:

1. Approve the design review and conditional use request, based on the proposed findings of fact in this staff report, with the proposed Conditions of Approval.
2. Modify the proposed findings of fact, Conditions of Approval, or both, and approve the request as modified.
3. Continue the hearing to a date certain or leave the record open in order to allow more time for additional information to be submitted.
4. Deny the application based on findings of fact.

VII. STAFF RECOMMENDATION, AND PROPOSED CONDITIONS OF APPROVAL

Staff recommendation for Design Review and Conditional Use Permit is to approve the request for approval of the design review, and conditional use, provided that the following Conditions of Approval are met.

Conditions of Approval:

The application, as presented, meets or can meet applicable City codes and requirements, provided that the following conditions of approval are met.

1. Approval for shall be shown on:

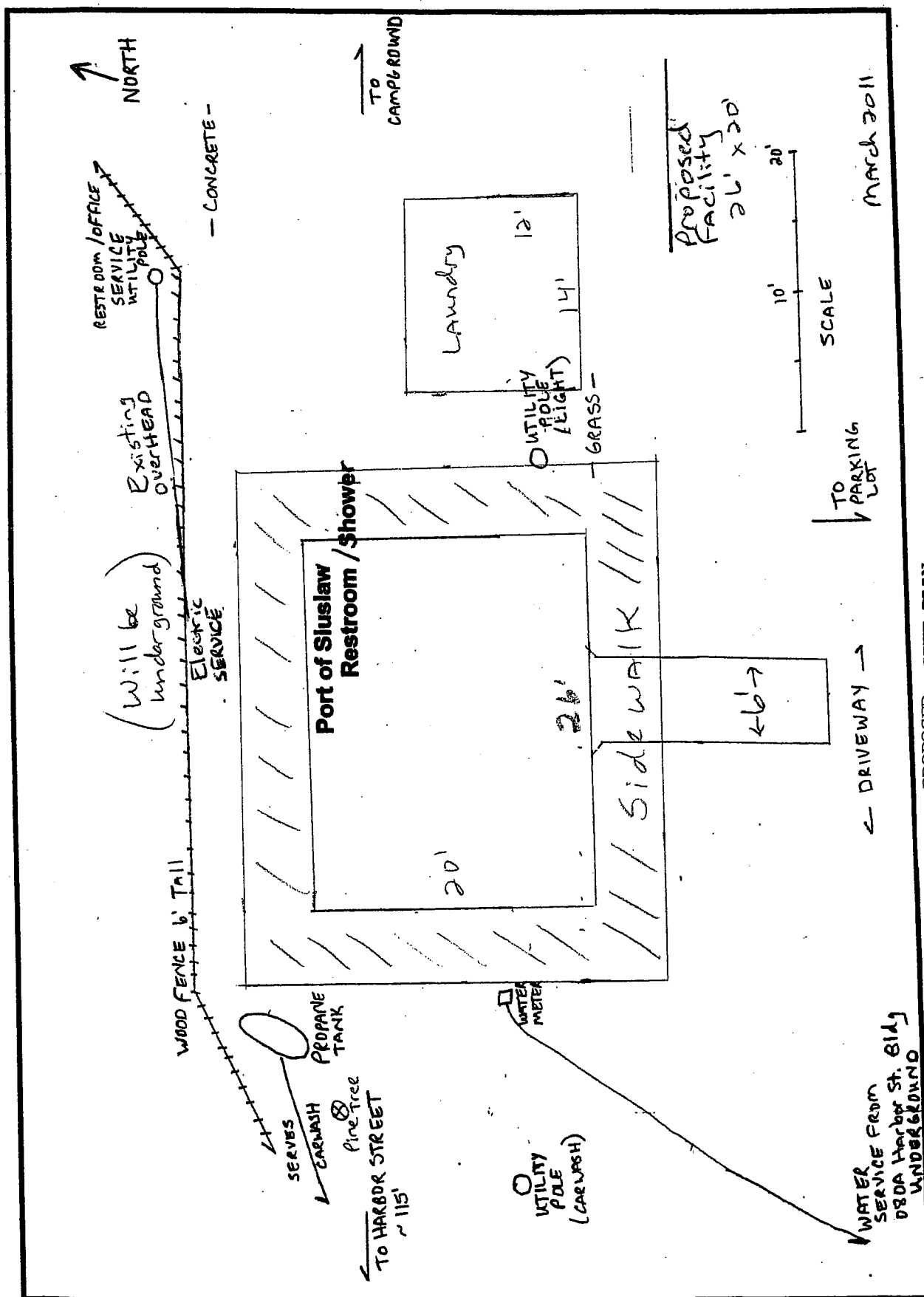
"A" Findings of Fact
"B" Site Map (Existing and Proposed)
"C" Elevations of Laundry Facility
"D" Elevations of Restroom Facility
"E" Brochure of Restroom
"F" Color Sample for Restroom
"G" Landscaping Plan
"H" Park Lot South of Site Showing Proposed ADA Space

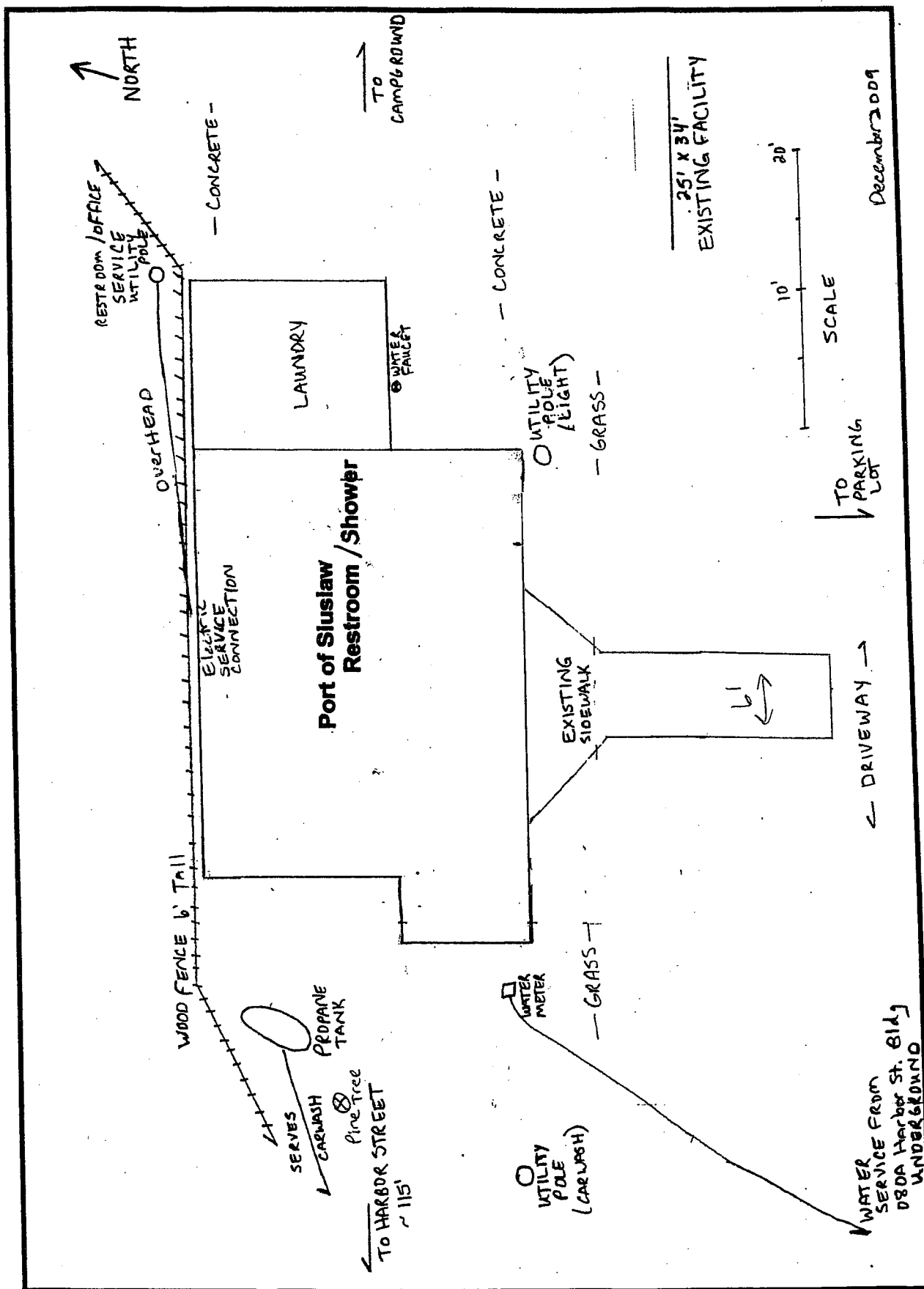
Findings of Fact attached as Exhibit "A" are incorporated by reference and adopted in support of this decision. Any modifications to the approved plans or changes of use, except those changes relating to Building Codes, will require approval by the Community Development Director or Planning Commission/Design Review Board.

2. Regardless of the content of material presented for this Planning Commission, including application text and exhibits, staff reports, testimony and/or discussions, the applicant agrees to comply with all regulations and requirements of the Florence City Code which are current on this date, EXCEPT where variance or deviation from such regulations and requirements has been specifically approved by formal Planning Commission action as documented by the records of this decision and/or the associated Conditions of Approval. The applicant shall submit to the Community Development Department a signed "Agreement of Acceptance" of all conditions of approval prior to issuance of a building permit.
3. Florence Public Works will be relocating the water meter(s) to a location within the public right-of-way. The applicant shall coordinate the project's construction schedule with Public Works in order to limit service impacts. Additionally, the applicant is required to demonstrate that all publicly owned water, wastewater and stormwater mains, including service lines or laterals, are contained within easements prior to final occupancy of the facility. All public utilities located on the subject property shall be covered by easements. The minimum width of a utility easement is 15 feet with the service or main line centered within the easement. Prior to recording of the easements, Florence Public Works shall approve said easements.
4. With the building permit application, the applicant shall submit a sand management plan which will detail how to manage the sand during construction and detailed plans for re-vegetation of disturbed areas after construction is complete.
5. Prior to final occupancy of the restroom facility, the ADA space shall be marked and signed as required by FCC 10-3-5.
6. Landscaping: Prior to final inspection, the applicant shall provide a written statement from the landscaper that the landscaping will cover 70 percent of the landscaped areas within the next 5 years.
7. Planting Soils: The landscaping will be planted with a soil compost blend around and under the new plants.
8. Noxious weeds: All noxious weeds within the site shall be removed final inspection.
9. Complete Landscaping: Prior to issuance of a Certificate of Occupancy, the applicant or representative shall call the Planning Department for inspection of landscaping at (541) 997-8237, and allow one week for an inspection of the landscaping.
10. Irrigation: Permanent, underground irrigation is required for the turf grass (non-drought tolerant plant). Prior to issuance of a building permit, applicant, property owner and/or representative shall obtain an irrigation permit and shall include the location for a backflow device. The permanent, underground irrigation system shall be installed prior to final inspection.

VIII. EXHIBITS

- A. Finding of Fact
- B. Site Map (Existing and Proposed)
- C. Elevations of Laundry Facility
- D. Elevations of Restroom Facility
- E. Brochure of Restroom
- F. Color Sample for Restroom
- G. Landscaping Plan
- H. Parking Lot South of Site Showing Proposed ADA Space
- I. Applicant's Narrative and response to Staff's comments
- J. Location Map
- K. Site Indicated on Air Photo
- L. Findings of Fact from Resolution 92-5-26-26
- M. Planning Commission minutes for Resolution 92-5-26-26





EXISTING SITE PLAN

A diagram of a trapezoid. The left vertical side is labeled $10'$. The right vertical side is labeled $9'6''$. The bottom horizontal side is labeled $12'$.

Architectural drawing of a window unit. The unit is 14' wide and 10' high. It features a central door with a circular handle and two side windows. The side windows are 7'6" high and contain diagonal lines representing glass panes. The unit is shown within a larger frame.

Scale $\frac{3}{8} = 1.0$ ft

Front Elevation

Exhibit C

13-752 500 SHEETS, FILLER 5 SQUARE
42-381 50 SHEETS EYE-EASE® 5 SQUARE
42-382 100 SHEETS EYE-EASE® 5 SQUARE
42-383 200 SHEETS EYE-EASE® 5 SQUARE
42-384 100 RECYCLED WHITE 5 SQUARE
42-385 200 RECYCLED WHITE 5 SQUARE

Aspirin National® Brand

Roof Plan

roof vent

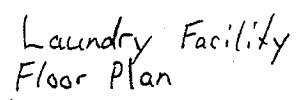
roof vent

q'6''

Rear Elevation

Scale $\frac{3}{8}'' = 1.0 \text{ ft}$

THE NATIONAL BRAND



Scale $\frac{3}{8}" = 1.0 \text{ ft.}$

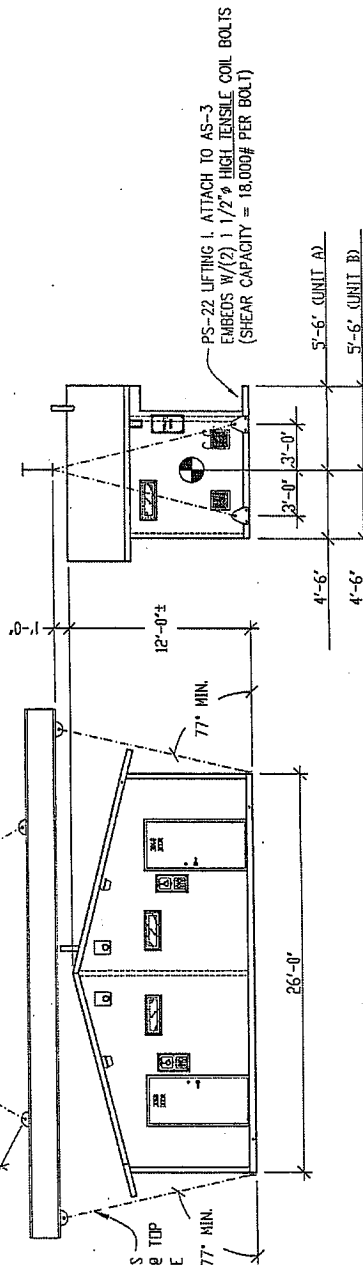


Plot Plan

NAVAJO FLUSH / SHOWER

1. THE NAVAJO STYLE BUILDING CONSISTS OF TWO

1. THE HAVALID STYLE BUILDING CONSISTS OF TWO SEPARATE UNITS TO BE PLACED AND JOINED AT THE PROJECT SITE. PROPER SITE PREPARATION AND HANDLING IS ESSENTIAL FOR THE SAFE AND PROPER INSTALLATION OF THE BUILDING.
2. PROVIDE SHALLOW TRENCH WITH ROLLED COES ALONG BUILDING JOINT LINES TO PREVENT TRAPPING MATERIAL BETWEEN UNITS BEING DRAWN TOGETHER.
3. PLACE UNITS AS CLOSE TO ONE ANOTHER AS POSSIBLE. SPACE BETWEEN UNITS SHOULD NOT EXCEED 1" AT INITIATION OF POST-TENSIONING. MAINTAIN ALLOWABLE FINISH JOINT SPACE BETWEEN UNITS SHALL BE 1/2".
4. POST-TENSIONING TO DRAW UNITS INTO CONTACT SHALL BE ACCOMPLISHED WITH EQUIPMENT PROVIDED BY CAT BY PROPERLY TRAINED PERSONNEL. INSTRUCTIONS PROVIDED BY CAT SHALL BE CAREFULLY ADHERED TO. ALL NECESSARY SAFETY PRECAUTIONS SHALL BE TAKEN BY INSTALLATION PERSONNEL. STRESS TENDONS TO DRAW UNITS TOGETHER AND TO RETAIN A MINIMUM EFFECTIVE FORCE IN EACH TENDON OF 2 KIPS AFTER ALL LOSSES.
5. AFTER COMPLETION OF BUILDING PLACEMENT, BLOCKOUTS AT POST-TENSIONING ANCHORAGE POINTS SHALL BE FILLED WITH NON-METALLIC, NON-SINKING GROUT. PROVIDE SMOOTH, HEAT FINISH COMPATIBLE WITH SURROUNDING CONCRETE SURFACES. MATCH CONCRETE COLOR.
6. PROVIDE UTILITY CONNECTIONS (PLUMBING & ELECTRICAL) AS REQUIRED AND/OR AS CALLED FOR ON THE DRAWINGS.
7. FULL FLOOR BLOCKOUTS AFTER COMPLETION OF UTILITY RETRAVERS WITH CONCRETE. SLOPE TO DRAIN.



SHIPPING WEIGHTS AND DIMENSIONS N-109				
SECTION	WEIGHT	LENGTH	WIDTH	HEIGHT
A (BACK)	73,000	26'-0"	11'-6"	12'-0"
B (FRONT)	73,000	26'-0"	11'-6"	12'-0"

CRANE LIFTING SCHEMATIC - UNITS A & B

Exhibit D

DATE OF DETAILS		DESCRIPTION	QTY	UNIT
		PAL CASE 25" H	1	
		CHAINS & WINGS	2	
		GROUT (WING)	3	

UPTON, N. Y.

9000 11 A Wt Bu. m. ! ... klt 60018

OXFORD UNIVERSITY PRESS



Precast Products

[illegible]

JOHN R. HIGLEY // 111-6600, 111-7043

NAVAH FLUSH / SHOWER
TOL LIPSON

601-N BEEHIVE DRUGGIST
BIRMINGHAM, ALABAMA 35202

401. 4. 1950-1951

background

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that unsupported profits no extra's appear or implied. Including a warranty of merchantability or of fitness for a

continued from page 10

per 2 additional DPO

[illegible][illegible][illegible][illegible]

11-81-20	DATE	1-1-81	STATE
101-K	ON FILE	LETTERS & BOX	NEWARK

98	15M	INDOHC
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HANDLING INSTRUCTIONS

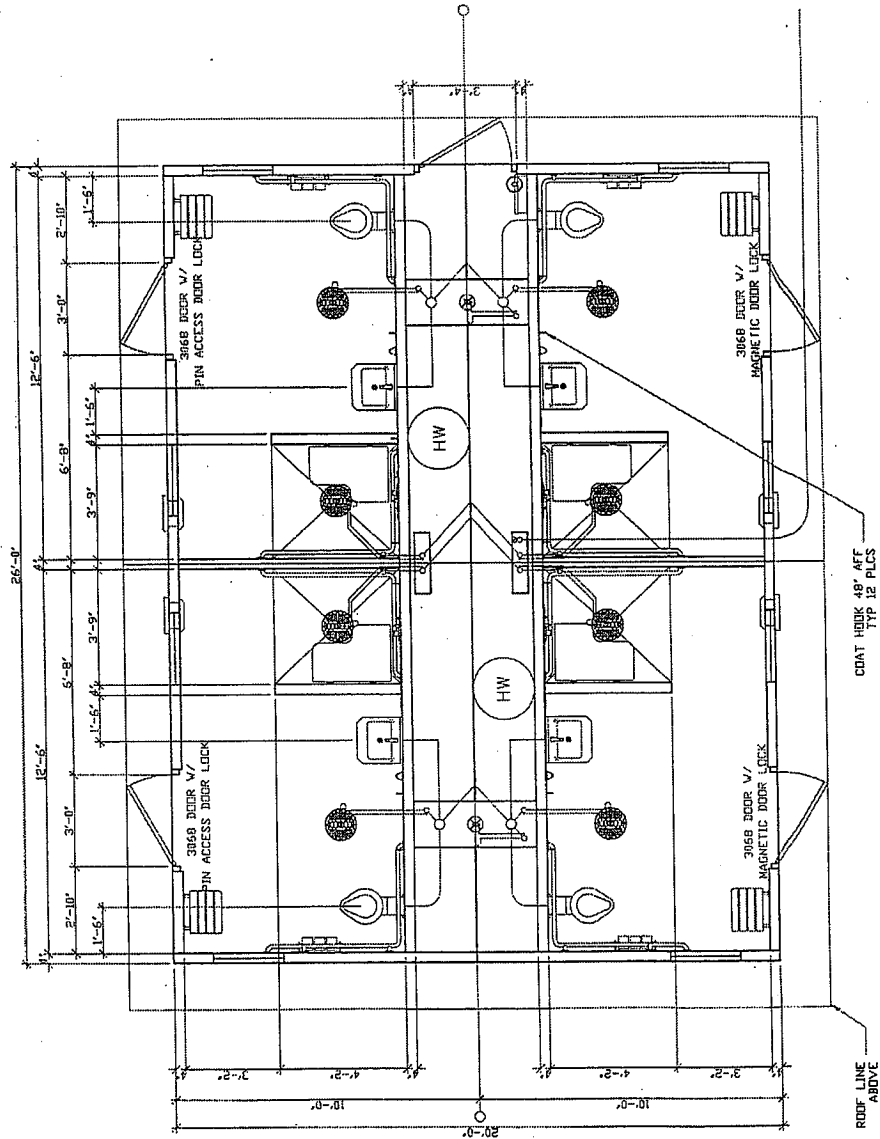
100

FORM NO.	DATE / REV.
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N-02

10-02

7	
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NOTE: PLUMBING COMPONENTS ARE SHOWN FOR GENERAL ARRANGEMENT ONLY. SEE OTHER SHEETS FOR COMPLETE SYSTEM DESCRIPTIONS.

EXT
Precast Products
3025 N. Safford Blvd., Ft. Worth, TX 76106
301 N. Highway 77, Houston, TX 77045

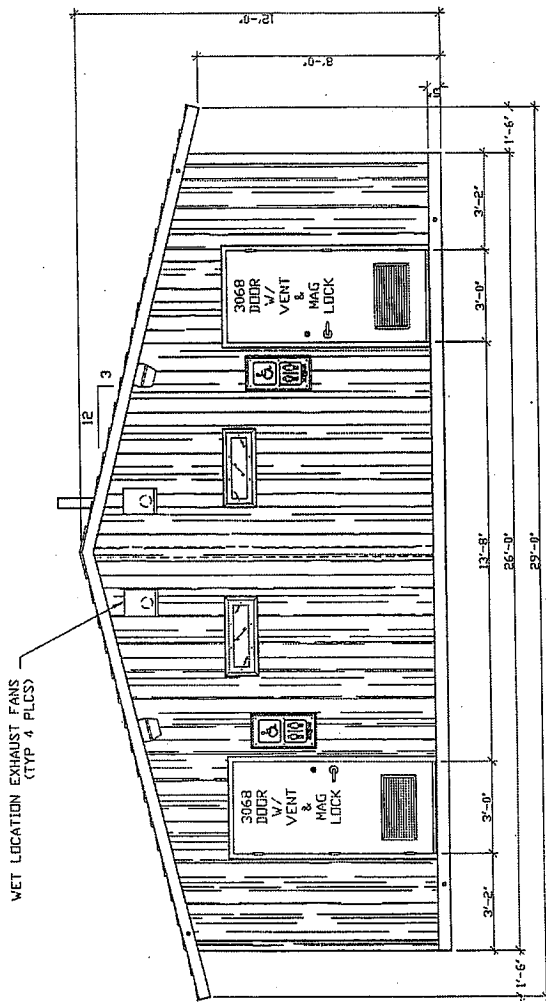
PROJECT: MAYAJO FLUSH / SHOWER
DRAWING NUMBER: P-109

NOTES:
The information contained herein is preliminary and not intended to be used for construction. It is the responsibility of the user to verify the information and to obtain the necessary permits and approvals for the project. The information is provided for informational purposes only and is not intended to be used for construction. The information is provided for informational purposes only and is not intended to be used for construction.

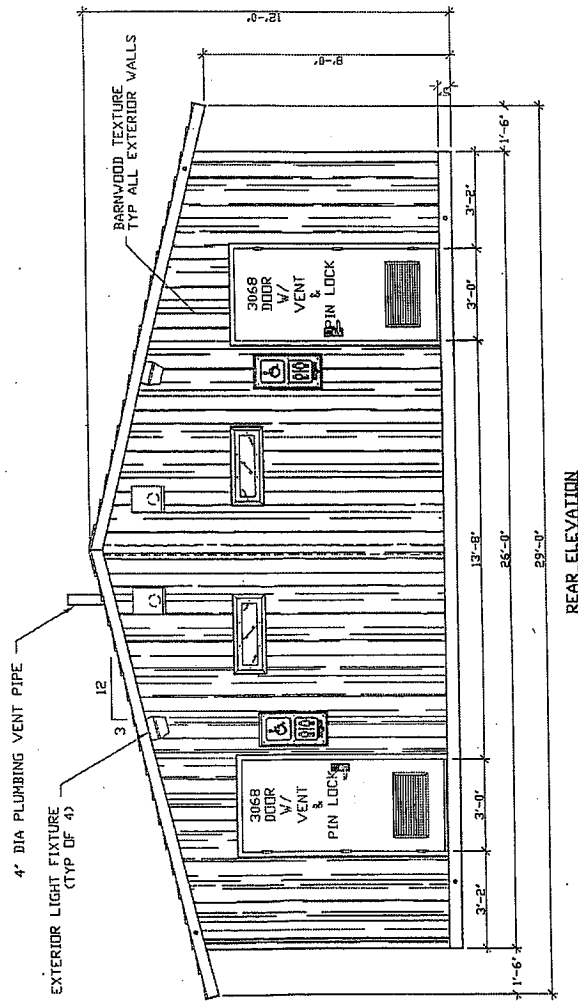
NO.	DATE	BY	CHKD.	APP'D.
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2	10-11-11	W. J. B.	W. J. B.	W. J. B.
3	10-11-11	W. J. B.	W. J. B.	W. J. B.
4	10-11-11	W. J. B.	W. J. B.	W. J. B.
5	10-11-11	W. J. B.	W. J. B.	W. J. B.
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9	10-11-11	W. J. B.	W. J. B.	W. J. B.
10	10-11-11	W. J. B.	W. J. B.	W. J. B.

FLOOR PLAN

SHEET 3 OF 33
N-03



FRONT ELEVATION



REAR ELEVATION

3808 N. 54th Blvd, #7 Spokane, WA 99216



Precast Products

901 N. Highway 77 HEbors, TX 76645

HAVALI FLUSH / SHOWER

RAYAJU FLUSH / SHOWER
BUILDING NUMBER 4-109

DATE	NAME	ADDRESS	CITY	STATE	ZIP	PHONE	TELETYPE	TELEX	FAX	EMAIL	WWW	OTHER
1991-01-01	JOHN DOE	123 MAIN ST	NEW YORK	NY	10001	212-555-1234						
1991-01-01	JANE DOE	456 MAIN ST	NEW YORK	NY	10001	212-555-5678						
1991-01-01	JOHN DOE	789 MAIN ST	NEW YORK	NY	10001	212-555-9012						
1991-01-01	JANE DOE	012 MAIN ST	NEW YORK	NY	10001	212-555-3456						
1991-01-01	JOHN DOE	345 MAIN ST	NEW YORK	NY	10001	212-555-7890						
1991-01-01	JANE DOE	678 MAIN ST	NEW YORK	NY	10001	212-555-2345						
1991-01-01	JOHN DOE	901 MAIN ST	NEW YORK	NY	10001	212-555-6789						
1991-01-01	JANE DOE	234 MAIN ST	NEW YORK	NY	10001	212-555-0123						
1991-01-01	JOHN DOE	567 MAIN ST	NEW YORK	NY	10001	212-555-4567						
1991-01-01	JANE DOE	890 MAIN ST	NEW YORK	NY	10001	212-555-8901						
1991-01-01	JOHN DOE	123 MAIN ST	NEW YORK	NY	10001	212-555-1234						
1991-01-01	JANE DOE	456 MAIN ST	NEW YORK	NY	10001	212-555-5678						
1991-01-01	JOHN DOE	789 MAIN ST	NEW YORK	NY	10001	212-555-9012						
1991-01-01	JANE DOE	012 MAIN ST	NEW YORK	NY	10001	212-555-3456						
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1991-01-01	JOHN DOE	901 MAIN ST	NEW YORK	NY	10001	212-555-6789						
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1991-01-01	JANE DOE	012 MAIN ST	NEW YORK	NY	10001	212-555-3456						
1991-01-01												

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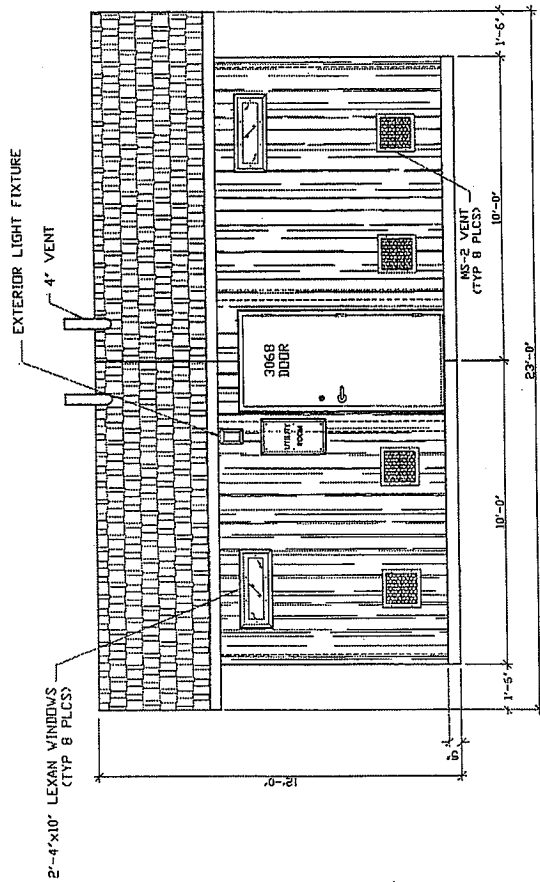
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CHECKED	PILOT	48
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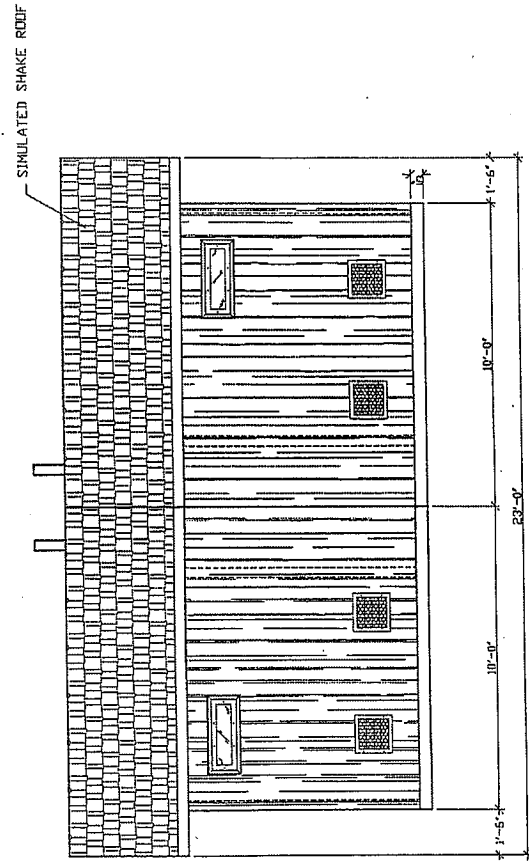
BUILDING ELEVATIONS

16607 · J. Neurosci., July 26, 2006 · 26(30):16601–16607

REV. 10/1/80



RH SIDE ELEVATION



LH SIDE ELEVATION

3000 N. Sycamore Way, Ft. Collins, CO 80526
EXT
 Precast Products

3000 N. Highway 77, Fort Collins, CO 80540

NAVJO FLUSH / SHOWER
 BUILDING NUMBER N-103

NOTE:
 The information contained herein is preliminary and the design is subject to change without notice. The purchaser is responsible for verifying the accuracy of the information and for obtaining all necessary permits. The purchaser is also responsible for obtaining all necessary approvals from the local authorities. The purchaser is also responsible for obtaining all necessary approvals from the local authorities. The purchaser is also responsible for obtaining all necessary approvals from the local authorities.

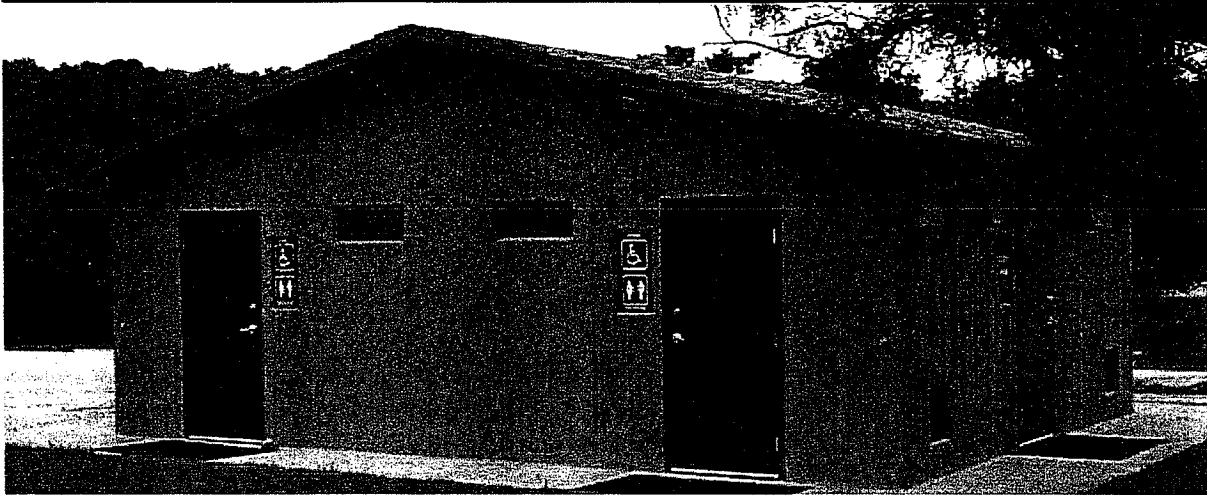
BUILDING ELEVATIONS			
NO.	DESCRIPTION	DATE	BY
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2	NAVJO FLUSH / SHOWER	10/10/11	EXT
3	NAVJO FLUSH / SHOWER	10/10/11	EXT
4	NAVJO FLUSH / SHOWER	10/10/11	EXT
5	NAVJO FLUSH / SHOWER	10/10/11	EXT
6	NAVJO FLUSH / SHOWER	10/10/11	EXT
7	NAVJO FLUSH / SHOWER	10/10/11	EXT
8	NAVJO FLUSH / SHOWER	10/10/11	EXT
9	NAVJO FLUSH / SHOWER	10/10/11	EXT
10	NAVJO FLUSH / SHOWER	10/10/11	EXT

BUILDING ELEVATIONS	
NO.	DESCRIPTION
1	NAVJO FLUSH / SHOWER
2	NAVJO FLUSH / SHOWER
3	NAVJO FLUSH / SHOWER
4	NAVJO FLUSH / SHOWER
5	NAVJO FLUSH / SHOWER
6	NAVJO FLUSH / SHOWER
7	NAVJO FLUSH / SHOWER
8	NAVJO FLUSH / SHOWER
9	NAVJO FLUSH / SHOWER
10	NAVJO FLUSH / SHOWER

REV. 5/11

NAVAJO

Family assist style flush shower building.



**Shown with optional barnwood siding and cedar shake roof.*

The Navajo is a four room family assist style flush shower facility. Each room has its own shower, toilet, and sink. The Navajo works well in group campgrounds, boat ramps, beaches, or any place



looking for a combination shower flush facility. The four individual rooms allows parents to assist their children, or caregivers to assist those under their care. The Navajo is designed to meet all current American with Disabilities Act requirements. The Navajo's standard features include sinks, toilets, showers, and interior and exterior lights

The Navajo is ideal for any area that experiences extreme vandalism. The Navajo can be ordered in several different textures and a multitude of different and unique earthtone colors.

Durability:

The Navajo is engineered and designed for long-life in extreme conditions. The building meets or exceeds the effects of a Zone 4 earthquake, a 100-mph wind load and a 120 pounds per square foot snow load.

Maintenance:

The Navajo is extremely easy to maintain. With our steel reinforced 5,000 psi concrete construction, the building will not rot, rust, or

burn. The building interior is primed and painted with white paint to reflect natural light from the Lexan windows mounted in heavy steel frames cast into the walls.

Cleaning of the building interior is easily accomplished with a brush and warm soapy water. Stall partitions are made of the same high strength concrete as our exterior walls and roof and also coated with anti-graffiti sealer.

The walls and roof structure are made of "colored through concrete", coated with an exterior stain, followed by an anti-graffiti sealer.

Meets UFAS, A.D.A. and Title 24 statute of the State of California

Vandal resistant building & toilet components

4" thick steel reinforced concrete walls

5" thick steel reinforced concrete roof & floors

Quick installation and hookup at the jobsite

Available in (25) different and unique earthtone colors

Barnwood, stucco, exposed aggregate, or split face block exterior wall textures

Cedar shake, ribbed metal, or exposed aggregate exterior roof textures

Available in custom textures

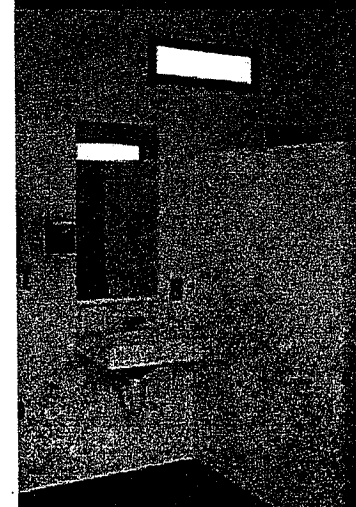


Exhibit E



Utilities:

The Navajo's utilities are pre-wired, plumbed and tested before shipping to meet local code requirements. They are conveniently concealed within the chase/storage area for easy hookup and maintenance and to reduce the effects of vandalism.

Standard features include vitreous china fixtures, and two hot water heaters. Optional stainless steel fixtures are available. Room heaters are also available as an option on this restroom.

Hook Up and Installation:

The Navajo requires minimal site work. It is designed to sit on a three-quarter minus gravel base,

compacted to a ninety-five percent compaction level. The water, sewage and electrical utility lines are stubbed up through the



prepared base material to match up with the utility access hole within the floor of the chase area.

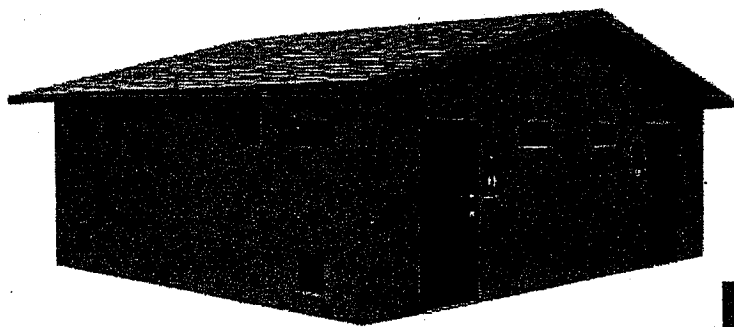
The two sections of the Navajo are post-tensioned at site. The wiring and plumbing of the pre-wired and pre-plumbed sections are connected

together. The Navajo is then connected to the site utilities. All of this takes place in a matter of 2-3 days. Site construction and supervision time is greatly reduced from a site built building.

Quality and Value:

Because of our two state-of-the-art, 120,000 square foot production facilities, CXT can produce consistently higher quality buildings at a lower cost to meet the needs of city, county, state and federal agencies.

We at CXT take pride in our craftsmanship and are ready to provide you with our legendary customer service. See why we say, "Once you buy a CXT produced building you will never purchase anything else."



**Shown with optional barnwood siding and cedar shake roof*

LB Foster

CXT® Concrete Buildings

CXT Incorporated
An L.B. Foster Company

Spokane Industrial Park
3808 N. Sullivan Road Bldg. #7
Spokane, WA 99216

Telephone 509-921-8766
Fax 509-928-8270
Toll Free 800-696-5766

www.cxtinc.com

Wall Textures: *Standard:*



Available Options:



Roof Textures: *Standard:*



Available Options:



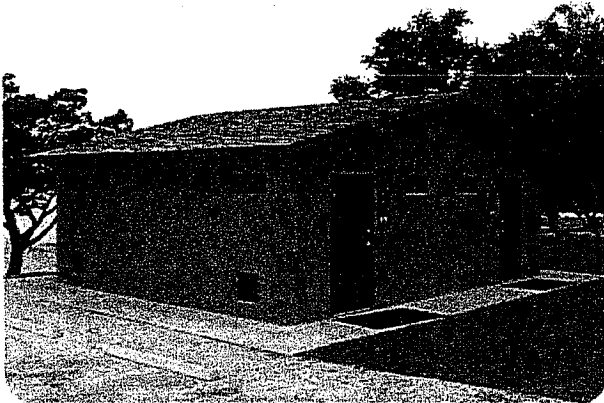
*Also available
custom colors and
textures.*



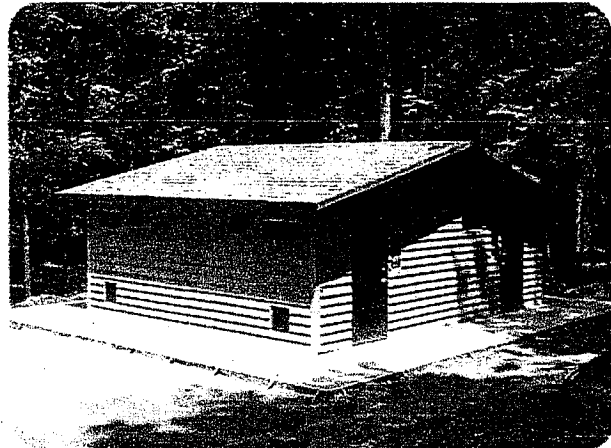

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[REQUEST for QUOTE](#)
[REPLACEMENT PARTS](#)
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[COLORS](#)
[REFERENCES AND NEWS](#)

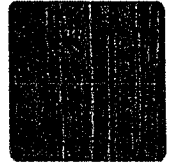
Navajo Flush Restroom



**Barnwood Walls in Oatmeal Buff
Cedar Shake Roof in Custom Green**



**Horizontal Lap Walls in Buckskin
Cedar Shake Roof in Nuss Brown**

WALL TEXTURES:
STANDARD

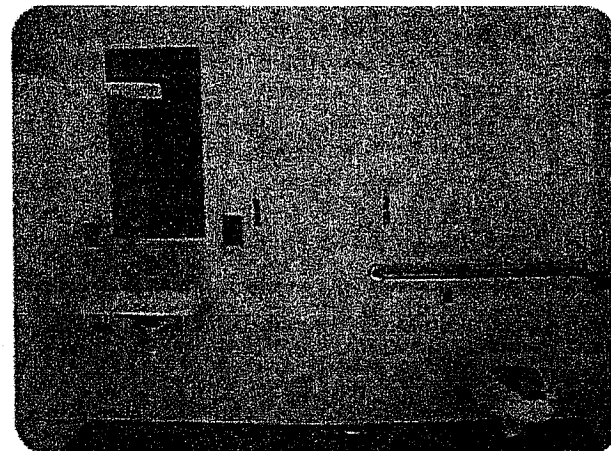
Barnwood

AVAILABLE
OPTIONS

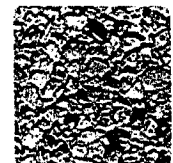
Stucco



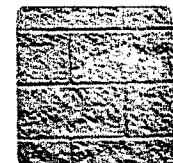
Interior of Shower



Interior of Restroom



Aggregate



Split Face Block

ROOF TEXTURES:
STANDARD

Cedar Shakes

AVAILABLE
OPTIONS

FAMILY ASSIST STYLE, FULLY ACCESSIBLE BUILDING

[Brochure](#)

[Drawings](#)

[Specifications](#)

[Request
for Quote](#)

The Navajo is a four room family assist style flush shower facility. Each room has its own shower, toilet, and sink. The Navajo works well in group campgrounds, boat ramps beaches, or any place looking for a combination shower flush facility. The four individual rooms allows parents to assist there children, or caregivers to assist those under their care. The Navajo is designed to meet all current American with Disabilities Act requirements. The Navajo's standard features include sinks, toilets, showers, and interior and exterior lights The Navajo is ideal for any area that experiences extreme vandalism. The Navajo can be ordered in several different textures and a multitude of different and unique earthtone colors.

DURABILITY:

The Navajo is engineered and designed for long-life in extreme conditions. The building meets or exceeds the effects of a seismic design category E earthquake, a 150-mph wind load and a 250-pound per square foot snow load.

MAINTENANCE:

The Navajo is extremely easy to maintain. With our steel reinforced 5,000 psi concrete construction, the building will not rot, rust, or burn. The building interior is primed and painted with white paint to reflect natural light from the Lexan windows mounted in heavy steel frames cast into the walls.

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Standard features include vitreous china fixtures, and two hot water heaters. Optional stainless steel fixtures are available. Room heaters are also available as an option on this restroom.

HOOK UP AND INSTALLATION:

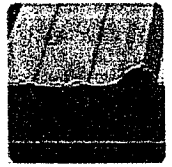
The Navajo requires minimal site work. It is designed to sit on a three- quarter minus gravel base, compacted to a ninety-five percent compaction level. The water, sewage and electrical utility lines are stubbed up through the prepared base material to match up with the utility access hole within the floor of the chase area.

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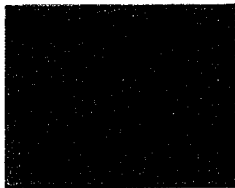
Ribbed Metal

**Custom Textures
Available**

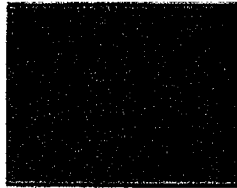


CXT Incorporated
An L.B. Foster Company
3803 N. Sullivan Rd. Bldg. 7
Spokane, WA 99216
Fax (509) 928-8270
Toll Free (800) 663-5789

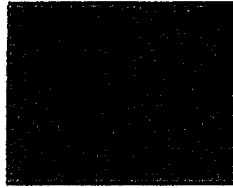
Color Selections



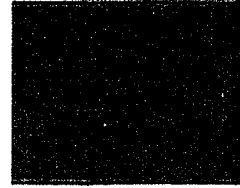
AMBER ROSE



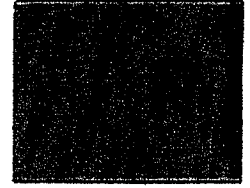
LIBERTY TAN



TOASTED ALMOND



OATMEAL BUFF



BUCKSKIN



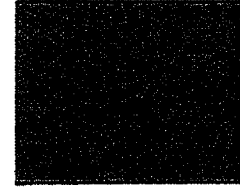
SUN BRONZE



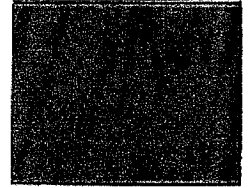
GOLDEN BEIGE



MOCHA CARMEL



SAND BEIGE



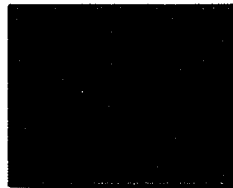
NATURAL HONEY



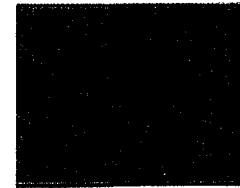
SALSA RED



PUEBLO GOLD



CAPPUCCINO CREAM



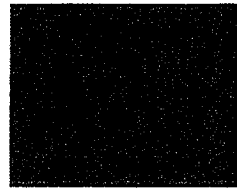
COCOA MILK



GRANITE ROCK



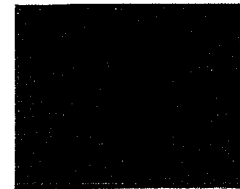
GEORGIA BRICK



WESTERN WHEAT



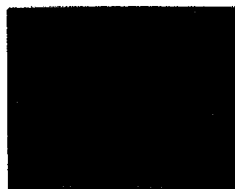
NUSS BROWN



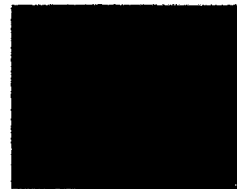
RICH EARTH



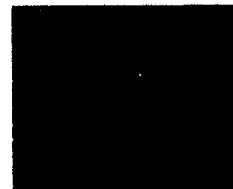
CHARCOAL GRAY



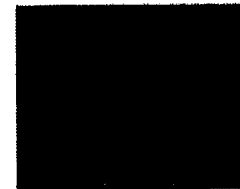
BERRY MAUVE



ROSEWOOD



MALIBU TAUPE



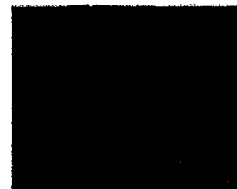
JAVA BROWN



RAVEN BLACK



SAGE GREEN



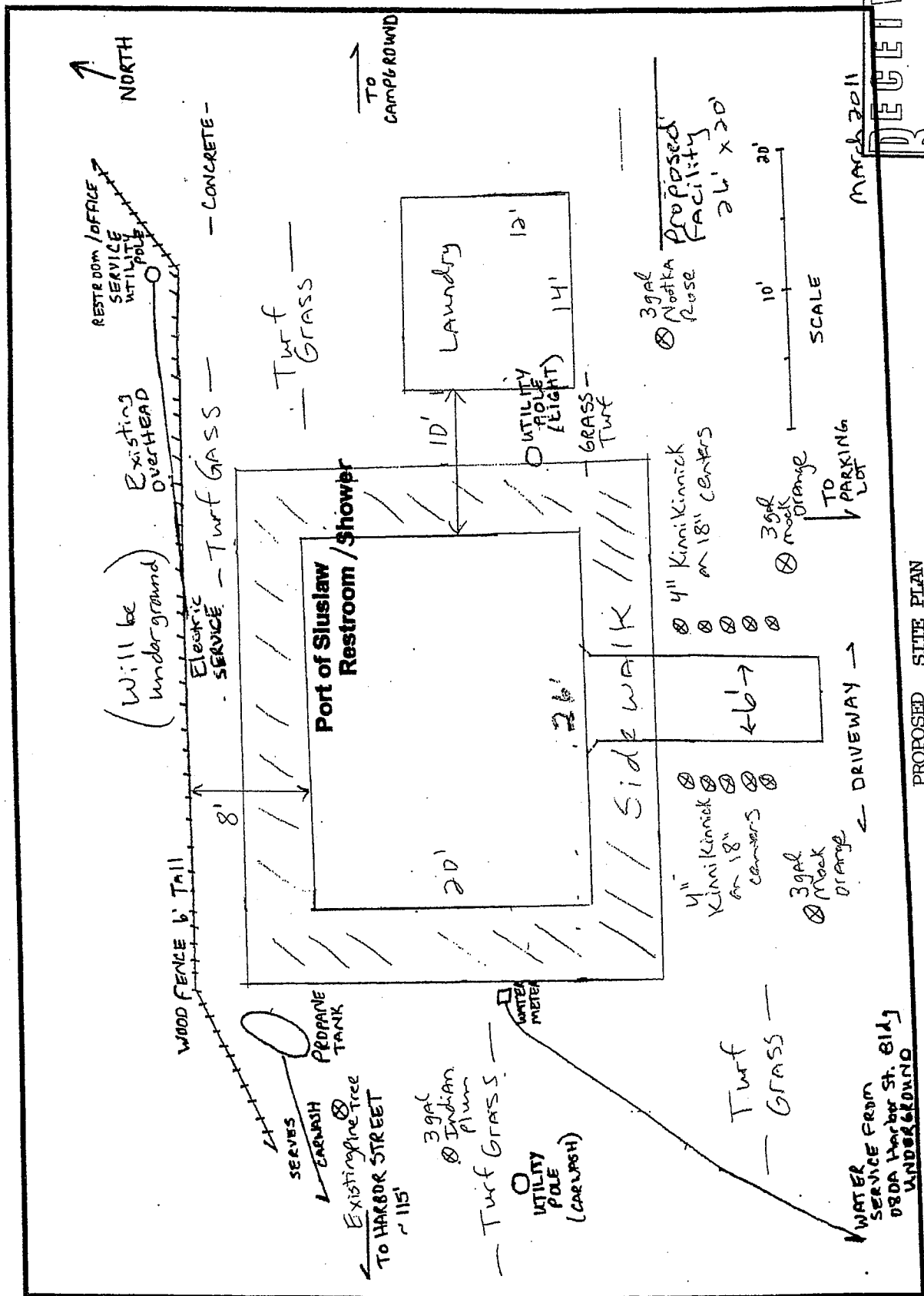
EVERGREEN



HUNTER GREEN

DISCLAIMER: The above color samples are approximations only. Jobsite applied colors will vary from this color card due to printing variances as well as the texture and porosity to the substrate. CXT Inc. recommends applying a color sample to an inconspicuous area on the actual substrate to verify color choice.

Exhibit F



MARCH 2011

RECEIVED

MAR 29 2011

By

PROPOSED SITE PLAN

PROJECT DESCRIPTION

Sq. ft. of Building: 520

Number of parking spaces required: _____

Sq. ft. of Addition: n/a

Number of spaces provided: 49

Proposal (attach an additional sheet if necessary. Describe the project in detail, what is being proposed, size, objectives, what is desired by the project)

The Port of Siuslaw has received grant funding to replace its aging non-ADA-compliant public restroom and shower facility. This facility provides services for boaters, visitors, and residents. The existing 850sf restroom building will be demolished and removed, and a new, pre-engineered concrete building will be installed in the same location, served by the same utilities. The Port is working with Central Lincoln PUD regarding moving the overhead lines underground. The Port will provide trenching and arrange for moving the service underground when the restroom building is replaced. New service wires are expected to come underground to the rear of the building from the pole located just behind (north) of the building. The new facility will provide full ADA compliance as well as more efficient maintenance, and improved resistance to vandalism. The laundry facility at the east end of the existing building will be rebuilt in approximately the same location at a later date.

The current restroom structure was built in the early 1960s and has exceeded its useful service life. It includes 4 sinks, 4 toilets, 2 urinals and 2 showers. The new facility will provide 4 toilets, 4 sinks, and 4 showers. The new building is manufactured by CXT and has concrete block walls. The building is factory plumbed and wired, and all fixtures are vandal resistant.

The objective of this project is to replace an aging, noncompliant and difficult to maintain public restroom with a new, fully compliant, easy to maintain, and attractive public restroom/shower facility in order to provide better services to Florence residents and visitors.

Existing landscaping includes one pine tree, turf grass and concrete. Any trees or grass that must be removed for this project will be replaced and additional ornamental native plants will be added. Due to the use of native plants, an irrigation system is not required. An ADA accessible path will be installed to access restroom/shower entrances.

OFFICE USE ONLY

Date Submitted: _____

Fee: _____

Received By: _____

Receipt Number: _____

CONTINUED ON NEXT PAGE

Exhibit I

Description of Proposed Use

The Harbor Street restroom and shower building is used for toilet and showering needs by Florence visitors, boaters, campers and residents. The building is open 24 hours, daily. Two of the four new restroom units will be locked at night. The new concrete building will operate in the same fashion, with the addition of being fully ADA accessible.

Approximately 80' to the west of the restroom building is the Port of Siuslaw Car and Boat Wash, with Harbor Street beyond that. A commercial tax lot with office and residential space is located to the north of the restroom building. Approximately 50' to the northeast of the restroom building is the Port of Siuslaw Campground & Marina office, and the Campground. To the south of the restroom building is the driveway/access (extending from 1st Street) into the Port of Siuslaw Campground, Boat Launch, and Harbor Street Parking Lot.

This project is simply a replacement of the existing, deteriorating restroom building with a new pre-engineered concrete restroom building, covering a smaller footprint. The use will be the same as it has been for the past forty-plus years.



PORT OF SIUSLAW

Serving Western Lane County and The Central Oregon Coast

Creating quality jobs and businesses through the development and application of Port facilities, resources and unique capabilities

8 March 2011

RE: City land use permit for Port of Siuslaw restroom replacement

Michelle,

Responding to your email of 1 March:

1. The Port of Siuslaw believes the restroom and laundry facilities—located near Harbor Street, the boat launch, and the Port marina— are water related.

2. The Harbor Street restroom facility exists to serve boating customers using the public boat launch, marinas, and campground. The Oregon State Marine Board provides partial funding for the restrooms. This restroom has existed in this location, for this purpose, since 1966. It serves an essential function providing sanitary services to Florence residents and visitors. There are no practical alternative upland locations for these facilities. These facilities are located in the Development Estuary Management Unit.

There is an existing 6' solid wood fence between the restroom building and the adjacent property; the fence is currently 6' (west corner) to 42' (east corner) from the rear edge of the existing restroom. The Port will comply with any buffers required for landscaping.

3. N/A

4. Existing and Proposed Site Plans, and Landscape Plan attached. Since we will be using native plants, no irrigation will be needed. We will retain as much of the existing grass as possible during the restroom replacement. We expect to plant new plants in the fall to take advantage of natural watering.

A Tax Map showing the property lines is attached. Utilities are indicated on the Site Plan. Utilities are currently overhead and will moved underground concurrent with the restroom replacement. Attached Location Map shows adjacent streets and land uses. There are no streams, wetlands or dunes within 100' of the restroom. The soil is sandy. The site land has no significant grade.

Please let Mark know if you require further information.

Water Related Use Analysis

FCC 10-18-4: SPECIFIC APPROVAL CRITERIA:

A. Conditional Use Permit: In addition to the general approval criteria set forth in Section 10-4-9 of this Title, the following criteria shall apply to the consideration of a conditional use permit in this District in addition to applicable criteria in the adjacent Estuary District:

1. The proposed use must be a Water Dependent or Water Related Use, as defined in Chapter 1 of this Title.

The Oregon State Marine Board has supplied grant funding to pay for part of this "Harbor Street Boat Ramp Restroom" replacement. The Port of Siuslaw considers the restroom/laundry facility to be water related use because it is a use which is not directly dependent upon access to a water body, but which provides services that are directly associated with water dependent land or waterway use, and which, if not located adjacent to water, would result in a public loss of quality in the services offered. Since restrooms are needed for use of the docks, we think the restrooms and laundry room are water-related.

2. Where the proposed location is within a management unit as defined in the Comprehensive Plan, approval is subject to the "allowed uses and priorities" listed for that management unit. Where competition for limited land area exists, uses higher on the list have priority.

There is no higher use for this property than the use to which it has been put for the past 40+ years: providing essential services to the boating public.

3. In the case of water related uses, approval must be based on findings that:

a. Water Related Uses must be in conjunction with and incidental and subordinate to water-dependent uses on the site and there are no alternative upland locations in other districts which would be suitable for the proposed use;

This restroom/laundry facility is subordinate to the use of the boat ramp. There are no alternative upland locations that would be suitable for this facility.

b. There are sufficient sites available to meet projected needs for water dependent uses, especially sites adjacent to the estuary. Such non-water-dependent uses shall be constructed at the same time as or after the water-dependent use of the site is established, and must be carried out together with the water-dependent use.

Since the restroom/laundry has been occupying this space since 1965, there are apparently sufficient sites available to meet water dependent property needs.

d. The ratio of the square footage of ground-level indoor floor space plus outdoor acreage distributed between the non-water-dependent uses and the water-dependent uses at the site shall not exceed one to three (non-water-dependent to water-dependent).

The new restroom is less than 600 square feet; the property in question is over 3 acres (131,551 sf). The ratio does not exceed one to three.

e. Such non-water-dependent uses shall not interfere with the conduct of the water-dependent use.

On the contrary, having adequate sanitary services for boaters is essential for the water dependent use of the boat ramp.

Michelle Pezley

From: Port Admin [port@portofsiuslaw.com]
Sent: Tuesday, March 29, 2011 12:56 PM
To: Michelle Pezley
Cc: 'Port of Siuslaw'
Subject: response to letter of 24 March
Attachments: ADA parking Harbor Lot.pdf; Proposed Site Plan 29Mar11.pdf; New CXT Color Chart.jpg

Michelle,

Per Mark's request, in response to your letter:

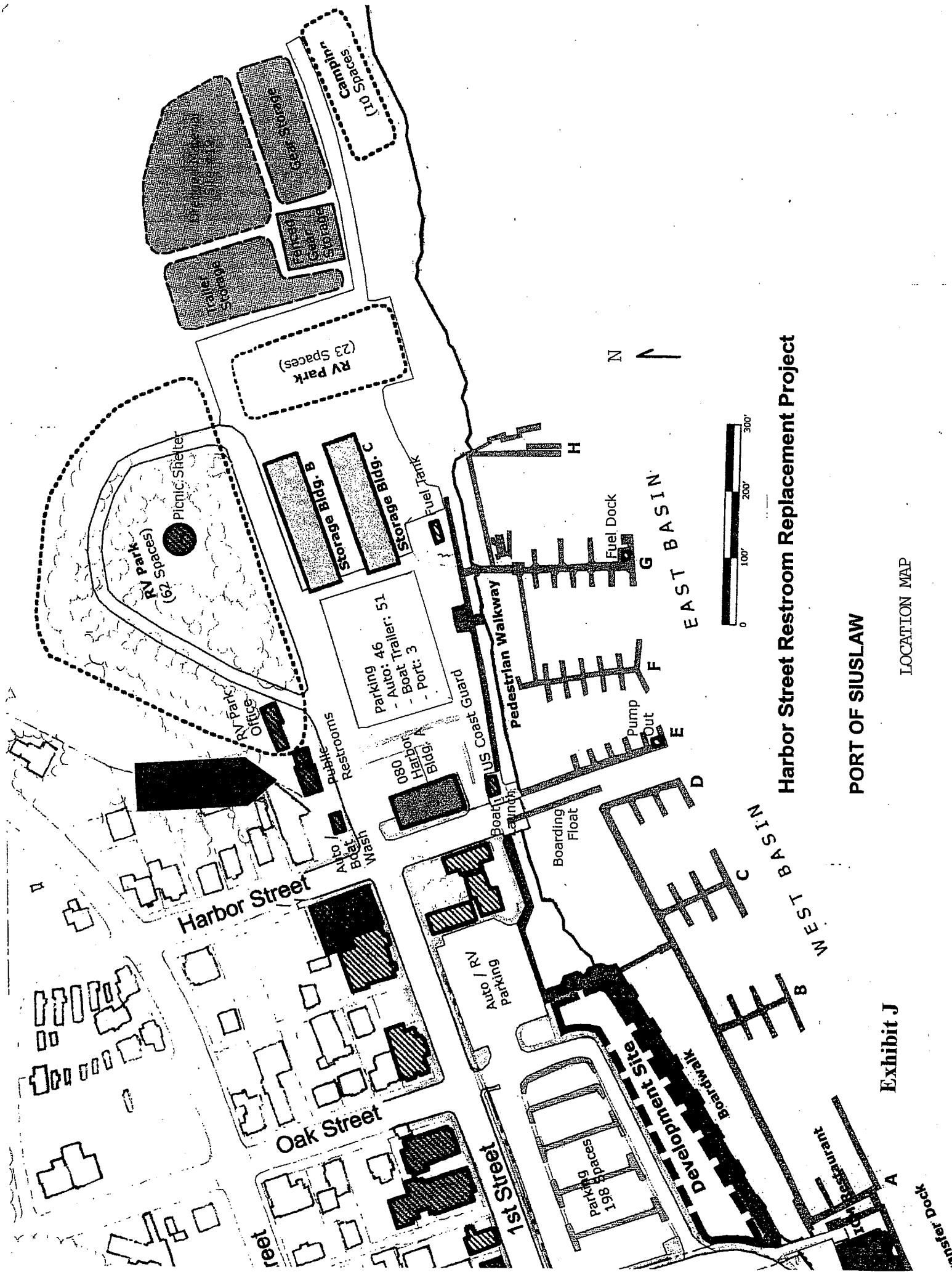
1. Yes, we will be completing this project in phases, with the restroom replacement happening first and the laundry facility second. Our timeline for the laundry facility is to begin construction within two weeks of completing the new restroom building. The laundry facility is expected to have wood siding and a composite roof and will have tan colored walls and a dark green or brown roof; similar colors to the new restroom building.
2. The square footage of the area shown in the site plan is approximately 5,400sf. Setback distances have been indicated on the attached Proposed Site Plan. We have attached a diagram of the Harbor Street Parking lot showing the ADA parking spaces
3. We have attached an electronic copy of the color palette from CXT.
4. Proposed landscape plants have been added to the Proposed Site Plan, attached.

Thank you,
Susy

Administrative Assistant
Port of Siuslaw
1499 Bay Street
PO Box 1220
Florence OR 97439
541-997-3426 phn
541-997-9407 fax
www.portofsiuslaw.com

PUBLIC RECORDS LAW DISCLOSURE: This is a public document. This email is subject to the State Retention Schedule and may be made available to the public.

3/29/2011



Harbor Street Restroom Replacement Project

PORT OF SIU LAW

LOCATION MAP

Exhibit J



Exhibit K

PLANNING COMMISSION
DESIGN REVIEW BOARD
RESOLUTION NO. 92-5-26-26

IN THE MATTER OF A CONDITIONAL USE PERMIT AND DESIGN REVIEW FOR AN
RV PARK WITH EXPANSION OF 18 SPACES

WHEREAS, application was made by Port of Siuslaw to expand an existing RV Park by 18 spaces at 100 Harbor Street Map No. 18-12-35-22 in the Marine District, and

WHEREAS, such application requires review by the City of Florence Planning Commission/Design Review Board, City Code 10-18-3, and 10-18-4, 10-4-9, 10-4-10, 10-4-11, 10-19-5, 10-19-6, 10-19-8 and 10-6-5

WHEREAS, the Planning Commission/Design Review Board met in public hearing on May 26, 1992 to consider the application and after consideration of evidence in the record and testimony presented, determined that approval of the request should be granted,

THE PLANNING COMMISSION finds, based on the attached Findings of Fact and staff recommendation that granting this approval shall be with the following conditions:

1. Future expansion of the RV Park will require that the Port make application for a change in size of Dredged Spoils Site 19.
2. New structures will comply with requirements for flood elevations above the 100-year flood zone.
3. Landscaping and paving of driveways will take place as soon as possible, and by spring of 1993.
4. Port must furnish proof that the proposed RV spaces will be at or above 100-year flood elevation or sign statement acknowledging that the elevation is below the 11 foot elevation as shown in the FIRM Flood Ins. Rate Map for Florence, Panel #410123 0001 B.

NOW, THEREFORE, BE IT RESOLVED, that the proposal is approved and that the Findings of Fact attached as Exhibit "A" are hereby incorporated by reference and adopted in support of this decision.

PASSED BY THE FLORENCE PLANNING COMMISSION, this 26th day of May, 1992.

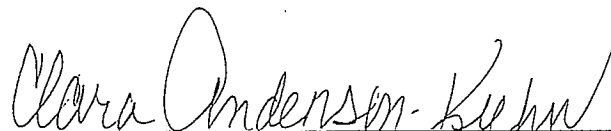

Clara Anderson-Kuhn, CHAIRMAN
FLORENCE PLANNING COMMISSION

Exhibit L

EXHIBIT "A"
FINDINGS OF FACT

PROPOSAL: CONDITIONAL USE PERMIT FOR AN RV PARK WITH EXPANSION
 OF 18 SPACES

LOCATION: 100 HARBOR STREET

ZONING: MARINE DISTRICT

APPLICANT: PORT OF SIUSLAW, BILL BRADSHAW MANAGER

PROPOSAL DESCRIPTION:

The Port of Siuslaw operates an RV park on a large parcel of land adjacent to the sports marina in the river. In addition to these sites, an area along the bulkhead was used for approximately 12 temporary RV sites without water or sewer hookups before the recent black topping of the lot. These discontinued spaces did not comply with the Port's recently completed preliminary Master Plan.

This application is for 18 additional RV spaces with full hook-ups. The submitted plan shows a future phase may include as many as 148 additional spaces.

The proposed site is within a dredged spoils disposal site, shown as Site 19 in the Siuslaw Dredged Disposal Plan. This site is described as the key site for receiving dredgings from this river segment. A report addressing this issue has been submitted by the Port's consulting firm.

APPLICABLE CODE AND PLAN PROVISIONS:

Marine District:

1. City Code Section 10-18-3, Marine District, buildings and uses permitted conditionally lists water dependent and water related uses permitted in this zoning district. While RV Park use is not specifically listed, the Planning Commission has determined that this use is water related and that allowing RV Parks as an interim use in Marine District would not have any different or more detrimental effect on the area or estuary than uses specifically listed. All uses require a Conditional Use Permit.
2. City Code Section 10-18-4 Marine District, specific approval criteria, requires that the following criteria be applied to Conditional Use review in this district:

A. Conditional Use Permit: In addition to the general approval criteria set forth in Section 10-4-9 of this Title, the following criteria shall apply to the consideration of a Conditional Use Permit in this district:

1. The proposed use must be a water dependent or water related use.

The use is considered water related.

2. Where the proposed location is within a management unit as defined in the Comprehensive Plan, approval is subject to the "allowed uses and priorities" listed for that management unit. Where competition for limited land area exists, uses higher on the list have priority.

This area is within Shoreland Management Unit 4 of the Coastal Resources Management Plan and also partially within dredge spoil disposal site 19, as shown in the Siuslaw River Dredged Material Disposal Plan.

Shoreland MU4 is designed for Mixed Development.

3. In the case of water related uses, approval must be based on findings that:

- a. There are no alternative upland locations in other districts which would be suitable for the proposed use; and
- b. There are sufficient sites available to meet projected needs for water dependent uses, especially sites adjacent to the estuary.

4. Special Conditions: In addition to the general conditions listed in Sections 10-4-10 and 10-4-11, special conditions may be required.

- a. State and/or Federal permits for any dredge, fill or installation of pilings must be obtained, if applicable.
- b. Structures or vegetative plantings may be required to prevent riverbank erosion.

Applicant will secure all permits needed for the development. The proposal will not require dredge or fill nor erosion control outside normal ground cover as in all districts within the City.

Design Review:

Code Section 10-6-5 Design Review General Criteria relevant to this proposal: Code Section 10-4-10 requires Design Review for any project requiring Conditional Use Permit, except single family residential uses.

1. The location and design of access and egress points for vehicles and pedestrians.

Access is from Harbor Street, through additional Port owned property, and is adequate.

2. Parking and outside display areas, dimensions, surfacing and on-site traffic circulation.

Onsite traffic is controlled by signage to ensure good circulation patterns for the RV Park and other uses. The streets will be compacted gravel.

3. Signs.

Signs are existing. No new signs are proposed.

4. Architectural quality and aesthetic appearance, including compatibility with adjacent buildings. Color, building materials and exterior appearance in accordance with the policies established by the City.

No new structures are proposed.

5. Installation and maintenance of fences, walls, hedges, screens and landscaping.

The Port intends to landscape this new portion of the RV Park with native shrubs and trees similar to landscaping of the existing spaces. This landscaping will take place during winter months to take advantage of the rainy season. This will ensure better plant survival.

6. Such other conditions as are necessary to implement policies contained in the Florence Comprehensive Plan.

The Comprehensive Plan encourages recreation facilities in the area, recognizing that tourism is important to the City's economy. The Port is in the process of developing a 20 year Master Plan for Port activities and properties.

A partial plan has been done for this property that shows the Port's intention of enlarging the RV Park to over 300 spaces. This large addition will require that another dredged spoils site be found and the spoils site overlay be lifted from this property.

7. Requiring a time period within which the proposed use or portions thereof shall be developed.

The Port is under pressure to install these 18 sites as soon as possible to increase park revenue. The landscaping and hard surfacing will be put in as time permits this winter and next spring. Planning Commission policy has been to allow one year from date of approval for final site work.

Flood Management Zone:

The 100 year Flood Plain Elevation is set at 11 feet for this portion of the river. Land elevation is from 10 to 14 feet on this parcel according to the photogrammetry charts based on aerial photos. This elevation may have changed due to the fill placed here from dredging. If permanent buildings are added, the ground elevation should be measured.

The RV Park is not required to be above the flood elevation as long as water and sewer facilities and dump stations are protected to prevent contamination under flood conditions.

Estuary and Shorelands:

Estuary and Shoreland Management Unit requirements, Code Section 10-19-5, 10-19-6 and 10-19-8.

- A. Code Section 10-19-6, Estuary and Shorelands, contains general provisions requiring preliminary investigation by the Planning Director to determine if requirements of this chapter apply.

The requirements of the district shall apply in an area in which it is determined that one or more of the criteria specified hereinbelow apply:

1. Lands which limit, control or are directly affected by the hydraulic action of the coastal waterways.
2. Adjacent areas of geologic instability.
3. Natural or man-made riparian resources.
4. Areas of significant shoreland and wetland biological habitat.

5. Areas necessary for water dependent and water related uses, including areas of recreation importance which utilize coastal water or riparian resources, areas appropriate for navigation and port facilities and areas having characteristics suitable for aquaculture. These are as identified in the Florence Comprehensive Plan.
6. Areas identified in the Florence Comprehensive Plan as having exceptional aesthetic or scenic quality derived from or related to the association with coastal water areas.

The site falls within this designation because it is identified in the Comprehensive Plan as appropriate for Port facilities and water dependent, water related uses, item 5 above.

B. The Mixed Development designation for this parcel is intended to carry out the following purposes:

1. Provision, adjacent to deep water environments, of shorelands sites for use by water dependent and water related commercial and industrial uses.
2. Protection of previously existing water dependent and water related commercial and industrial sites in shorelands areas.
3. Provision of opportunities for non-water dependent and non-water related uses where designated in the Comprehensive Plan.
4. Protection of coastal waters and avoidance of geographic and hydrologic hazards.

The RV Park use is considered water related. The park could be considered an interim use, and could be removed or relocated if the site is needed for future water dependent uses. These uses are adequately provided for at the present time on this and adjacent Port properties. No geologic or hydrologic hazards exist at this location, except the projected elevation of the 100-year flood. Plans for future structures will address this restriction.

C. Special uses approved by administrative review:

1. Uses:
 - a. Water dependent and water related commercial, industrial and public uses.

Criteria and Conditions:

- a. The site has the potential for water dependent and water related uses.
- b. Short-term economic gain or convenience in development shall be evaluated in relation to potential long-term effects of the estuary and shorelands, as well as long-term economy of the area.
- c. Visual attractiveness of design and layout is considered.
- d. Maintain or encourage riparian vegetation for erosion control and temperature and general aesthetics where feasible.

The RV Park is a commercial , water related use of publicly owned property. Economic gain from the development is encouraged to help offset costs of improving the marina, parking and sanitary facilities.

The Port intends that the park will be landscaped to be visually attractive. Riparian vegetation is not required in this location for river caused erosion control. It will be encouraged where possible for attractive landscaping.

Dredged Material Site:

Code Section 10-19-8-C Conditional Uses: The Planning Commission, subject to the procedures and conditions set forth in Chapter 4 of this Title, may grant a Conditional Use Permit for the following:

1. Use:
 - a. Temporary uses permitted outright or conditionally in the underlying district.

Criteria:

- a. No use shall be permitted which would interfere with the timely availability of sites for deposition of dredged materials.
- b. Stock pile sites shall remain open and available for removal as well as deposition of dredged material.

- c. Recommendations of the Port of Siuslaw shall be weighed heavily in consideration of proposed use.

RV Park use can be considered a temporary or interior use of land. If the site was needed for storage of dredged material it could be converted back to this use.

The Port of Siuslaw intends to file a request for reduction in the size of this disposal site. A report from their consultant is attached as Exhibit "B", which provides information in support of lessening the size of this site.

ANALYSIS AND CONCLUSION:

The base zoning district designation is Marine, within a Mixed Development Shorelands Management Unit and Dredged Material Spoil Site Overlay Designation. The RV Park use is allowed as a Conditional Use within the underlying zone.

The park utilizes a portion of Port properties that would otherwise lay vacant. It also produces needed revenues for the Port.

Staff has reviewed the use and concludes that it complies with City Code and Comprehensive Plan policies and recommends approval based on the following conditions:

1. Future expansion of the RV Park will require that the Port make application for a change in size of Dredged Spoils Site 19.
2. New structures will comply with requirements for flood elevations above the 100-year flood zone.
3. Landscaping and paving of driveways will take place as soon as possible, and by spring of 1993.
4. Port must furnish proof that the proposed RV spaces will be at or above 100-year flood elevation or sign statement acknowledging that the elevation is below the 11 foot elevation as shown in the FIRM Flood Ins. Rate Map for Florence, Panel #410123 0001 B.

PASSED BY THE FLORENCE PLANNING COMMISSION, this 26th day of May, 1992.

X without modifications

_____ with the following modifications

EXHIBIT "B"

DRAFT FINDINGS FOR PORT OF SIUSLAW CU APPLICATION FOR RV PARK EXPANSION PROJECT

April 13, 1992

Page 1 of 2

1. The Port of Siuslaw is responsible for providing a dredged material disposal site for its dredging requirements associated with its commercial and sport moorage areas.
2. Material to be dredged from marina areas typically includes contaminants that preclude its disposal in approved in-water disposal sites. Dredging techniques generally use pipeline and clamshell type of dredges for this work.
3. Site 19 is the only approved upland disposal site near the Port of Siuslaw moorage areas.
4. There is a federal authorized navigation channel in the Siuslaw River that extends from the river entrance to river mile 16.5.
5. Site 19 is a sand pit formed by placement of dredged material disposed from the navigation channel and North Fork Siuslaw River dredging. Records show that the North Fork Channel entrance to the Siuslaw River historically was located approximately where the existing Harbor Street Boat Ramp is now located.
6. The last use of Site 19 for dredge material placement was in 1989 in association with the Port of Siuslaw commercial dock replacement project. The Port of Siuslaw used its own pipeline dredge *Quillayute* to accomplish the 10,000 cubic yards of dredging. Only the easterly one-half of the site was needed to dewater and mound the dredge material.
7. The Port of Siuslaw has been removing stockpiled materials from the site for its own fill and leveling requirements on other properties and sells materials to the public.
8. The Port of Siuslaw is working on a Harbor Street master plan that includes determining alternatives to using Site 19 just for dredge material disposal stockpiling.
9. The hydraulics engineer working on the Master Plan has observed that future marina maintenance dredging will be dramatically reduced as long as the federal navigation project is maintained and future improvements and retrofits to the sport moorage area locate moorages riverward. The draft master plan for dock construction has conformed to this recommendation.
10. The last federal navigation channel maintenance dredging projects in the immediate vicinity were in 1973 and 1974. Approximately 33,000 cubic yards were dredged on the North Fork shoal using a pipeline dredge and placed at Site 22 (Johnson Rock Products) and 48,000 cubic yards were dredged on the Florence shoal using a pipeline dredge and placed at Site 19.

CU APPLICATION FOR RV PARK EXPANSION PROJECT
Page 2 of 2

11. The Siuslaw River Dredged Material Disposal Plan (DMDP) developed by Wilsey and Ham, November 1978 has been used in the Lane County Estuary Management Plan which has been jointly adopted by the City of Florence and Lane County for carrying out coastal statewide planning goals #16 (Estuarine Resources) and #17 (Coastal Shorelands). The DMDP designates Site 19 as a "key" site, for the maintenance of the federal navigation channel's Florence shoal area using a pipeline dredge and for maintenance of the Port's moorages.
12. The RV park expansion project requires the use of the westward 200 feet of the DMDP site designation, leaving approximately 2/3 of the eastward portion available for disposal use.
13. The DMDP explains that the 20 year need for Site 19 is 28,000 cubic yards that would potentially accumulate at the Port of Siuslaw marinas.
14. The Harbor Street Master Plan's hydraulics engineer has observed that the area required for dewatering and stockpiling 25,000 cubic yards of dredged materials is approximately 62,500 square feet. Site 19 is now designated to be 275,000 square feet.
15. Site 19 is filled to its designated capacity and future use as a dredged material disposal site must be for dewatering and temporary storage only.
16. Approximately 200 feet of upland area is available, but not now designated for dredge material disposal on the easterly side of the Site 19 boundary.

Senior Planner Allen reported this is an application for a Conditional Use Permit to operate a small concrete mixing business in an existing business park at 4005 Highway 101, in the Highway District. The applicant has signed a lease for the rear of the site and will have 1 mixer and towable trailers. There will be 2 mounds 4' to 6'. A 12 x 12 bin will be built to store the materials. Findings indicated there is adequate land available to carry out the use with 75% Industrial vacancy rate. No structures are requested nor are any sewers proposed. There is adequate access and vehicle maneuvering room and there is dense vegetation along the site to screen the use from the Highway 101 corridor. Staff had a concern regarding the outside storage of material and dust blowing therefore recommends a lid over the storage structure. All mechanical equipment will be shielded and prior to a business license being issued a State electrical inspection will be required. The proposal is relatively small, however the Planning Commission should regulate the scale of the use and as a condition a Conditional Use Permit will be required for any addition of mixers with this Conditional Use Permit only covering the one mixer. Staff recommends approval with the following conditions: 1) Any additional or larger mixers shall require a Conditional Use Permit; 2) All concrete mix material shall be stored in a closed container that is capable of preventing flying dust; 3) Any moving mechanical equipment shall be shielded to prevent accidental contact by the general public; 4) A State Electrical Permit shall be issued prior to operation and issuance of a City Business license.

Chairman Anderson-Kuhn asked for applicant testimony.

Robert Burleson, applicant: Stated he has nothing to add with the exception of asking for permission to place a tied-down tarp over the storage bin rather than a heavy lid. He stated the product is usually not dusty that it is sand/rock and usually damp.

Chairman Anderson-Kuhn asked for citizens in favor or opposed. Hearing none she closed the public hearing at 7:38 p.m.

Very minor discussion was heard with Commissioners being in favor of the proposal. Commissioner Moore moved to approve Resolution 92-5-26-25 with condition 2 on page 3 of the Findings to show that a tarp in place of lids over the bins is acceptable, second by Commissioner Burch, by voice vote all "aye", motion carried.

B. PUBLIC HEARING

RESOLUTION 92-5-26-26

Conditional Use Permit and
Design Review for an RV Park
with expansion of 18 spaces
100 Harbor Street
Map 18-12-35-22, Marine District
Port of Siuslaw

Chairman Anderson-Kuhn opened the public hearing at 7:40 p.m and asked for ex-parte contact or conflict of interest. Hearing none she asked for staff report.

Exhibit M

Planning Director Callispie explained the Port operates an RV Park adjacent to the sports marina which was developed through dredge spoils. Currently there are 67 RV spaces and the proposal is for 18 more with full hook-ups. Part of the site is within Site 19 Dredge Spoils Site which has not fully been used in several years. The packet contains Exhibit B supplied by the Port which shows only half the site will be needed for the next 12 to 15 years. The project is in Marine District and within Shoreland MU and Overlay District. All uses in the Marine District are by Conditional Use and must be water dependent or water related. RV Park use has been considered as water-related by the Planning Commission and is an interim use. The RV Park is very popular and close to the marina and she feels it is worth supporting. It provides a good revenue source for the Port, there are no alternative upland locations and it is not taking up space that is needed now. Special conditions may apply, however, none are needed. DEQ has already given approval. Each space will contain parking and no further is needed and they intend to landscape in the fall and winter. Staff recommends approval with the following conditions: 1) Future expansion of the RV Park will require that the Port make application for a change in size of Dredged Spoils Site 19; 2) New structures will comply with requirements for flood elevations above the 100-year flood zone; 3) Landscaping and paving of driveways will take place as soon as possible, and by spring of 1993; 4) Port must furnish proof that the proposed RV spaces will be at or above 100-year flood elevation or sign statement acknowledging that the elevation is below the 11 foot elevation as shown in the FIRM Flood Ins. Rate Map for Florence, Panel #410123 0001 B.

Laura stated condition 2 has been answered in that the spaces will be 12 to 14' above elevation which is above the 11' flood plain.

She also stated that on the map the green highlighting takes in too much area, that the proposed spaces are the first row of double spaces closest to the west, a back to back row. The pull through's will not be put in now.

Chairman Anderson-Kuhn asked for applicant testimony, citizens in favor and opposed and hearing none, closed the public hearing at 7:50 p.m.

Commissioner Pearson moved to approve Resolution 92-5-26-26 with second by Commissioner Stone, by voice vote all "aye", motion carried.

5. REPORTS:

Planning Director

Laura addressed agenda item #1 which was withdrawn prior to the meeting. She stated she talked to the owner of the property earlier in the day and they discussed options for building on the lot which is difficult to build on. She (the owner) is considering a smaller footprint for a 2 story house which will fit better. She did intend to fill-up the lot to diminish cutting into the ban, however plans are at a standstill now.

**CITY OF FLORENCE
PLANNING COMMISSION**

RESOLUTION PC 11 01 CUP 01

RESOLUTION PC 11 01 CUP 01: An application for Conditional Use Permit and Design Review to replace the restroom and laundry buildings with new facilities at the Port of Siuslaw's Campground. The site is located near 100 Harbor Street, North of the Siuslaw River, east of Harbor Street and south of Quince Street (Map No. 18-12-35-22 Tax Lot 03503).

WHEREAS, application was made by Mark Freeman, Port of Siuslaw Manager on behalf of the Port of Siuslaw for a Conditional Use Permit and Design Review, for to replace the restroom and laundry buildings with new facilities as required by Florence City Code (FCC) 10-1-1-4, FCC 10-6-6, and FCC 10-4-3; and

WHEREAS, the Planning Commission/Design Review Board met in a public hearing on May 10, 2011 as outlined in FCC 10-1-1-5, to consider the application, evidence in the record, and testimony received; and

WHEREAS, the Planning Commission/Design Review Board determined per FCC 10-4-9 and FCC 10-1-1-5-E, after review of the application, testimony and evidence in the record, as per FCC 10-6-7, FCC 10-4-4, and, FCC 10-4-5 that the application meets the criteria through compliance with certain Conditions of Approval; and

WHEREAS, the Planning Commission/Design Review Board of the City of Florence finds, based on the Exhibit A: Findings of Fact, staff recommendation and evidence and testimony presented to them, that the application with modifications and conditions of approval meets the applicable criteria.

NOW THEREFORE BE IT RESOLVED that the Planning Commission/Design Review Board of the City of Florence finds, based on the Exhibit A: Findings of Fact and the evidence in record that:

The application, as presented, meets or can meet applicable City codes and requirements, provided that the following conditions of approval are met.

1. Approval shall be shown on:

"A" Findings of Fact
"B" Site Map (Existing and Proposed)
"C" Elevations of Laundry Facility
"D" Elevations of Restroom Facility
"E" Brochure of Restroom
"F" Color Sample for Restroom
"G" Landscaping Plan
"H" Parking Lot South of Site Showing Proposed ADA Space

Findings of Fact attached as Exhibit "A" are incorporated by reference and adopted in support of this decision. Any modifications to the approved plans or changes of use, except those changes relating to Building Codes, will require approval by the Community Development Director or Planning Commission/Design Review Board.

2. Regardless of the content of material presented for this Planning Commission, including application text and exhibits, staff reports, testimony and/or discussions, the applicant agrees to comply with all regulations and requirements of the Florence City Code which are current on this date, EXCEPT where variance or deviation from such regulations and requirements has been specifically approved by formal Planning Commission action as documented by the records of this decision and/or the associated Conditions of Approval. The applicant shall submit to the Community Development Department a signed "Agreement of Acceptance" of all conditions of approval prior to issuance of a building permit.
3. Florence Public Works will be relocating the water meter(s) to a location within the public right-of-way. The applicant shall coordinate the project's construction schedule with Public Works in order to limit service impacts. Additionally, the applicant is required to demonstrate that all publicly owned water, wastewater and stormwater mains, including service lines or laterals, are contained within easements prior to final occupancy of the facility. All public utilities located on the subject property shall be covered by easements. The minimum width of a utility easement is 15 feet with the service or main line centered within the easement. Prior to recording of the easements, Florence Public Works shall approve said easements.
4. With the building permit application, the applicant shall submit a sand management plan which will detail how to manage the sand during construction and detailed plans for re-vegetation of disturbed areas after construction is complete.
5. Prior to final occupancy of the restroom facility, the ADA space shall be marked and signed as required by FCC 10-3-5.
6. Landscaping: Prior to final inspection, the applicant shall provide a written statement from the landscaper that the landscaping will cover 70 percent of the landscaped areas within the next 5 years.
7. Planting Soils: The landscaping will be planted with a soil compost blend around and under the new plants.
8. Noxious weeds: All noxious weeds within the site shall be removed final inspection.
9. Complete Landscaping: Prior to issuance of a Certificate of Occupancy, the applicant or representative shall call the Planning Department for inspection of landscaping at (541) 997-8237, and allow one week for an inspection of the landscaping.

10. Irrigation: Permanent, underground irrigation is required for the turf grass (non-drought tolerant plant). Prior to issuance of a building permit, applicant, property owner and/or representative shall obtain an irrigation permit and shall include the location for a backflow device. The permanent, underground irrigation system shall be installed prior to final inspection.

APPROVED BY THE FLORENCE PLANNING COMMISSION/DESIGN REVIEW BOARD the 10th day of May 2011.

JAN NIEBERLEIN, Chairperson
Florence Planning Commission

DATE