

FLORENCE DIALYSIS CLINIC

#39 Pacific View Business Park, Florence, OR



Jones, Partners: Architecture
800 McGarry Street, suite 436, Los Angeles CA 90021
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NEW SINGLE-STORY DIALYSIS CLINIC AT #39 PACIFIC VIEW BUSINESS PARK, FLORENCE, OR

COUNTY: LANE
 TAX LOT MAP# 18122242
 PARCEL# 1200
 ZONING: PVPB

LOT SIZE: 1.47AC
 64,039 SF

(N) LANDSCAPE AREA: 7,604 SF
 (E) PRESERVED LANDSCAPE AREA: 17,778 SF
 TOTAL LANDSCAPE AREA W/ CREDIT: 14,008 SF (21.9%)

TOTAL (ENCLOSED) GROSS SF: 6,175 SF

OCCUPANCY CLASSIFICATION: BUSINESS GROUP B
 CLINIC - OUTPATIENT
 STORAGE GROUP S-2

CONSTRUCTION CLASSIFICATION: V-B

APPLICABLE CODE

ZONING	2010 FLORENCE CITY CODE
BUILDING	2010 OREGON STRUCTURAL SPECIALTY CODE BASED ON 2009 IBC
ELECTRICAL	2008 OREGON ELECTRICAL SPECIALTY CODE BASED ON 2008 NEC
PLUMBING	2011 OREGON PLUMBING SPECIALTY CODE BASED ON 2009 UPC
HVAC	2010 OREGON MECHANICAL SPECIALTY CODE BASED ON 2009 IMC AND 2009 IFGC
FIRE	2010 OREGON FIRE CODE BASED ON 2009 IFC

PROJECT OWNER
 FLORENCE DIALYSIS, LLC
 3355 RIVERBEND DR, SUITE 200
 SPRINGFIELD, OR 97477
 541.465.6478

PROJECT ARCHITECT
 JONES, PARTNERS ARCHITECTURE
 800 MCGARRY ST, SUITE 436
 LOS ANGELES, CA 90021
 213.327.0034

CIVIL ENGINEER
 OLSON & MORRIS
 380 Q ST, SUITE 200
 SPRINGFIELD, OR 97477
 541.302.9790

PROJECT TENANT
 FRESNIENUS MEDICAL CARE
 NA CORPORATE HEADQUARTERS
 100 GALLERIA PKWY SUITE 500
 ATLANTA, GA 30339

TENANT IMPROVEMENT ARCHITECT
 CLARK/KJOS ARCHITECTS
 333 NW 5TH AV.
 PORTLAND, OR 97209
 503.224.4848

GEOTECHNICAL ENGINEER
 K & A ENGINEERING
 91051 S. WILLAMETTE ST. PO BOX 8486
 COBURG, OR 97408
 541.684.9399

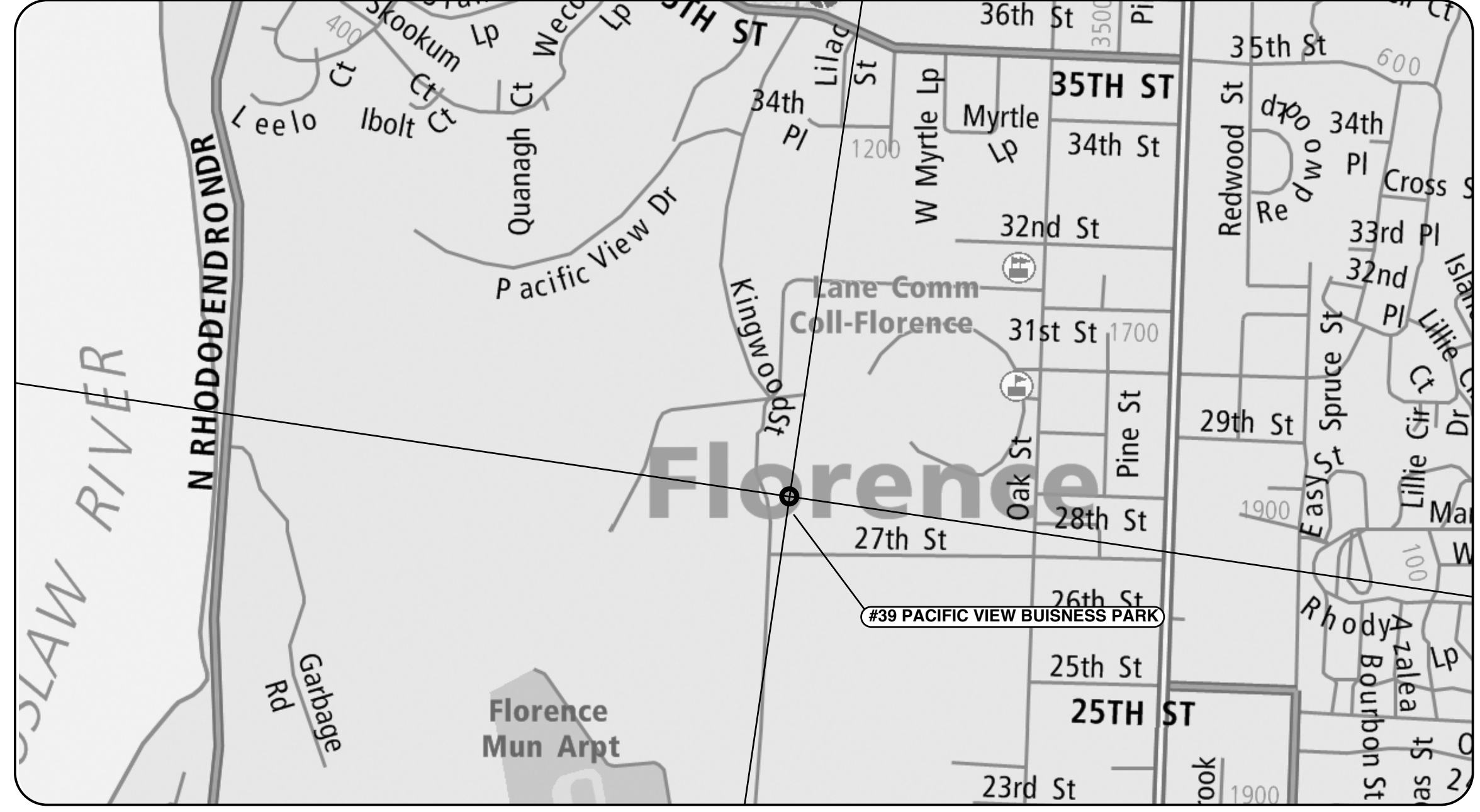
SITE JURISDICTION
 FLORENCE CITY HALL
 250 HIGHWAY 101 N.
 FLORENCE, OR 97439
 541.997.8237

MEP ENGINEER
 XXXXX
 XXXXX
 XXXXX

STRUCTURAL ENGINEER
 XXXXXXX
 XXXXXXX
 XXXXXXX

ADJ. ABOVE FINISHED FLOOR	ADJ. ABOVE FINISHED FLOOR
ALUM. AVERAGE	ALUM. AVERAGE
AT BOARD	AT BOARD
BETW. BEAM	BETW. BEAM
C.H. CONDUCTOR HEAD	C.H. CONDUCTOR HEAD
C.I.P. CONTROL JOINT	C.I.P. CONTROL JOINT
C.L. CENTER LINE	C.L. CENTER LINE
CLG. CEILING	CLG. CEILING
CLR. COLUMN	CLR. COLUMN
COL. CONC. CONSTRUCTION	COL. CONC. CONSTRUCTION
CONT. CONTINUOUS DIMENSION	CONT. CONTINUOUS DIMENSION
DN. DOWN	DN. DOWN
DR. DETAIL	DR. DETAIL
DRN. DRAIN	DRN. DRAIN
DWG. DRAWING	DWG. DRAWING
EA. EACH	EA. EACH
ELEV. ELEVATION	ELEV. ELEVATION
ELEC. ELECTRIC	ELEC. ELECTRIC
EQ. EQUIPMENT	EQ. EQUIPMENT
EXT. EXTERIOR	EXT. EXTERIOR
EXIST. EXISTING	EXIST. EXISTING
F.F.L. FINISH FLOOR LEVEL	F.F.L. FINISH FLOOR LEVEL
FLR. FINISH	FLR. FINISH
FIN. FACE OF	FIN. FACE OF
F.O.S. FACE OF STUD	F.O.S. FACE OF STUD
F.O.W. FACE OF WALL	F.O.W. FACE OF WALL
GA. GAUGE	GA. GAUGE
GALV. GALVANIZED	GALV. GALVANIZED
GR. GRADE	GR. GRADE
GSM. GALVANIZED SHEET METAL	GSM. GALVANIZED SHEET METAL
GWB. GYPSUM WALL BOARD	GWB. GYPSUM WALL BOARD
HDWD. HARDWOOD	HDWD. HARDWOOD
HR. HOUR	HR. HOUR
HT. HEIGHT	HT. HEIGHT
INS. INSULATION	INS. INSULATION
INT. INTERIOR	INT. INTERIOR
JT. JOINT	JT. JOINT
K.D. KILN DRIED	K.D. KILN DRIED
LT. LIGHT	LT. LIGHT
LOC. LOCATION	LOC. LOCATION
MAX. MAXIMUM	MAX. MAXIMUM
MECH. MECHANICAL	MECH. MECHANICAL
MIN. MINIMUM	MIN. MINIMUM
N.I.C. NOT IN CONTRACT	N.I.C. NOT IN CONTRACT
NO. NUMBER	NO. NUMBER
(N) ON CENTER	(N) ON CENTER
OPP. OPPOSITE	OPP. OPPOSITE
PL. PLATE	PL. PLATE
PLY. PLYWOOD	PLY. PLYWOOD
PTD. PAINTED	PTD. PAINTED
RAD. RADIUS/ RADI	RAD. RADIUS/ RADI
ROOF. ROOF DRAIN	ROOF. ROOF DRAIN
REF. REFER TO	REF. REFER TO
RES. RESISTANT	RES. RESISTANT
RESIL. RESILIENT	RESIL. RESILIENT
REQD. REQUIRED	REQD. REQUIRED
RIGD. RIGID	RIGD. RIGID
RM. ROOM	RM. ROOM
R.O. ROUGH OPENING	R.O. ROUGH OPENING
RAINW. RAINWATER LEADER	RAINW. RAINWATER LEADER
SECT. SECTION	SECT. SECTION
SHT. SHEET	SHT. SHEET
SIM. SIMILAR	SIM. SIMILAR
ST. STL. STAINLESS STEEL	ST. STL. STAINLESS STEEL
STRUCT. STRUCTURAL	STRUCT. STRUCTURAL
THK. THICK	THK. THICK
THRU. THROUGH	THRU. THROUGH
TOP. TOP OF	TOP. TOP OF
TYP. TYPICAL	TYP. TYPICAL
U.O.N. UNLESS OTHERWISE NOTED	U.O.N. UNLESS OTHERWISE NOTED
V.I.F. VERIFY IN FIELD	V.I.F. VERIFY IN FIELD
WD. WOOD	WD. WOOD
WIN. WINDOW	WIN. WINDOW
WT. WEIGHT	WT. WEIGHT

PROJECT DESCRIPTION | 07
 NO SCALE



LOCATION PLAN | 06
 NO SCALE

ARCHITECTURAL SYMBOLS | 05
 NO SCALE

ABBREVIATIONS | 04
 NO SCALE

ARCHITECTURAL

A000 GENERAL INFORMATION
 A001 SITE PLAN
 A002 SITE DETAILS
 A100 FLOOR PLAN
 A101 ROOF PLAN
 A200 BUILDING ELEVATIONS
 A201 BUILDING ELEVATIONS
 A202 MISC. ELEVATIONS
 A300 BUILDING SECTIONS
 A301 BUILDING SECTIONS
 A400 REFLECTED CEILING PLAN
 A600 DOOR AND WINDOW SCHEDULE
 A800 DETAILS
 A801 DETAILS

CIVIL

C1 EXISTING SITE CONDITIONS
 C2 SITE GRADING PLAN
 C3 SITE PAVING PLAN
 C4 SITE UTILITY PLAN
 C5 STORM WATER PLAN
 C6 CIVIL DETAILS
 C7 CIVIL DETAILS
 EC1 EROSION CONTROL PLAN

LANDSCAPE

L100 LANDSCAPE PLAN
 L200 LANDSCAPE DETAILS
 L300 LANDSCAPE SPECIFICATIONS

M/E/P

M100 HVAC PLAN
 M101 HVAC SCHEDULE AND DETAILS
 E050 SITE PHOTOMETRIC PLAN
 E100 ELECTRICAL SITE PLAN
 E200 LIGHTING PLAN
 E210 POWER PLAN
 E230 SYSTEMS PLAN
 E240 PANELS, MOTOR SCHEDULE AND RISERS
 E250 ELECTRICAL SYMBOLS AND DETAILS
 E251 ELECTRICAL SYMBOLS AND DETAILS
 E252 ELECTRICAL SYMBOLS AND DETAILS
 E253 ELECTRICAL SYMBOLS AND DETAILS
 E254 ELECTRICAL SYMBOLS AND DETAILS
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 E299 ELECTRICAL SYMBOLS AND DETAILS
 E300 ELECTRICAL SYMBOLS AND DETAILS

STRUCTURAL

S000 GENERAL NOTES
 S100 FOUNDATION PLAN
 S101 ROOF FRAMING PLAN
 S300 SECTIONS
 S500 DETAILS

DRAWING LIST | 03
 NO SCALE

CODE SUMMARY

ZONING: PACIFIC VIEW BUSINESS PARK (PVPB) OFFICE (PER FCC 10.28.2)

SEE A001 FOR ZONING SETBACKS

(N) LANDSCAPE AREA: 7,604 SF
 (E) PRESERVED LANDSCAPE AREA: 17,778 SF
 TOTAL LANDSCAPE AREA W/ CREDIT: 14,008 SF (21.9%)

SEE L100 FOR FURTHER LANDSCAPE CALCULATIONS

PROPOSED LOT COVERAGE: 48.4%
 ALLOWED LOT COVERAGE: 85% (PER FCC 10.28.4(c))

CONSTRUCTION CLASSIFICATION: V-B

PROPOSED BUILDING AREA: 6,175 SF
 ALLOWED BUILDING AREA: 9,000 SF + 27,000 SF = 36,000 SF
 PER OBC 506.1, AREA MODIFICATION FOR SPRINKLERS

STORIES / HEIGHT: 1 / 24'

FIRE SAFETY SYSTEM: AUTOMATIC SPRINKLER SYSTEM
 PER OBC 903.1

REQUIRED PARKING SPACES: 31 (PER FCC 10.3.4(b))
 PROVIDED PARKING SPACES: 34
 REQUIRED ACCESSIBLE SPACES: 2 (PER FCC 10.3.5)
 PROVIDED ACCESSIBLE SPACES: 4

OCCUPANCY CLASSIFICATION: BUSINESS GROUP B
 CLINIC - OUTPATIENT
 STORAGE GROUP S-2
 PER FMC REQ. SHALL PROVIDE 1-HR FIRE SEPARATION BETWEEN INCIDENTAL USE AREAS. EXCEEDS OBC 508.2.5

OCCUPANT LOAD: 5,000 SF OUTPATIENT AREA
 LOAD FACTOR = 100 SF PER OBC 1004.1.1
 MAXIMUM OCCUPANTS = 50
 1,180 SF STORAGE AREA
 LOAD FACTOR = 300 SF PER OBC 1004.1.1
 MAXIMUM OCCUPANTS = 4
 TOTAL OCCUPANT LOAD = 54

CODE SUMMARY | 02
 NO SCALE

GENERAL NOTES:

DEFINITIONS: "CONTRACTOR" SHALL MEAN THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS. "TRADES" SHALL MEAN THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS, SUPPLIERS AND MANUFACTURERS. "ARCHITECT" SHALL MEAN THE ARCHITECT OF RECORD OR HIS AGENT. "OWNER" SHALL MEAN THE PROPERTY OWNER OR ITS DESIGNATED REPRESENTATIVE. "FURNISH" SHALL MEAN SUPPLY ONLY, FOR OTHERS TO INSTALL. "INSTALL" SHALL MEAN SUPPLIED BY OTHERS, FOR CONTRACTOR TO INSTALL. "PROVIDE" SHALL MEAN FURNISHED AND INSTALLED BY CONTRACTOR. "SIMILAR" SHALL MEAN COMPARABLE CHARACTERISTICS FOR CONDITIONS NOTED. "OFFSITE" SHALL MEAN OUTSIDE THE PROPERTY BOUNDARY OF THE BUILDING PARCEL. "SITE" SHALL MEAN THE ENTIRE AREA WITHIN THE BUILDING PROPERTY LINES.

SCOPE: TRADES SHALL PROVIDE ALL LABOR, EQUIPMENT, MATERIALS AND SERVICES REQUIRED TO PERFORM ALL WORK NECESSARY, INDICATED OR REASONABLY INFERRED FROM THE CONSTRUCTION DOCUMENTS, OR REQUIRED BY ANY APPLICABLE CODE OR ENFORCEMENT AGENCY WITH JURISDICTION OVER THE PROJECT. TRADES SHALL COMPLETE THEIR SCOPE OF WORK IN ACCORDANCE WITH THE BEST ACCEPTED STANDARDS OF WORKMANSHIP USING FIRST GRADE NEW MATERIALS, UNLESS OTHERWISE NOTED.

INTENTION: THE INTENTION OF THESE DOCUMENTS IS TO INCLUDE ALL LABOR, MATERIALS, SERVICES, EQUIPMENT, AND TRANSPORTATION NECESSARY FOR THE COMPLETE AND PROPER EXECUTION OF THE WORK INDICATED ON THE DRAWINGS OR REASONABLY INFERRED THEREFROM, UNLESS OTHERWISE NOTED.

CODES AND CONFLICTS: THE TRADES SHALL COMPLY WITH THE REQUIREMENTS OF THE BUILDING CODE AND ALL OTHER APPLICABLE FEDERAL, STATE, AND LOCAL CODES, ORDINANCES, STATUTES AND SUPPLEMENTAL REQUIREMENTS HAVING JURISDICTION. IT IS THE CONTRACTOR'S ULTIMATE RESPONSIBILITY TO CONSTRUCT THE PROJECT PER THESE REQUIREMENTS, CONFLICTS BETWEEN THE CONSTRUCTION DOCUMENTS AND THE GOVERNING CODES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT.

FIELD CONDITIONS: THESE CONSTRUCTION DOCUMENTS ARE BASED UPON OBSERVATION AND DOCUMENTATION OF EXISTING CONDITIONS BY THE ARCHITECT AND FROM INFORMATION PROVIDED BY THE OWNER. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AGAINST FIELD CONDITIONS. SHOULD THE CONTRACTOR ENCOUNTER FIELD CONDITIONS WHICH VARY FROM THESE CONSTRUCTION DOCUMENTS AND WHICH EFFECT THE INTENT OF THESE DRAWINGS OR THE CONTRACT/SUBCONTRACT PRICE, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY.

DIMENSIONS: IN THE EVENT OF A CONFLICT BETWEEN DATA SHOWN ON DRAWINGS AND DATA SHOWN ON MANUFACTURER'S SPECIFICATIONS, THE SPECIFICATIONS SHALL GOVERN. SCALE IS PROVIDED ON DRAWINGS FOR CONVENIENCE, BUT UNDER NO CIRCUMSTANCES IS CONTRACTOR TO SCALE DRAWINGS. DETAIL DRAWINGS SHALL TAKE PRECEDENCE OVER DRAWINGS OF SMALLER SCALE OR LESSER DETAIL. IN THE EVENT OF AN ERROR IN A DRAWING OR SPECIFICATION OR DISCREPANCY BETWEEN DIMENSIONS AND MEASUREMENTS AT THE SITE OR LACK OF DIMENSIONS OR OTHER UNCLEAR INFORMATION, CONTRACTOR SHALL REPORT AT ONCE TO THE ARCHITECT FOR CLARIFICATION AND SHALL NOT PROCEED WITH THE WORK AFFECTED UNTIL CLARIFICATION HAS BEEN MADE. HORIZONTAL DIMENSIONS INDICATED ARE FROM FACE OF FINISH, UNLESS OTHERWISE NOTED. VERTICAL DIMENSIONS ARE FROM FINISHED FLOOR, UNLESS OTHERWISE NOTED. CRITICAL MINIMAL DIMENSIONS ARE NOTED "CLR" FOR MINIMUM CLEARANCE.

CHANGES: ALL CHANGES IN DESIGN, CONSTRUCTION, FINISH AND/OR PRICE MUST BE APPROVED BY THE OWNER IN WRITING BY WRITTEN CHANGE ORDER. CHANGE ORDERS SHOULD SUFFICIENTLY DESCRIBE THE SCOPE OF WORK AND ANY ADJUSTMENT TO PRICE OR SCHEDULE REQUIRED BY THE CHANGE.

SUBSTITUTIONS: IF THE CONTRACTOR DESIRES TO USE ANY OTHER BRAND, MATERIAL OR MANUFACTURER OF EQUAL QUALITY, APPEARANCE, AND UTILITY TO THE PRODUCT SPECIFIED, HE SHALL MAKE A FORMAL SUBSTITUTION REQUEST TO THE ARCHITECT AND/OR OWNER. THE ARCHITECT AND/OR OWNER WILL ACCEPT AS SATISFACTORY OR REJECT THE REQUEST FOR SUBSTITUTION. UNLESS SUBSTITUTIONS ARE REQUESTED AND APPROVED AS PROVIDED HEREIN, DEVIATIONS FROM THE DRAWINGS AND SPECIFICATIONS WILL NOT BE PERMITTED.

ARCHITECT'S RESPONSIBILITY: THE ARCHITECT WILL IN NO WAY BE RESPONSIBLE FOR HOW THE WORK IS PERFORMED, OR THE SAFETY IN, ON, OR ABOUT THE JOB SITE, OR THE METHODS OF PERFORMANCE OR THE TIMELINESS OF PERFORMANCE OF THE WORK.

COORDINATION: CONTRACTOR SHALL VERIFY THAT NO CONFLICTS EXIST IN LOCATIONS OF ANY AND ALL MECHANICAL, ELECTRICAL, PLUMBING, AND STRUCTURAL ELEMENTS AND THAT ALL REQUIRED CLEARANCES FOR INSTALLATION AND MAINTENANCE OF IMPROVEMENTS ARE PROVIDED. CONTRACTOR SHALL COORDINATE AND PROVIDE APPROPRIATE BLOCKING, BACKING, FRAMING AND REINFORCING IN PARTITIONS BEHIND WALL-MOUNTED ITEMS AND ABOVE CEILINGS FOR CEILING-MOUNTED ITEMS, AS REQUIRED.

GUARANTEE: CONTRACTOR WILL PROVIDE A ONE-YEAR GUARANTEE AFTER PROJECT COMPLETION FOR ALL MATERIALS AND WORKMANSHIP. NO WORK DEFECTIVE IN CONSTRUCTION OR QUALITY OR DEFICIENT IN ANY REQUIREMENTS OF THE DRAWINGS AND SPECIFICATIONS WILL BE DEEMED ACCEPTABLE IN CONSEQUENCE OF OWNER'S OR ARCHITECT'S FAILURE TO DISCOVER OR TO POINT OUT DEFECTS OR DEFICIENCIES DURING CONSTRUCTION, NOR WILL THE PRESENCE OF INSPECTORS ON THE SITE RELIEVE CONTRACTOR FROM RESPONSIBILITY FOR SECURING THE QUALITY AND PROGRESS OF THE WORK AS REQUIRED BY THE CONTRACT DOCUMENTS. NO PAYMENT, WHETHER PARTIAL OR FINAL, SHALL BE CONSTRUED AS AN ACCEPTANCE OF DEFECTIVE WORK OR IMPROPER MATERIALS.

INSURANCE: THE CONTRACTOR SHALL CARRY IN FORCE ALL NEEDED INSURANCE, LICENSES, FEES, BONDS, PERMITS, AND TAXES AS REQUIRED BY THE LAW OR BY THE CONTRACT DOCUMENTS FOR THE DURATION OF THE PROJECT. THE CONTRACTOR AND ALL SUBCONTRACTORS SHALL MAINTAIN LIABILITY INSURANCE IN AMOUNTS NOT LESS THAN \$1,000,000 TO PROTECT THEMSELVES AND HOLD THE OWNER AND THE ARCHITECT HARMLESS FROM ANY AND ALL CLAIMS FOR DAMAGES, FOR PERSONAL BODILY INJURY OR DEATH, OR PROPERTY DAMAGE, DURING THE COURSE OF THIS CONTRACT. PRIOR TO COMMENCEMENT OF WORK, CONTRACTOR SHALL PROVIDE TO THE OWNER A CERTIFICATE OF INSURANCE NAMING THEM AS ADDITIONAL INSURED.

DESIGN-BUILD: IT IS THE INTENT OF THESE DRAWINGS THAT THE ELECTRICAL, MECHANICAL AND PLUMBING SYSTEMS ARE DESIGN-BUILD IN NATURE. THE INFORMATION IN THESE DRAWINGS PERTAINING TO THE ABOVE SYSTEMS IS DIAGNOSTIC ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE THE WORK OF THESE TRADES TO ACHIEVE THE DESIRED FINISH PRODUCT. THESE DRAWINGS SHOW S.M.E.P. DEVICES AND FIXTURES ONLY TO THE EXTENT THAT THE PLACEMENT OF THESE ITEMS IS IMPORTANT TO THE OVERALL DESIGN EFFECT - ADDITIONAL ITEMS AND ROUGH-IN WORK ARE IMPLIED AND REQUIRED TO COMPLY WITH CODE REQUIREMENTS AND TO COMPLETE THE JOB ACCORDING TO THE DESIGN INTENT. SEPARATE PERMITS ARE REQUIRED FOR THESE SYSTEMS.

WORK QUALITY: FINISHED WORK SHALL BE FIRM, WELL ANCHORED, IN TRUE ALIGNMENT, PLUMB AND LEVEL, WITHOUT WAVES, DISTORTIONS, HOLES, MARKS, CRACKS, STAINS OR DISCOLORATION. JOINTS SHALL BE CLOSE FITTING, NEAT AND WELL SCRIBED. REVEALS SHALL BE CONSISTENT AND EVENLY SPACED. THE FINISH WORK SHALL NOT HAVE EXPOSED, UNSIGHTLY ANCHORS OR FASTENERS AND SHALL NOT PRESENT HAZARDOUS, UNSAFE CORNERS. ALL WORK SHALL HAVE THE PROVISION FOR EXPANSION, CONTRACTION, AND SHRINKAGE AS NECESSARY TO PREVENT CRACKS, BUCKLING AND WARPING DUE TO TEMPERATURE AND HUMIDITY CONDITIONS.

SHOP AND FIELD WORK: SHOP AND FIELD WORK SHALL BE PERFORMED BY MECHANICS, CRAFTSMEN, AND WORKERS SKILLED AND EXPERIENCED IN THE FABRICATION AND INSTALLATION OF THE WORK INVOLVED.

CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR ALL STRUCTURAL AND ORNAMENTAL STEELWORK, INCLUDING STAIRS, RAILINGS, AND SCREENED PARTITIONS.

ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH THE BEST ACCEPTED PRACTICES OF THE VARIOUS TRADES INVOLVED AND IN ACCORDANCE WITH THE DRAWINGS, REVIEWED SHOP DRAWINGS AND THESE SPECIFICATIONS.

SITE CLEAN-UP: ALL TRADES SHALL, AT ALL TIMES, KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS OR RUBBISH CAUSED BY THEIR WORK. AT THE COMPLETION OF THE WORK, THEY SHALL REMOVE ALL RUBBISH, TOOLS, SCAFFOLDING, AND SURPLUS MATERIALS AND LEAVE THE JOB IN BROOM CLEAN CONDITION. THE GENERAL CONTRACTOR SHALL ARRANGE FOR A FINAL CLEAN-UP BY A PROFESSIONAL CLEANING COMPANY AT PROJECT COMPLETION.

BEST MANAGEMENT PRACTICES FOR CONSTRUCTION ACTIVITIES:

- ALL PERSONS WORKING AT THE SITE SHOULD OBTAIN, READ AND UNDERSTAND THE BEST MANAGEMENT PRACTICES Pamphlet FOR THE TYPE(S) OF CONSTRUCTION BEING DONE.
- STOCKPILES OF SOIL, DEMOLITION DEBRIS, CEMENT, SAND, TOP SOIL, ETC. MUST BE COVERED WITH A WATERPROOF MATERIALS OR BERMED TO PREVENT BEING WASHED OFF SITE.
- FUELS, OILS, PAINTS, SOLVENTS, AND OTHER LIQUID MATERIALS MUST BE KEPT INSIDE BERMED AREAS. SPILLS MUST NOT BE WASHED TO THE STREET.
- WASTE CONCRETE MUST NOT BE WASHED INTO STREET, STORM DRAIN CATCH BASINS, OR PUBLIC RIGHT-OF-WAY. ALL DUST AND SLURRY FROM CONCRETE CUTTING MUST BE REMOVED USING A WET-DRY VACUUM OR EQUIVALENT.
- TRASH AND OTHER CONSTRUCTION SOLID WASTES MUST BE PLACED IN A COVERED TRASH RECEPTACLE.
- ERODED SOIL FROM DISTURBED SLOPES MUST BE CONTAINED USING BERMS, SILT FENCES, SETTING BASINS, OR GOOD EROSION MANAGEMENT PRACTICES SUCH AS RESEEDING.
- WASH WATER FROM CLEANING CONSTRUCTION VEHICLES AND EQUIPMENT MUST BE KEPT ON-SITE WITHIN A CONTAINMENT AREA.

CITY OF FLORENCE PLANNING DEPARTMENT NOTES:

- VEGETATED PRESERVATION AREAS ARE SETBACK FROM NEW CONSTRUCTION A MINIMUM OF 10 FEET FROM NEW STRUCTURES, AND A MINIMUM OF 5 FEET FROM NEW HARDSCAPE AREAS, AND REPLANTED WITH NATIVE VEGETATION IF DAMAGED DURING CONSTRUCTION.

AREAS OF PRESERVED VEGETATION WILL BE CLEARLY MARKED AND IDENTIFIED FOR PROTECTION ON-SITE WITH CONSTRUCTION BEGINNING PRIOR TO SITE DISTURBANCE. EXISTING NOXIOUS WEEDS WITHIN THE PRESERVATION AREA ARE TO BE REMOVED PRIOR TO APPROVAL OF THE INSTALLED LANDSCAPING. PRESERVATION AREAS WITH GRADE CHANGES AROUND THE PERIMETER ARE ADDRESSED WITH APPROPRIATE TRANSITION OR STABILIZATION MEASURES TO AVOID EROSION.

GENERAL NOTES | 01
 NO SCALE

NO.	DATE	DESCRIPTION	REVISIONS
	02/09/11	LUA SUBMISSION	
OWNER	Florence Dialysis, LLC 3355 Riverbend Dr. Suite 200 Springfield, OR 97477 541.465.6478		
CONSULTANTS	K&A Engineering 91051 S. Willamette Street P.O. Box 8486 Coburg, OR 97408 tel. 541.664.9399 Olson & Morris 380 Q Street, Suite 200 Springfield, OR 97477 tel. 541.302.9790		
SOILS	CIVIL ENGINEER	STRUCTURAL ENGINEER	MEP ENGINEER
NO.	DATE	DESCRIPTION	REVISIONS
1	02/09/11	LUA SUBMISSION	
PREPARED BY:	J.P.A. Jones, Partners Architecture 800 McGarry St. #436 Los Angeles, CA 90021 tel. 213.327.0034 info@jonespartners.com		
DRAWN BY:	CHECKED BY:	DATE:	08/09/11
AS NOTED			
PROJECT NO.:	FLORENCE Dialysis Clinic		
PROJECT NO.:	P0311/1		
SHEET NO.:	A000		
GENERAL INFORMATION			

SITE BOUNDARY AND TOPOGRAPHY SURVEY PREPARED BY:

OLSON & MORRIS
380 Q STREET, SUITE 200
SPRINGFIELD, OR 97477
TEL 541-302-9790

DATED: 04/27/11

SITE PLAN GENERAL NOTES:

- OCCUPANCY: BUSINESS GROUP B / CLINIC - OUTPATIENT, STORAGE GROUP S-2. TYPE OF CONSTRUCTION: TYPE V-B, AUTOMATIC SPRINKLER SYSTEM THROUGHOUT
- ALL PROPERTY LINES, EASEMENTS, PROPOSED AND EXISTING STRUCTURES, OVERHEAD POWER LINES, AND ABANDONED OIL WELLS, CESSPOOLS, AND SEPTIC TANKS ARE SHOWN ON PLANS.
- GRADING PERMIT IS REQUIRED FOR ANY CUT OR FILL DEPTH OF 3'-0" OR MORE AND/ OR 200 CUBIC YARDS.
- SHORING PERMIT IS REQUIRED FOR ANY VERTICAL CUTS EXCEEDING 5'-0" IN HEIGHT.
- SUBMIT GRADING PLANS, SOILS REPORT AND ENGINEERED SHORING PLANS TO THE BUILDING DEPARTMENT FOR REVIEW AND APPROVAL. DUST SHALL BE CONTROLLED CONTINUOUSLY BY WATERING OR BY OTHER APPROVED MEANS. CONTRACTOR SHALL NOTIFY THE UNDERGROUND SERVICE ALERT (USA-1-800-422-4133) PRIOR TO ANY EXCAVATION.
- AT LEAST TWO SIGNS, WEATHER PROOF, 12" X 18" MINIMUM SHALL BE POSTED ON THE CONSTRUCTION SITE SHOWING WORKING HOURS, NAME, AND EMERGENCY PHONE NUMBER OF THE CONTRACTOR.
- ALL AREAS OF SITE THAT ARE DISTURBED BY CONSTRUCTION AND NOT NOTED AS ANOTHER SURFACED, SHALL BE LANDSCAPED PER FCC AND LANDSCAPE PLAN.
- PRESERVATION AREAS OF EXISTING NATIVE VEGETATION REQUIRE SETBACKS FROM (N) CONSTRUCTION AND MEANS OF PROTECTION PRIOR TO SITE DISTURBANCE. RE: 01/L100 AND 01/A000 FOR FURTHER REMARKS.
- ALL (E) TREES AND VEGETATION TO REMAIN SHALL BE PROTECTED AS SHOWN ON THE CIVIL ENGINEER DRAWINGS. NOTIFY THE ARCHITECT IMMEDIATELY IF ANY FURTHER EXISTING TREES ARE POSSIBLE TO REMAIN AFTER SITE GRADING BEGINS.
- SITE STORM WATER TO BE MANAGED THROUGH INFILTRATION RAIN GARDENS. SEE CIVIL DRAWINGS AND STORM WATER DESIGN REPORT FOR FURTHER REMARKS.
- GENERAL CONTRACTOR TO PROVIDE UNDERGROUND CONDUIT FOR FUTURE ELECTRICAL, TELEVISION/CABLE, DATA, AND TELEPHONE LINES.
- GENERAL CONTRACTOR TO COORDINATE NEW DRIVE APRON AND STREET CURB WITH CITY OF FLORENCE DEPARTMENT OF PUBLIC WORKS, PER FCC AND CIVIL ENGINEER DRAWINGS.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY SITE PREPARATION TO THE SITE FOR THE COMPLETION OF THIS PROJECT. RE: 01/C1 FOR EXISTING SITE CONDITIONS. ALL SITE CONDITIONS SHALL BE VERIFIED IN FIELD BY THE GENERAL CONTRACTOR AND THE ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCIES OR CONDITIONS HINDERING THE COMPLETION OF THE PROJECT PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

EX WW MH
8" FL IN (NW) = 89.82
8" FL IN (SW) = 89.97
8" FL IN (NE) = 89.92
8" FL OUT (SE) = 89.67
RIM ELEV. = 99.52

BOUNDARY OF PRESERVATION AREA, TYP.

WASTEWATER LATERAL FOR TL 1100

ROOFLINE

CONCRETE APRON TO BE FLUSH WITH CONCRETE SIDEWALK AT ENTRY

FOR CURB DETAILS RE: CIVIL DRAWINGS

(N) SIDEWALK TO MATCH (E)

(N) CURBCUT TO MATCH (E)

ACCESS AISLE AND LOADING AREA

(4) BICYCLE PARKING SPACES PER FCC 10-3-10

(N) LANDSCAPE AREA RE: 01/L100

INFILTRATION RAIN GARDEN RE: 01/C4

BOUNDARY OF PRESERVATION AREA, TYP. SEE L100 FOR REMARKS

NOTE:
ALL SHADED AREAS RE: 01/L100
(N) LANDSCAPE AREA

NOTE:
(N) BUILDING DESIGN IS FOR SHELL ONLY. INTERIOR BUILDING DESIGN IS N.I.C. ALL INTERIOR DESIGN, DRAWINGS AND PERMITS TO BE RESPONSIBILITY OF OTHERS.

NOTE:
(F) BUILDING AND PARKING EXPANSION AREAS SHOWN ONLY IN REFERENCE TO SITE ORGANIZATION. DESIGN OF THESE AREAS N.I.C.

NOTE:
(N) BUILDING DESIGN IS FOR SHELL ONLY. INTERIOR BUILDING DESIGN IS N.I.C. ALL INTERIOR DESIGN, DRAWINGS AND PERMITS TO BE RESPONSIBILITY OF OTHERS.

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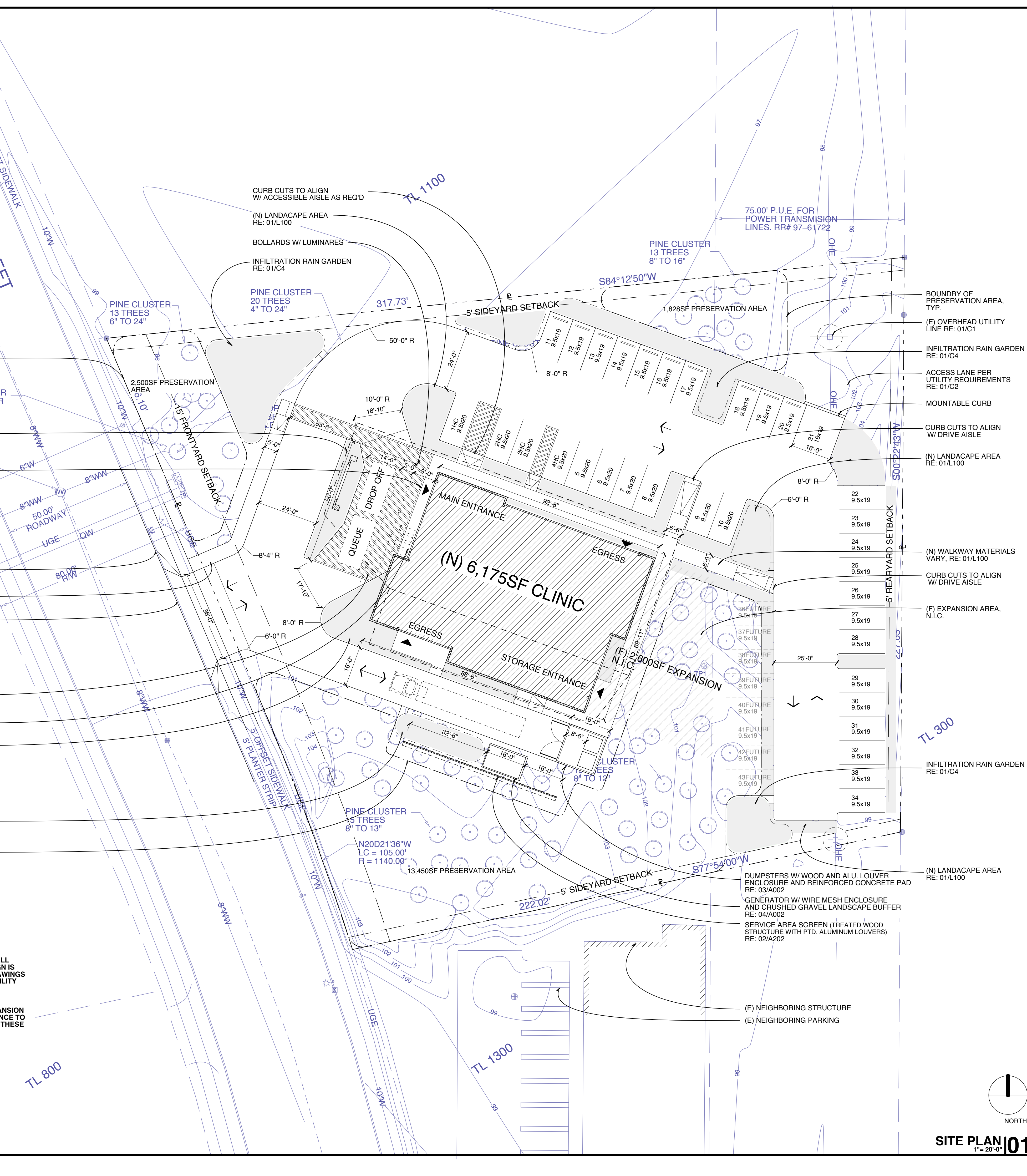
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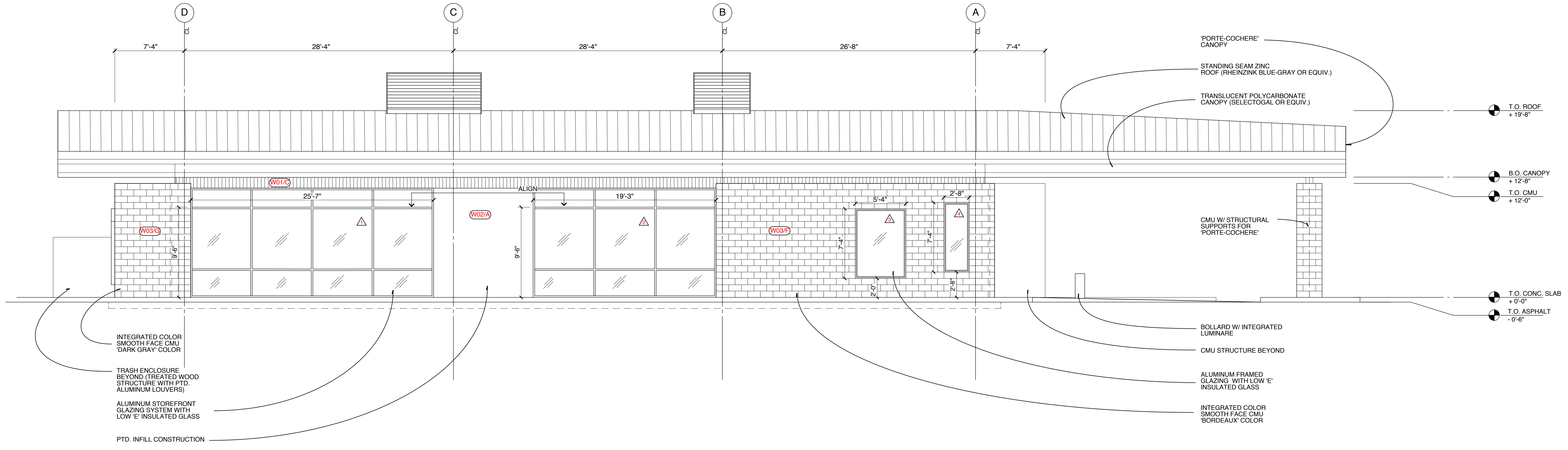
NOTE:
(F) BUILDING AND PARKING EXPANSION AREAS SHOWN ONLY IN REFERENCE TO SITE ORGANIZATION. DESIGN OF THESE AREAS N.I.C.



- BOUNDARY OF PRESERVATION AREA, TYP.
- (E) OVERHEAD UTILITY LINE RE: 01/C1
- INFILTRATION RAIN GARDEN RE: 01/C4
- ACCESS LANE PER UTILITY REQUIREMENTS RE: 01/C2
- MOUNTABLE CURB
- CURB CUTS TO ALIGN W/ DRIVE AISLE
- (N) LANDSCAPE AREA RE: 01/L100
- (N) WALKWAY MATERIALS VARY, RE: 01/L100
- CURB CUTS TO ALIGN W/ DRIVE AISLE
- (F) EXPANSION AREA, N.I.C.
- INFILTRATION RAIN GARDEN RE: 01/C4
- (N) LANDSCAPE AREA RE: 01/L100
- DUMPSTERS W/ WOOD AND ALU. LOUVER ENCLOSURE AND REINFORCED CONCRETE PAD RE: 03/A002
- GENERATOR W/ WIRE MESH ENCLOSURE AND CRUSHED GRAVEL LANDSCAPE BUFFER RE: 04/A002
- SERVICE AREA SCREEN (TREATED WOOD STRUCTURE WITH PTD. ALUMINUM LOUVERS) RE: 02/A202
- (E) NEIGHBORING STRUCTURE
- (E) NEIGHBORING PARKING

<p>OWNER Florence Dialysis, LLC 3355 RiverBend Dr. Suite 200 Springfield, OR 97477 541.465.6478</p>									
<p>CONSULTANTS</p> <table border="1"> <tr> <td>SOILS</td> <td>K&A Engineering, 91051 S. Williams Street P.O. Box 8486, Coquille, OR 97408 tel: 541.664.9399</td> </tr> <tr> <td>CIVIL ENGINEER</td> <td>Olson & Morris, 380 Q Street, Suite 200 Springfield, OR 97477 tel: 541.302.9790</td> </tr> <tr> <td>STRUCTURAL ENGINEER</td> <td></td> </tr> <tr> <td>MEP ENGINEER</td> <td></td> </tr> </table>		SOILS	K&A Engineering, 91051 S. Williams Street P.O. Box 8486, Coquille, OR 97408 tel: 541.664.9399	CIVIL ENGINEER	Olson & Morris, 380 Q Street, Suite 200 Springfield, OR 97477 tel: 541.302.9790	STRUCTURAL ENGINEER		MEP ENGINEER	
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<p>REVISIONS</p> <table border="1"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>02/02/11</td> <td>LUA SUBMISSION</td> </tr> </tbody> </table>		NO.	DATE	DESCRIPTION	1	02/02/11	LUA SUBMISSION		
NO.	DATE	DESCRIPTION							
1	02/02/11	LUA SUBMISSION							
<p>PREPARED BY: J.P.A. Jones, Partners: Architecture 800 McGarry St. #436, Los Angeles, CA 90021 tel: 213.327.0034 info@jonespartners.com</p>									
<p>FLORENCE Dialysis Clinic #39 Pacific View Business Park, Florence, OR</p>									
<p>SCALE: 1" = 20'-0"</p>	<p>DRAWN BY: [] CHECKED BY: [] DATE: 08/09/11</p>								
<p>PROJECT NO: P0311/1</p>	<p>PROJECT NAME: FLORENCE Dialysis Clinic</p>								
<p>SHEET NO: A001</p>	<p>SHEET TITLE: SITE PLAN</p>								

SITE PLAN
1" = 20'-0"

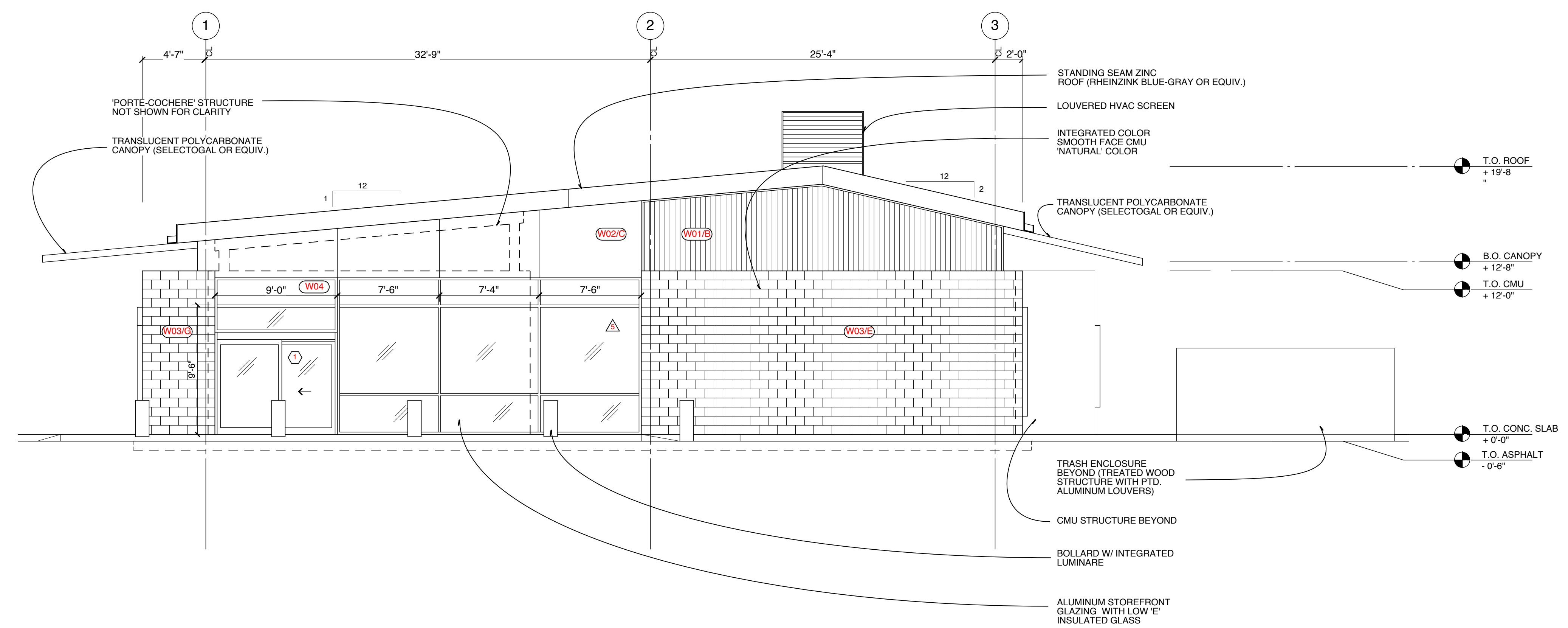


NORTH ELEVATION | 02
3/16"=1'-0"

COLOR SCHEDULE		WALL FINISH SCHEDULE	
A	BENJAMIN MOORE 2134-20 "MIDSUMMER NIGHT"	W01	PTD. VERTICAL CORRUGATED MTL. PNL.
B	BENJAMIN MOORE HC-167 "AMHERST GRAY"	W02	PTD. GSM MTL. PNL.
C	BENJAMIN MOORE HC-166 "KENDALL CHARCOAL"	W03	CONCRETE MASONRY
D	BENJAMIN MOORE READY MIXED "SUPER WHITE"	W04	SPANDREL GLASS STOREFRONT INFILL


EXTERIOR MASONRY SCHEDULE	
E	INTEGRATED COLOR SMOOTH FACE CMU BASALITE "NATURAL" 8X8X16
F	INTEGRATED COLOR SMOOTH FACE CMU BASALITE "GRANITE" 8X8X16
G	INTEGRATED COLOR SMOOTH FACE CMU BASALITE "BORDEAUX" 8X8X16
H	INTEGRATED COLOR SMOOTH FACE CMU BASALITE "KHAKI" 8X8X16

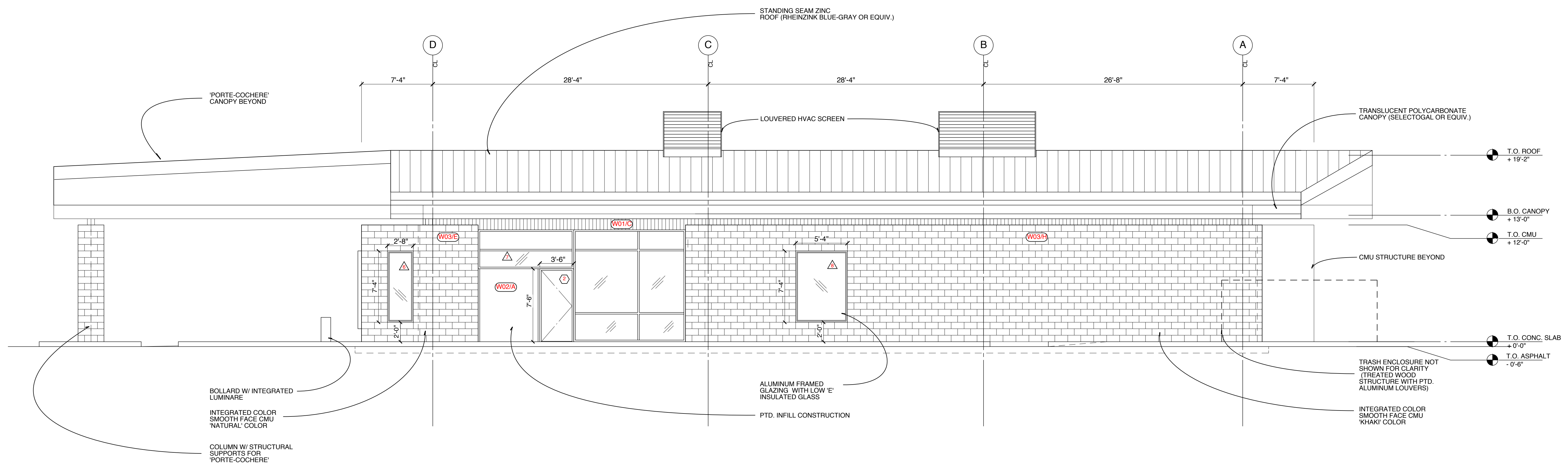
- ELEVATION NOTES**
1. SEALANT USED AT ALL EXTERIOR CONTROL JOINTS. THE COLOR SHALL MATCH CMU, NOT GROUT COLOR. SEALANT COLOR SHALL BE APPROVED BY ARCHITECT.
 2. AFTER FINAL CLEANING OF MASONRY, CONTRACTOR SHALL APPLY A CLEAR MASONRY SEALER TO ALL EXTERIOR MASONRY.
 3. LOCATE CONTROL JOINTS TO CLEAR ANY STRUCTURAL LINTELS. FIELD VERIFY PRIOR TO CONTROL JOINT INSTALLATION.
 4. CONTRACTOR TO VERIFY RWL LOCATIONS AND CONNECTIONS FOR STORMWATER DRAINAGE WITH CIVIL ENGINEER.



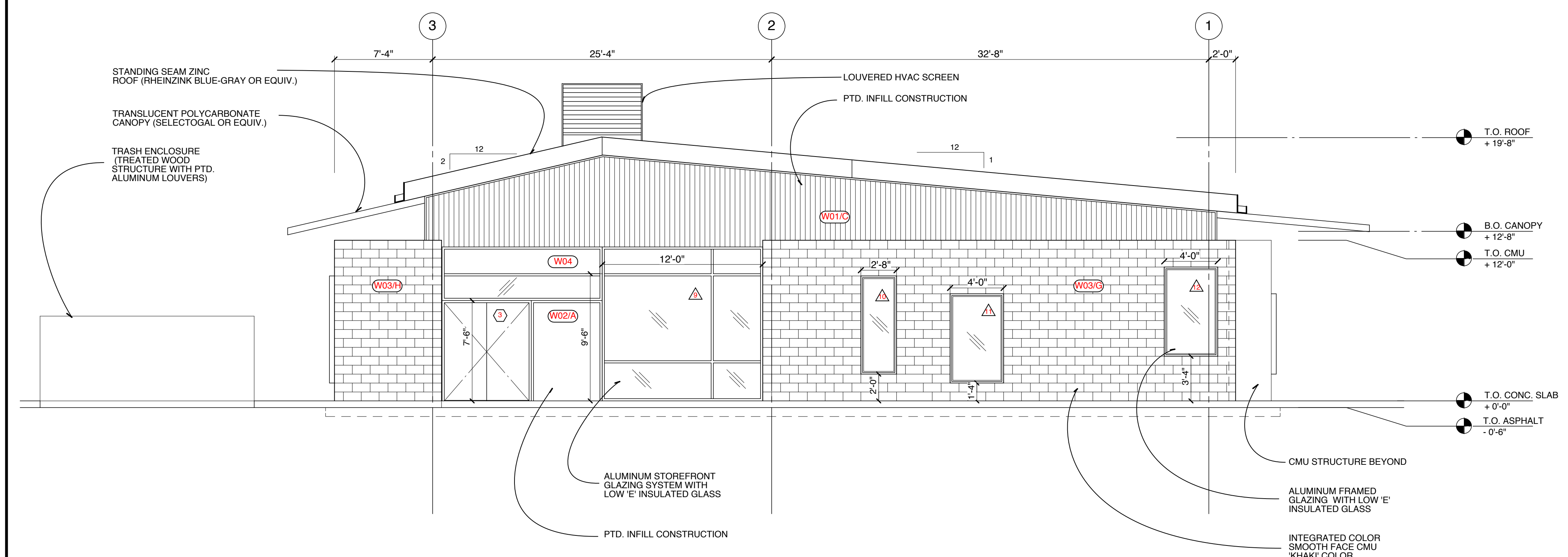
WEST ELEVATION | 01
3/16"=1'-0"

WALL FINISH SCHEDULE | 03
NO SCALE

OWNER Florence Dialysis, LLC 3355 RiverBend Dr. Suite 200 Springfield, OR 97477 541.465.6478	
CONSULTANTS	
SOILS	CIVIL ENGINEER
STRUCTURAL ENGINEER	MEP ENGINEER
REVISIONS	
NO.	DATE
1	08/09/11
DESCRIPTION	
LUA SUBMISSION	
PREPARED BY:	
 Jones, Partners: Architecture 800 McGarry St. #436 Los Angeles, CA 90021 tel.213.327.0034 info@jonespartners.com	
SCALE: 3/16" = 1'-0"	DATE: 08/09/11
PROJECT NO.: P0311/1	PROJECT NAME: FLORENCE Dialysis Clinic
SHEET NO.: A200	SHEET TITLE: BUILDING ELEVATIONS



SOUTH ELEVATION | 02
3/16"=1'-0"



EAST ELEVATION | 01
3/16"=1'-0"

OWNER Florence Dialysis, LLC 3355 RiverBend Dr. Suite 200 Springfield, OR 97477 541.465.6478	
CONSULTANTS	
SOILS	K&A Engineering , 91051 S. Williams Street P.O. Box 8486 Coburg, OR 97408 tel. 541.664.9399
CIVIL ENGINEER	Olson & Morris , 380 O Street, Suite 200 Springfield, OR 97477 tel. 541.302.9780
STRUCTURAL ENGINEER	
MEP ENGINEER	
REVISIONS	
NO.	DATE
1	08/09/11
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J.P.A.	
Jones Partners: Architecture 800 McGarry St. #436 Los Angeles, CA 90021 tel. 213.327.0034 info@jonespartners.com	
FLORENCE Dialysis Clinic #39 Pacific View Business Park, Florence, OR	DATE: 08/09/11
SCALE: 3/16" = 1'-0"	CHECKED BY:
PROJECT NO.: P0311/1	PROJECT NAME: FLORENCE Dialysis Clinic
SHEET NO.: A201	SHEET TITLE: BUILDING ELEVATIONS

LANDSCAPE PLAN GENERAL NOTES:

1. VEGETATED PRESERVATION AREAS ARE SETBACK FROM NEW CONSTRUCTION A MINIMUM OF 10 FEET FROM NEW STRUCTURES, AND A MINIMUM OF 5 FEET FROM NEW HARDSCAPE AREAS, AND REPLANTED WITH NATIVE VEGETATION IF DAMAGED DURING CONSTRUCTION.

AREAS OF PRESERVED VEGETATION WILL BE CLEARLY MARKED AND IDENTIFIED FOR PROTECTION ON SITE WITH CONSTRUCTION FENCING PRIOR TO SITE DISTURBANCE. EXISTING NOXIOUS WEEDS WITHIN THE PRESERVATION AREA ARE TO BE REMOVED PRIOR TO APPROVAL OF THE INSTALLED LANDSCAPING. PRESERVATION AREAS WITH GRADE CHANGES AROUND THE PERIMETER ARE ADDRESSED WITH APPROPRIATE TRANSITION OR STABILIZATION MEASURES TO AVOID EROSION.

2. GROUND COVER PLANTS TO MEET FOLLOWING MINIMUM PLANTING STANDARDS: PLANTS FROM 4 INCH POTS SHALL BE SPACED A MAXIMUM OF 18 INCHES ON CENTER, AND 1-2 GALLON SIZE PLANTS SHALL BE SPACED A MINIMUM OF 3 FEET ON CENTER. REFER TO PLANTING SCHEDULE 03/L100.

3. TEMPORARY DRIP IRRIGATION TO BE PROVIDED UNTIL NEW LANDSCAPE AREAS ARE ESTABLISHED.

4. IF SALVAGEABLE, EXISTING TOP SOIL SHOULD BE REUSED FOR BACKFILL AND GRADING AS NEEDED.

5. POCKET-PLANTING WITH A SOIL-COMPOST BLEND AROUND PLANTS AND TREES SHALL BE USED TO ENSURE HEALTHY GROWTH. IF SUITABLE, NEW PLANTING HOLES SHOULD USE MIX OF EXISTING TOP SOIL WITH GARDEN COMPOST AT A RATE OF 3 TO 1. POCKET-PLANTING IS USED IN CONJUNCTION WITH SANDY SOILS BY REMOVING EXISTING SAND APPROXIMATELY TWICE THE WIDTH AND THE SAME DEPTH OF THE POT, AND REPLACING IT WITH A NEW SOIL-COMPOST BLEND.

6. ALL AREAS NOTED AS INFILTRATION BASINS SHALL REFER TO CIVIL DRAWINGS FOR FURTHER REMARKS. DESIGN AND CONSTRUCTION OF ALL STORM WATER MITIGATION SYSTEMS SHALL FOLLOW FCC 9-5 AND THE CITY OF FLORENCE STORMWATER DESIGN MANUAL. SEE FSDM 5.5 FOR RAIN GARDEN DESIGN GUIDELINES.

PER FSDM APPENDIX B, GROWING MEDIUM FOR ALL INFILTRATION BASINS SHALL BE A UNIFORM MIXTURE OF 60% NATIVE SAND AND 40% COMPOST.

SEE FSDM 5.5.3 FOR 'RAIN GARDEN' FACILITY INSPECTION REQUIREMENTS

7. FLAGS, TAGS OR OTHER MARKERS THAT CORRESPOND TO APPROVED LANDSCAPE PLAN SHALL BE PROVIDED TO FACILITATE IDENTIFICATION OF MITIGATION AT TIME OF INSPECTION

LANDSCAPE AREA CALCULATION:

LOT SIZE = 64,039 SF
 (N) LANDSCAPE AREA 1: = 545 SF
 (N) LANDSCAPE AREA 2: = 170 SF
 (N) LANDSCAPE AREA 3: = 365 SF
 (N) LANDSCAPE AREA 4: = 99 SF
 (N) LANDSCAPE AREA 5: = 99 SF
 (N) LANDSCAPE AREA 6: = 365 SF
 (N) LANDSCAPE AREA 7: = 1,170 SF
 (N) LANDSCAPE AREA 8: = 410 SF
 (N) LANDSCAPE AREA 9: = 90 SF
 (N) LANDSCAPE AREA 10: = 365 SF
 (N) LANDSCAPE AREA 11: = 470 SF
 (N) LANDSCAPE AREA 12: = 1,075 SF
 (N) LANDSCAPE AREA 13: = 610 SF
 (N) LANDSCAPE AREA 14: = 415 SF
 (N) LANDSCAPE AREA 15: = 1,000 SF
 (N) LANDSCAPE AREA 16: = 356 SF

TOTAL (N) LANDSCAPE AREA = 7,604 SF

(E) LANDSCAPE AREA 1: = 2,500 SF
 (E) LANDSCAPE AREA 2: = 13,450 SF
 (E) LANDSCAPE AREA 3: = 1,828 SF

TOTAL (E) LANDSCAPE AREA = 17,778 SF

TOTAL LANDSCAPE AREA REQUIRED = 9,606 SF

PRESERVATION CREDIT FOR (E) 17,778 SF x 2 MAXIMUM 2/3 OF REQUIRED AREA = 6,404 SF

TOTAL LANDSCAPE AREA PROVIDED (E) 6,404 SF + (N) 7,604 SF = 14,008 SF

PER FCC 10-34-3-3: 1 TREE REQ'D PER 30 LINEAL FEET AS MEASURED ALONG STREET ADJACENT LOT LINES. 261.1' / 30 = 9 REQ'D. REDUCE BY 2/3 PER FCC 10-34-2-4 TOTAL TREES PROVIDED = 3 REQ'D = 12

6 SHRUBS REQ'D PER 30 LINEAL FEET AS MEASURED ALONG STREET ADJACENT LOT LINES. (261.1' / 30) x 6 = 52 REQ'D. REDUCE BY 2/3 PER FCC 10-34-2-4 TOTAL SHRUBS PROVIDED = 17 REQ'D = 68

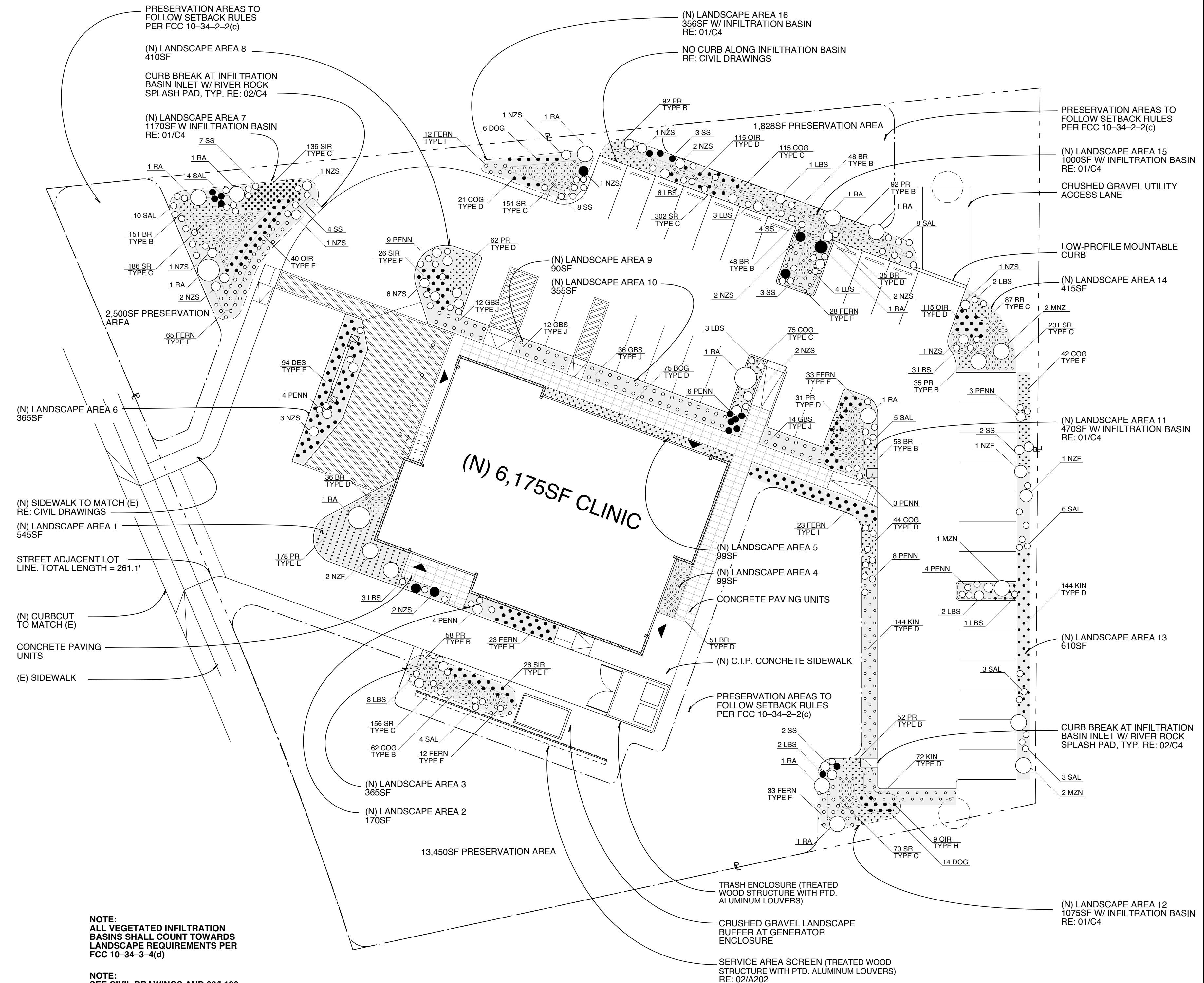
PLANTING SCHEDULE

TYPE	DIMENSION	PLANTING PATTERN	NOTES
A	10" O.C.	TRIANGLE	4" PLUG
B	12" O.C.	TRIANGLE	4" PLUG
C	12" O.C.	TRIANGLE	1 GAL.
D	18" O.C.	TRIANGLE	1 GAL.
E	18" O.C.	SQUARE	4" PLUG
F	24" O.C.	TRIANGLE	1 GAL.
G	24" O.C.	SQUARE	1 GAL.
H	30" O.C.	TRIANGLE	1 GAL.
I	36" O.C.	TRIANGLE	1 GAL.
J	36" O.C.	SQUARE	1 GAL., ALIGN WITH AXIS OF WALKWAY

LANDSCAPE NOTES | 03
NO SCALE

SYMBOL	LATIN NAME	COMMON NAME	QTY	SIZE	REMARKS
KIN	ARCTOSTAPHYLOS UVA-URSI	KINNIKINNICK	360	1 GAL	GROUND COVER, NATIVE, WATER-WISE
COG	MAHONIA REPENS	CREeping OREGON GRAPE	359	VARIES	GROUND COVER, NATIVE, WATER-WISE
LBS	CAREX LYNGBYEI	LYNGBY'S SEDGE	38	2 GAL	GRASS, WATER-WISE
GBS	CAREX MORROWII	GOLDBAND SEDGE	74	2 GAL	'GOLDBAND' VARIANT, GRASS, WATER-WISE
SS	CAREX OBNUPTA	SLOUGH SEDGE	33	2 GAL	GRASS, WATER-WISE
NZS	CAREX TESTACEA	NEW ZEALAND ORANGE SEDGE	29	2 GAL	GRASS, WATER-WISE
DES	DESCHAMPSIA CESPITOSA	TUFTED HAIR GRASS	94	1 GAL	GRASS, WATER-WISE
PR	JUNCUS EFFUSUS	SOFT RUSH	600	VARIES	'PACIFICUS' VARIANT, RUSH, WATER-WISE
BR	JUNCUS BALTICUS	BALTIC RUSH	514	VARIES	RUSH, WATER-WISE
SR	JUNCUS PATENS	SPREADING RUSH	1,096	1 GAL	RUSH, WATER-WISE
BOG	HELICTOTRICHON SEMPERVIRENS	BLUE OAT GRASS	75	1 GAL	GRASS, WATER-WISE
PENN	PENNISETUM SETACEU	FOUNTAIN GRASS	41	2 GAL	'RUBRUM' VARIANT, GRASS, WATER-WISE
NZF	PHORMIUM TENAX	NEW ZEALAND FLAX	4	3 GAL	GRASS, WATER-WISE
OIR	IRIS TENAX	OREGON IRIS	279	1 GAL	NATIVE, WATER-WISE
SIR	IRIS SIBIRICA	SIBERIAN IRIS	188	1 GAL	WATER-WISE
FERN	POLYSTICHUM MUNITUM	SWORD FERN	229	1 GAL	NATIVE, WATER-WISE
MNZ	ARCTOSTAPHYLOS COLUMBIANA	HAIRY MANZANITA	5	5 GAL	SHRUB, NATIVE, WATER-WISE
SAL	GAULTHERIA SHALLON	SALAL	43	1 GAL	SHRUB, NATIVE, WATER-WISE
DOG	MAHONIA NERVOSA	DULL OREGON GRAPE	20	1 GAL	SHRUB, NATIVE, WATER-WISE
RED	ALNUS RUBRA	RED ALDER	12	10 GAL	TREE, NATIVE, WATER-WISE

PLANT LIST | 02
NO SCALE



NOTE: ALL VEGETATED INFILTRATION BASINS SHALL COUNT TOWARDS LANDSCAPE REQUIREMENTS PER FCC 10-34-3-4(d)

NOTE: SEE CIVIL DRAWINGS AND 03/L100 FOR FURTHER REMARKS RE: INFILTRATION BASINS

NOTE: SEE CITY OF FLORENCE STORMWATER DESIGN MANUAL APPENDIX G AND FCC 10-34-3-4(a) FOR APPROVED PLANT LIST

OWNER: Florence Dialysis, LLC
 3355 RiverBend Dr.
 Suite 200
 Springfield, OR 97477
 541.465.6478

CONSULTANTS:
 SOILS: K&A Engineering, 91051 S. Williams Street, P.O. Box 8486, Coburg, OR 97408, tel: 541.664.9399
 CIVIL ENGINEER: Olson & Morris, 380 O Street, Suite 200, Springfield, OR 97477, tel: 541.302.9790
 STRUCTURAL ENGINEER: [Blank]
 MEP ENGINEER: [Blank]

REVISIONS:

NO.	DATE	DESCRIPTION
1	02/09/11	LUA SUBMISSION

PREPARED BY: J.P.A. Jones, Partners: Architecture
 800 McGarry St. #436, Los Angeles, CA 90021
 tel: 213.327.0034, info@jonespartners.com

DATE: 08/09/11
CHECKED BY: FLORENCE Dialysis Clinic
PROJECT NAME: FLORENCE Dialysis Clinic
SHEET TITLE: LANDSCAPE PLAN

SCALE: 1" = 20'-0"
 PROJECT NO: P0311/1
 SHEET NO: L100

FLORENCE Dialysis Clinic
 #39 Pacific View Business Park, Florence, OR

LANDSCAPE PLAN | 01
1" = 20'-0"

GENERAL CONSTRUCTION NOTES:

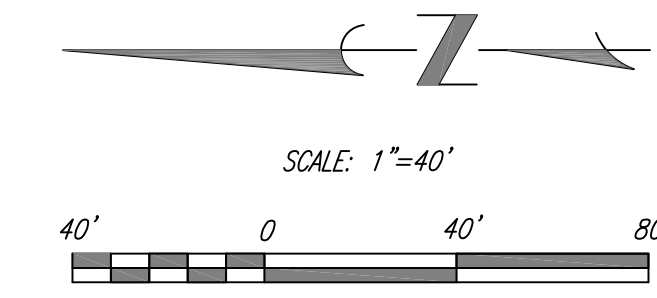
1. LOCATION OF UTILITIES AS SHOWN ARE APPROXIMATE. CONTRACTOR SHALL HAVE SERVICING UTILITIES FIELD LOCATE UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL FOLLOW ALL REQUIREMENTS OF OAR 952-001-0010 THROUGH 952-001-0090. ONE CALL PHONE NUMBER 811.
2. ELEVATIONS BASED UPON A RAILROAD SPIKE IN EXISTING PINE TREE AS SHOWN. ELEVATION=100.00'
3. CONSTRUCTION OF ALL PRIVATE SEWERS SHALL COMPLY WITH THE CURRENT OREGON STATE PLUMBING CODES, THE LOCAL AUTHORITY AND AS SPECIFIED HEREIN. SEWER AND MANHOLE TESTING SHALL COMPLY WITH THE CURRENT OREGON STATE PLUMBING SPECIALTY CODES AND THE LOCAL AUTHORITY.
4. THE CONTRACTOR SHALL OVEREXCAVATE ALL AREAS WHERE SUBBASE COMPACTION DOES NOT MEET THE REQUIRED STANDARD SPECIFICATIONS, AS DETERMINED BY FIELD INSPECTION AND TESTING. THE CONTRACTOR SHALL OVEREXCAVATE AT 6" BELOW SUBGRADE, LAY APPROVED GEOTEXTILE FABRIC AND COMPACT GRANULAR BACKFILL MATERIAL. CONTRACTOR SHALL COORDINATE ALL INSPECTION AND TESTING WITH THE PROJECT GEOTECHNICAL ENGINEER.
5. PROVIDE SHORING OF ALL TRENCHES AS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES.
6. WHERE CONNECTING TO AN EXISTING PIPE, THE CONTRACTOR SHALL EXPOSE EXISTING PIPE AND ALLOW THE ENGINEER TO VERIFY EXACT LOCATION AND ELEVATION PRIOR TO LAYING NEW PIPE.
7. REQUESTS BY THE CONTRACTOR FOR CHANGES TO THE PLANS MUST BE APPROVED BY THE CONSULTING ENGINEER, OWNER AND THE CITY OF FLORENCE BEFORE THE CHANGES ARE IMPLEMENTED.
8. THE CONTRACTOR SHALL EMPLOY CONSTRUCTION PRACTICES WHICH WILL MINIMIZE THE EROSION OF DISTURBED GROUND DURING THE CONSTRUCTION ACTIVITY. THE PRACTICES SHALL COMPLY WITH THE OREGON DEPARTMENT OF ENVIRONMENTAL QUALITY NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM PERMIT. PURSUANT TO ORS 468.740 AND THE FEDERAL CLEAN WATER ACT.
9. WHEN PERFORMING EXCAVATIONS, THE CONTRACTOR SHALL COMPLY WITH THE PROVISIONS OF OAR 952-001-0010 TO 952-001-0090, WHICH INCLUDE REQUIREMENTS THAT THE CONTRACTOR HAND-EXPOSE (POT-HOLE) UNDERGROUND FACILITIES AND USE REASONABLE CARE TO AVOID DAMAGING THEM.
10. PROVIDE DUST CONTROL AT ALL TIMES.

GENERAL SITE NOTES:

1. THE PROPERTY IS LOCATED IN ZONE X ON FIRM MAPS 41039C1134 F DATED 09/27/85 AND IS IN AN AREA DETERMINED TO BE OUTSIDE 500-YEAR FLOOD PLAIN.
2. EXISTING PUBLIC AND PRIVATE UTILITIES ARE SHOWN. PROPOSED PRIVATE UTILITIES ARE SHOWN ON SHEET C2 & C3. PRIVATE UTILITIES (WATER, ELECTRIC, PHONE & CABLE) ARE SHOWN CONCEPTUALLY AND WILL BE DESIGNED BY PRIVATE UTILITY PROVIDERS.
3. FIRE HYDRANTS ARE LOCATED AS SHOWN.
4. TREES TO BE SAVED SHOWN ON SITE PLAN A001.
5. REFER TO KA ENGINEERING REPORT DATED 4/13/2011 FOR DETAILED SOIL INFORMATION.
6. EXISTING EASEMENTS ARE AS SHOWN.



VICINITY MAP
NTS



SHEET INDEX

- C1. SITE ASSESSMENT PLAN
- C2. SITE GRADING PLAN
- C3. SITE UTILITY AND WASTEWATER PLAN
- C4. SITE STORM DRAINAGE PLAN
- C5. SITE PAVING PLAN
- C6. CIVIL DETAILS
- C7. CIVIL DETAILS

LEGEND

- FOUND MONUMENT
- BOUNDARY
- - - ADJACENT PROPERTY LINE
- - - EXISTING CURB AND GUTTER
- ⊥ EXISTING ROAD SIGN
- 8"W EXISTING WATER LINE
- ⊙ EXISTING FIRE HYDRANT
- ⊙ EXISTING WATER VALVE
- QW EXISTING QWEST LINE
- ⊠ EXISTING PHONE PEDESTAL
- ⊠ EXISTING ELECTRICAL VAULT
- ⊠ EXISTING ELECTRICAL TRANSFORMER
- EXISTING POWER POLE
- OHE EXISTING OVER HEAD ELECTRICAL LINE
- UGE EXISTING UNDER GROUND ELECTRICAL LINE
- ⊙ EXISTING STREET LIGHT
- ⊠ EXISTING STREET LIGHT JUNCTION BOX
- 8"W WW EXISTING WASTEWATER MANHOLE & PIPE
- ⊙ EXISTING CATCH BASIN
- TP1 EXISTING TEST PIT
- ⊙ EXISTING TREES

Olson & Morris
Consulting Engineers & Surveyors
380 Q ST. SUITE 200
SPRINGFIELD, OR 97477
PHONE: (541) 302-9790
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scot@olsonmorriss.com

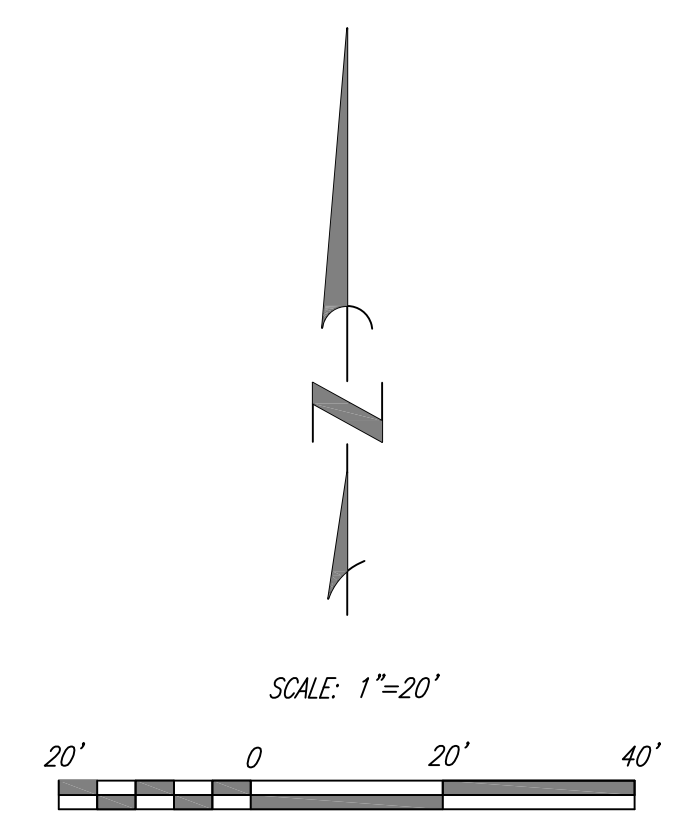
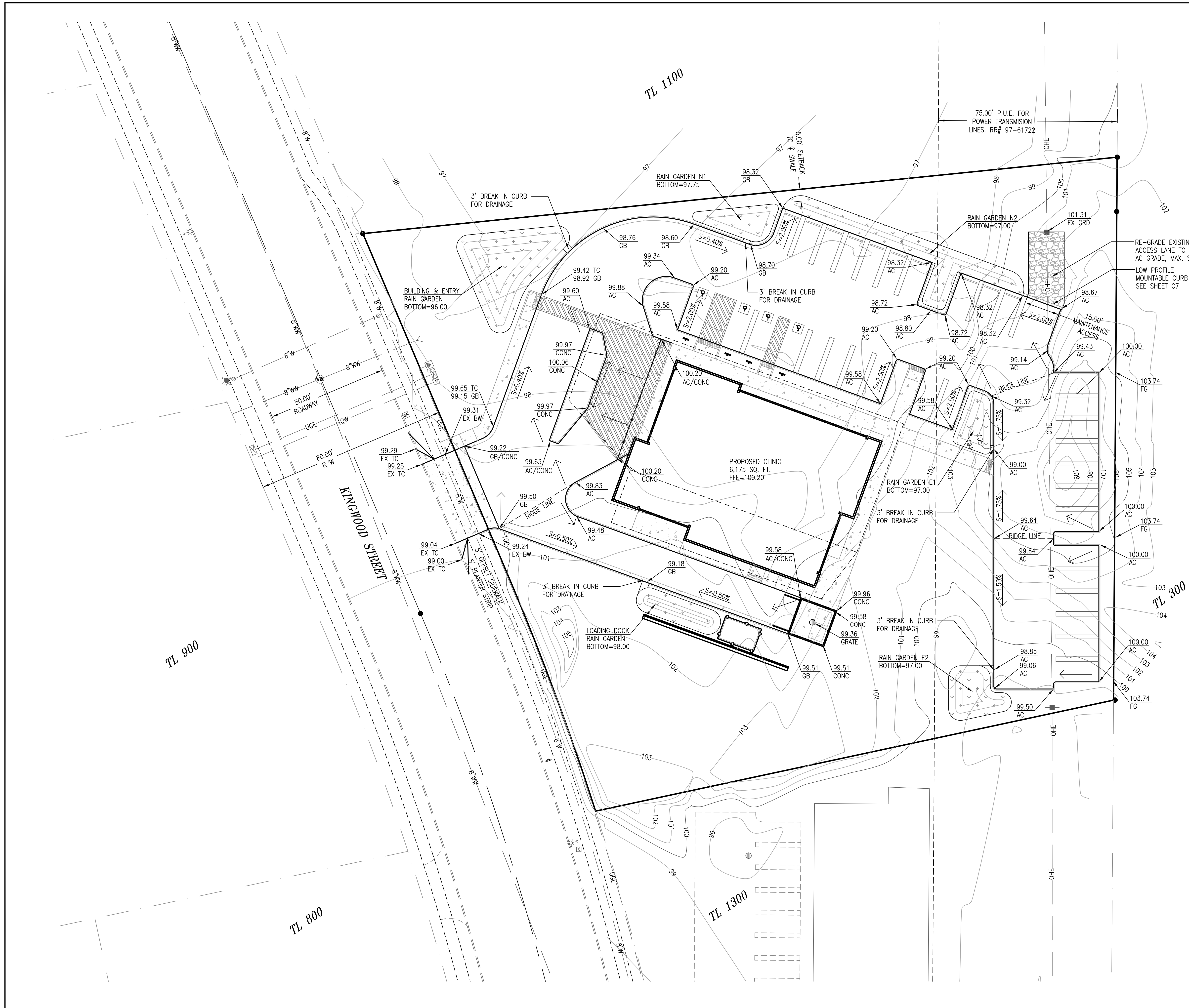
REGISTERED PROFESSIONAL LAND SURVEYOR
OREGON LICENSE NO. 104
LAWRENCE B. OLSON
RENEWAL DATE: 12-31-2012

Existing Conditions Map
for
Florence Dialysis
Florence Lane County Oregon

DATE: 3/24/11
PROJECT No: 4163
SCALE: HORIZ. 1"=20'
REVIEWED BY: [Signature]
REVIEWED BY: [Signature]
COA: [Signature]

REVISIONS:
1. UUA 8/2/11

SHEET
C1
of
7



- LEGEND**
- FOUND MONUMENT
 - BOUNDARY
 - - - ADJACENT PROPERTY LINE
 - - - EXISTING CURB AND GUTTER
 - ⊥ EXISTING ROAD SIGN
 - 8"W — EXISTING WATER LINE
 - ⊙ EXISTING FIRE HYDRANT
 - ⊙ EXISTING WATER VALVE
 - QW — EXISTING QWEST LINE
 - ⊞ EXISTING PHONE PEDESTAL
 - ⊞ EXISTING ELECTRICAL VAULT
 - ⊞ EXISTING ELECTRICAL TRANSFORMER
 - ⊞ EXISTING POWER POLE
 - OHE — EXISTING OVER HEAD ELECTRICAL LINE
 - UGE — EXISTING UNDER GROUND ELECTRICAL LINE
 - ⊙ EXISTING STREET LIGHT
 - ⊞ EXISTING STREET LIGHT JUNCTION BOX
 - 8"WW — EXISTING WASTEWATER MANHOLE & PIPE
 - ⊙ EXISTING CATCH BASIN

- GRADING LEGEND**
- ← PROPOSED GRADE
 - AC ASPHALT GRADE
 - GRATE CATCH BASIN GRATE
 - CONC CONCRETE GRADE
 - EX GRD EXISTING GROUND
 - EX TC EXISTING TOP OF CURB
 - FG FINISHED GROUND
 - FL FLOW LINE
 - GB GUTTER BAR
 - OF OVERFLOW

NOTE:
 1. ADA PARKING SPACES TO HAVE SLOPES NO GREATER THAN 2.00% IN ALL DIRECTIONS.

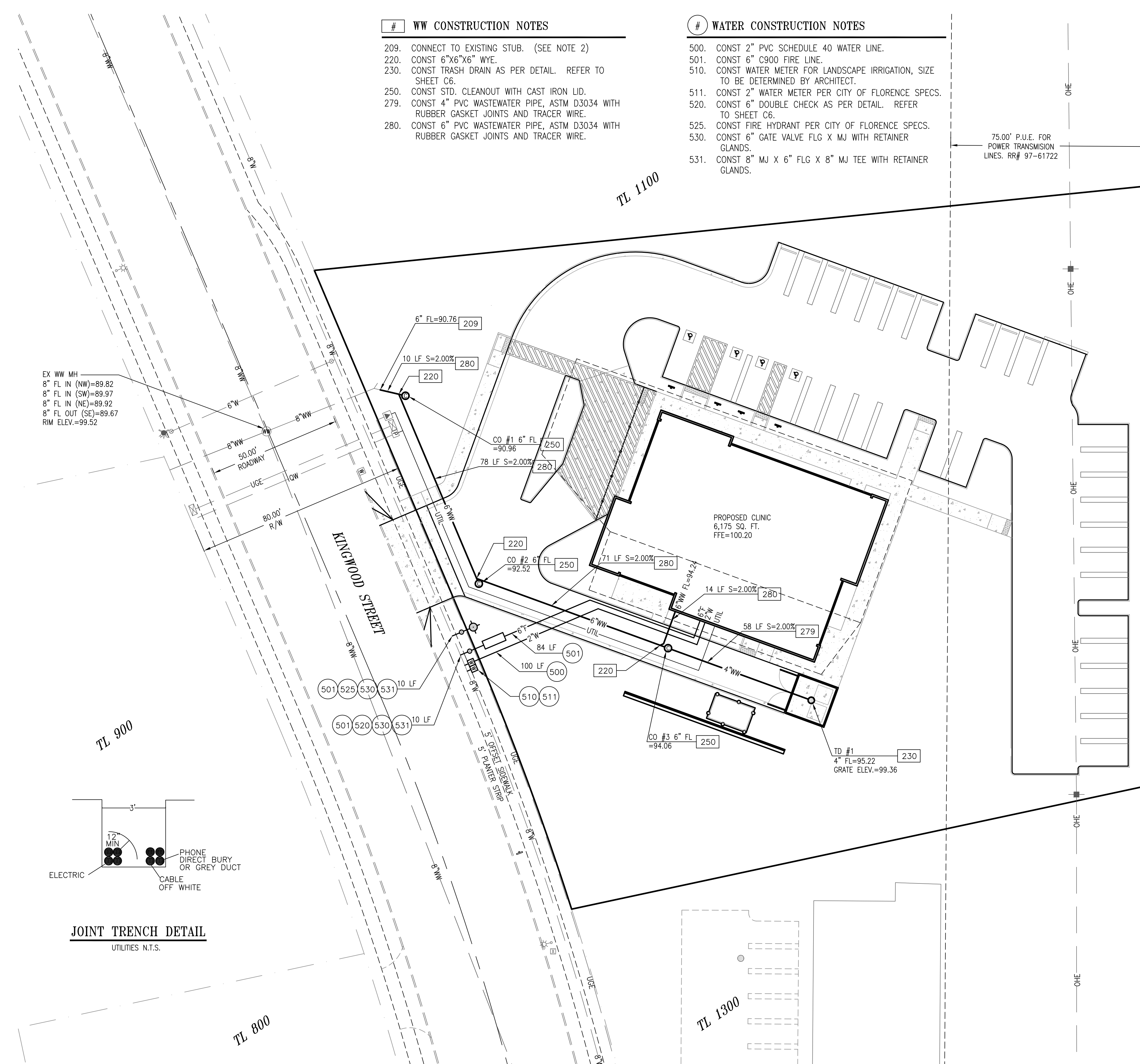
Olson & Morris
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 scott@olsonmorris.com

REGISTERED PROFESSIONAL ENGINEER
 16,663
 OREGON
 EXPIRES 12/12

Site Grading Plan
 for
Florence Dialysis
 Lane County Oregon
 Florence

DATE: 3/24/11	PROJECT No: 4163	SCALE: HORIZ. 1"=20'	REVIEWED BY: _____
REVISIONS:	DATE: _____	BY: _____	REVIEWED BY: _____

REVISIONS:	DATE: _____	BY: _____	REVIEWED BY: _____
1. UUA 8/2/11			



WW CONSTRUCTION NOTES

- 209. CONNECT TO EXISTING STUB. (SEE NOTE 2)
- 220. CONST 6"X6"X6" WYE.
- 230. CONST TRASH DRAIN AS PER DETAIL. REFER TO SHEET C6.
- 250. CONST STD. CLEANOUT WITH CAST IRON LID.
- 279. CONST 4" PVC WASTEWATER PIPE, ASTM D3034 WITH RUBBER GASKET JOINTS AND TRACER WIRE.
- 280. CONST 6" PVC WASTEWATER PIPE, ASTM D3034 WITH RUBBER GASKET JOINTS AND TRACER WIRE.

WATER CONSTRUCTION NOTES

- 500. CONST 2" PVC SCHEDULE 40 WATER LINE.
- 501. CONST 6" C90 FIRE LINE.
- 510. CONST WATER METER FOR LANDSCAPE IRRIGATION, SIZE TO BE DETERMINED BY ARCHITECT.
- 511. CONST 2" WATER METER PER CITY OF FLORENCE SPECS.
- 520. CONST 6" DOUBLE CHECK AS PER DETAIL. REFER TO SHEET C6.
- 525. CONST FIRE HYDRANT PER CITY OF FLORENCE SPECS.
- 530. CONST 6" GATE VALVE FLG X MJ WITH RETAINER GLANDS.
- 531. CONST 8" MJ X 6" FLG X 8" MJ TEE WITH RETAINER GLANDS.

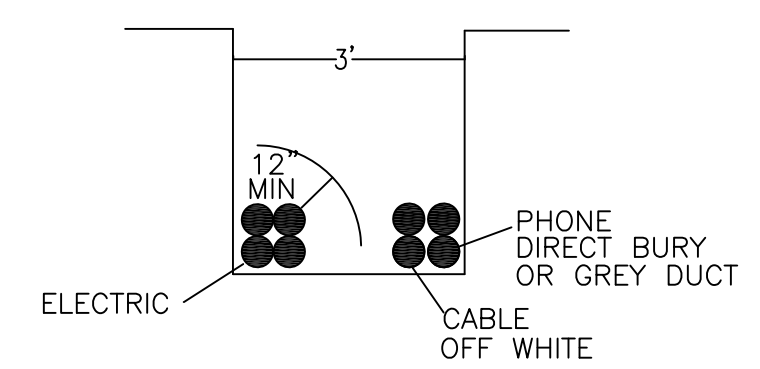
LEGEND

- BOUNDARY
- ADJACENT PROPERTY LINE
- EXISTING CURB AN GUTTER
- EXISTING ROAD SIGN
- EXISTING WATER LINE
- EXISTING FIRE HYDRANT
- EXISTING WATER VALVE
- PROPOSED DOMESTIC WATER LINE
- PROPOSED FIRE LINE
- PROPOSED WATER VALVE
- PROPOSED FIRE HYDRANT
- EXISTING QWEST LINE
- EXISTING PHONE PEDESTAL
- EXISTING ELECTRICAL VAULT
- EXISTING ELECTRICAL TRANSFORMER
- EXISTING POWER POLE
- EXISTING OVER HEAD ELECTRICAL LINE
- EXISTING UNDER GROUND ELECTRICAL LINE
- EXISTING STREET LIGHT
- EXISTING STREET LIGHT JUNCTION BOX
- PROPOSED UTILITIES (ELECTRIC, CABLE & PHONE)
- EXISTING WASTEWATER MANHOLE & PIPE
- PROPOSED WASTEWATER SYSTEM
- PROPOSED CLEANOUT
- EXISTING CATCH BASIN

NOTES:

1. LOCATION OF UTILITIES ON SITE ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY PRIOR TO CONSTRUCTION. ONE CALL #811.
2. CONTRACTOR SHALL POTHOLE EXISTING WASTEWATER LATERAL AND VERIFY, IN COORDINATION WITH THE PROJECT ENGINEER, FLOW LINE ELEVATION PRIOR TO CONSTRUCTION.
3. CONTRACTOR SHALL COORDINATE TAPS TO CITY WATER MAIN WITH CITY OF FLORENCE PUBLIC WORKS.
4. CONTRACTOR SHALL COORDINATE UTILITY WORK WITH SERVICE PROVIDERS.
 - ELECTRIC - CENTRAL LINCOLN PEOPLES UTILITY DISTRICT
 - PHONE - QWEST
5. NO NATURAL GAS AT SITE.
6. PHONE, CABLE & ELECTRIC PROPOSED TO BE JOINT TRENCH PER DETAIL.
7. SEE SHEET C7 FOR THRUST BLOCKING DETAILS FOR WATER SYSTEM.

EX WW MH
 8" FL IN (NW)=89.82
 8" FL IN (SW)=89.97
 8" FL IN (NE)=89.92
 8" FL OUT (SE)=89.67
 RIM ELEV.=89.52



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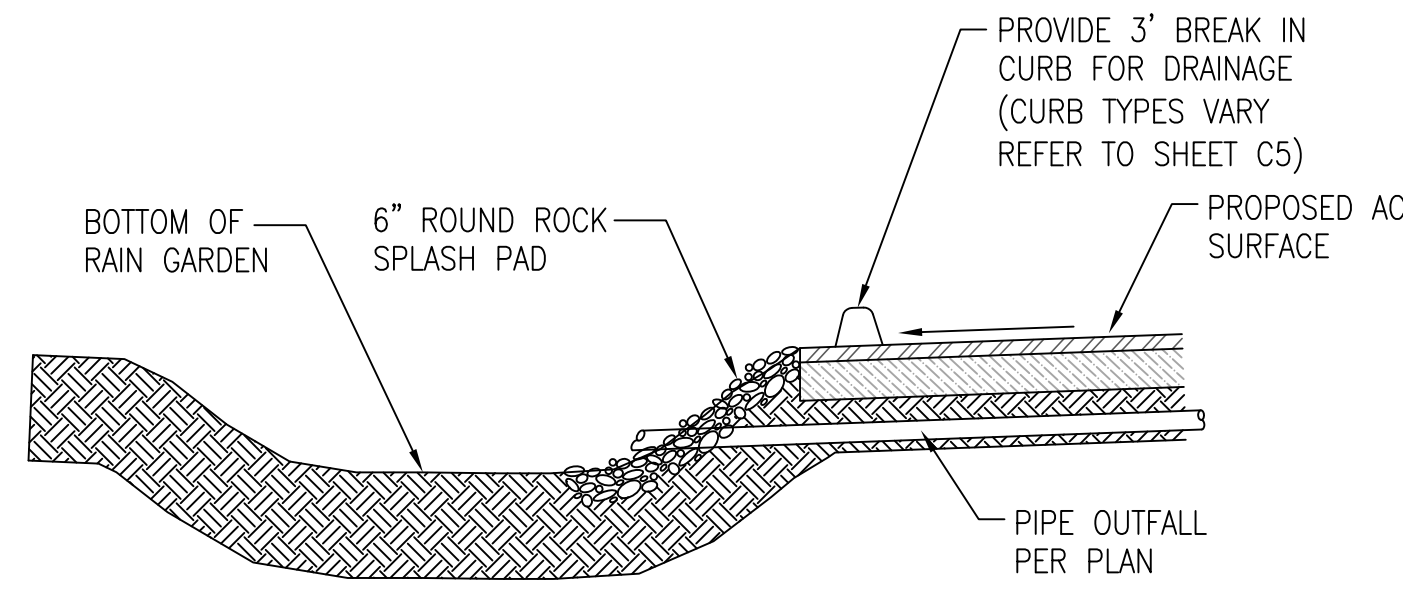
SCOTT OLSON
 PROFESSIONAL ENGINEER
 OREGON
 LICENSE NO. 19863
 EXPIRES 12/12

Site Utility / Wastewater Plan
 for
Florence Dialysis
 Lane County Oregon
 Florence

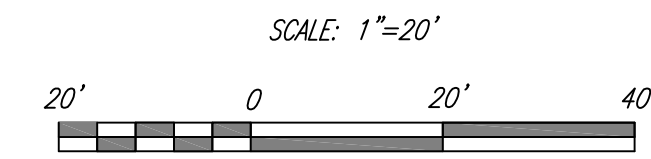
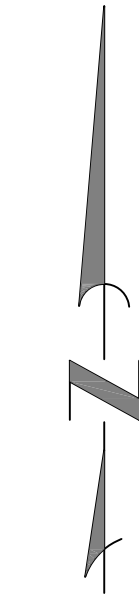
DATE: 3/24/11
 PROJECT No: 4163
 SCALE: HORIZ. 1"=20'
 REVIEWED BY: [Signature]
 REVIEWED BY: [Signature]
 COA: [Signature]

REVISIONS:

1.	UA	8/2/11	
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CURB BREAK & SPLASHPAD DETAIL
NTS



LEGEND

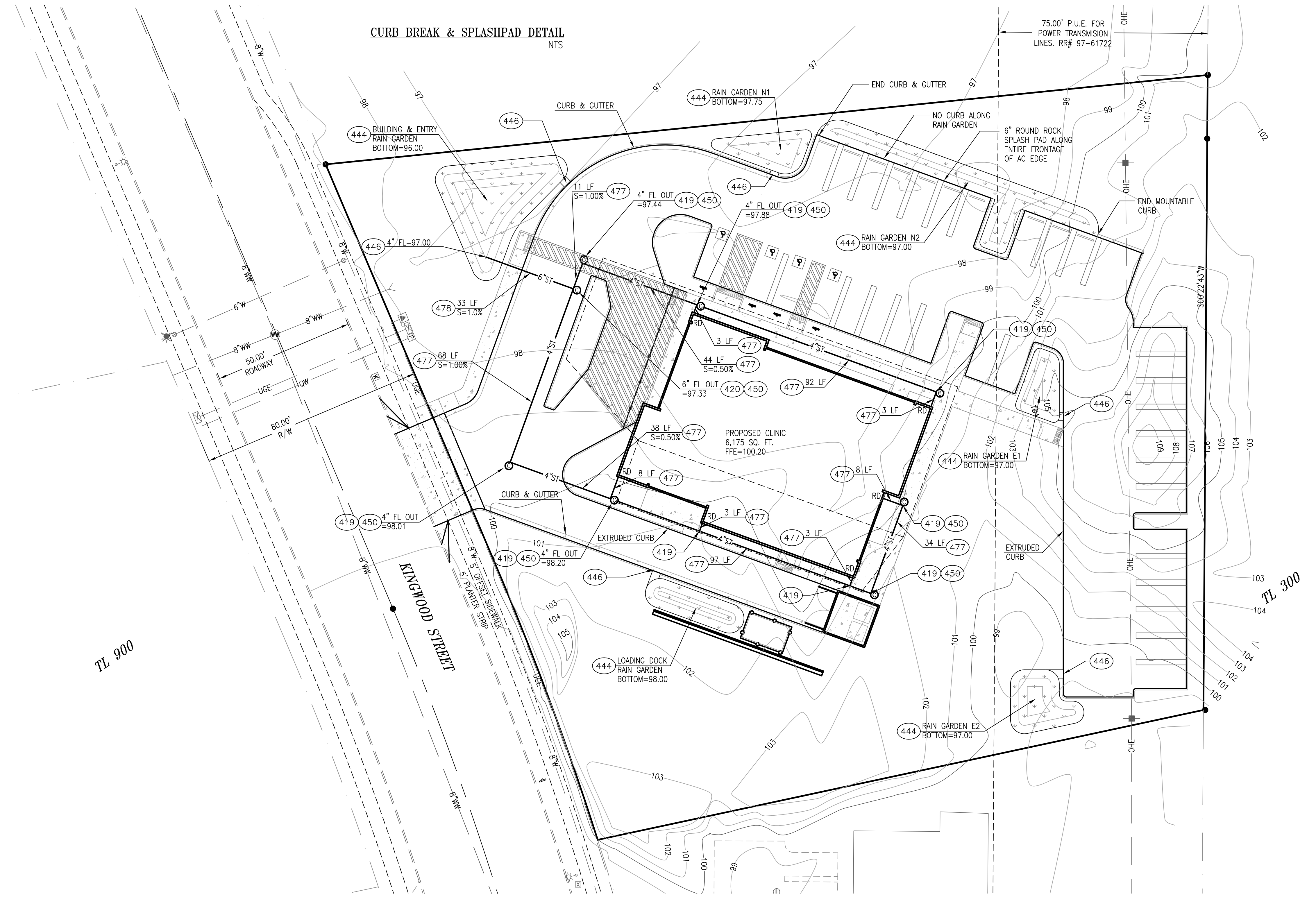
- FOUND MONUMENT
- BOUNDARY
- - - ADJACENT PROPERTY LINE
- - - EXISTING CURB AND GUTTER
- 8"W — EXISTING WATER LINE
- ⊙ EXISTING FIRE HYDRANT
- ⊗ EXISTING WATER VALVE
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- Ⓟ EXISTING PHONE PEDESTAL
- Ⓜ EXISTING ELECTRICAL VAULT
- Ⓜ EXISTING ELECTRICAL TRANSFORMER
- OHE — EXISTING OVER HEAD ELECTRICAL LINE
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- ⊙ EXISTING STREET LIGHT
- ⓧ EXISTING STREET LIGHT JUNCTION BOX
- 8"WW — EXISTING WASTEWATER MANHOLE & PIPE
- ⊙ EXISTING CATCH BASIN
- 4"ST — PROPOSED STORM DRAINAGE PIPE
- ⊙ PROPOSED CLEANOUT

ST CONSTRUCTION NOTES

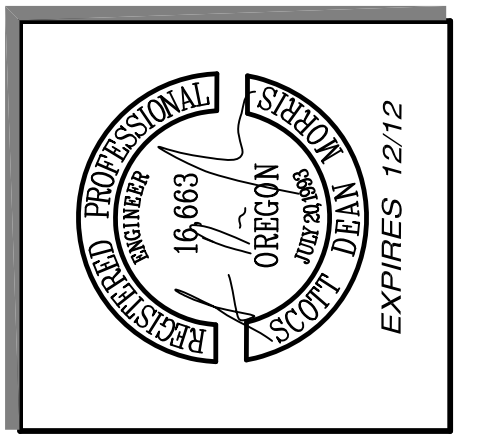
- 419. CONST 4"x4"x4" WYE.
- 420. CONST 4"x6"x4" TEE.
- 444. CONST INFILTRATION RAIN GARDEN AS PER DETAIL. REFER TO SHEET C7.
- 446. CONST 3" BREAK IN CURB WITH 6" ROUND ROCK SPLASH PAD PER DETAIL.
- 450. CONST STD. CLEANOUT WITH CAST IRON LID.
- 477. CONST 4" STORM DRAIN PIPE, ABS SCHEDULE 40 DW W/RUBBER GASKET JOINTS.
- 478. CONST 6" STORM DRAIN PIPE, ABS SCHEDULE 40 DW W/RUBBER GASKET JOINTS.

NOTE:

1. ALL ROOF AREAS TO BE TIED TO PIPING SHOWN. DOWNSPOUTS NOT ALLOWED TO DAYLIGHT ONTO PARKING OR DRIVE AREAS.



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Site Storm Drainage Plan
for
Florence Dialysis
Lane County Oregon
Florence

DATE:	3/24/11
PROJECT NO.:	4163
SCALE:	HORIZ. 1"=20'
REVIEWED BY:	DATE:
REVIEWED BY:	DATE:
COA:	

REVISIONS:	
1. UJA 8/2/11	

NOTE:
 1. MATERIAL SUITABLE FOR STRUCTURAL FILL SHALL BE PLACED UNDER BUILDING AND COMPACTED PER GEOTECHNICAL SPECIFICATIONS OUTLINED IN K & A ENGINEERING INC. REPORT DATED 4/11/2011.

TL 1100

75.00' P.U.E. FOR POWER TRANSMISSION LINES. RR# 97-61722

SCALE: 1"=20'



LEGEND

- FOUND MONUMENT
- BOUNDARY
- ADJACENT PROPERTY LINE
- - - EXISTING CURB AND GUTTER
- ⊥ EXISTING ROAD SIGN
- 8"W — EXISTING WATER LINE
- ⊙ EXISTING FIRE HYDRANT
- ⊙ EXISTING WATER VALVE
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- 8"WW — EXISTING WASTEWATER MANHOLE & PIPE
- ⊙ EXISTING CATCH BASIN

CONSTRUCTION NOTES

1. CONST MONOLITHIC CURB & SIDEWALK PER DETAIL. REFER TO SHEET C6.
2. CONST CURB & GUTTER PER DETAIL. REFER TO SHEET C6.
3. CONST EXTRUDED CURB AS PER DETAIL. REFER TO SHEET C6.
4. CONST BOLLARDS WITH LUMINAIRES PER ARCHITECTURAL PLANS.
5. CONST LOW PROFILE MOUNTABLE CURB AS PER DETAIL. REFER TO SHEET C7.
6. CONST WHEEL STOP AS PER DETAIL. REFER TO SHEET C7.
15. CONST 3" AC OVER 8" CRUSHED ROCK WITH FABRIC UNDER ROADWAY (LIQU GTF OR EQUIVALENT.) PER GEOTECHNICAL SPECIFICATIONS OUTLINED IN K & A ENGINEERING INC. REPORT DATED 4/11/2011.
40. CONST 4" CONCRETE OVER 1" CRUSHED ROCK.
41. CONST 6" REINFORCED CONCRETE OVER 1" CRUSHED ROCK W/#4 REBAR 12" O.C. BOTH DIRECTIONS.
56. CONST ADA COMPLIANT ACCESS RAMP.
57. CONST ADA COMPLIANT ACCESS RAMP WITH DETECTABLE SURFACE.
58. CONST CONCRETE WITH DETECTABLE SURFACE.
59. CONST CONCRETE DRIVE PER ODOT STD. DWG RD725 OPTION A.
90. PAINT DOUBLE LINE STRIPING 4" WIDE 'TRAFFIC WHITE' PER CITY CODE 10-3-9 B & C.
91. PAINT 4" WIDE STRIPE 'TRAFFIC YELLOW'.
101. INSTALL POLE MOUNTED DISABLED PERSON SIGN.
102. INSTALL POLE MOUNTED DISABLED PERSON AND VAN ACCESSIBLE SIGN.
104. CONST RECEPTACLE ENCLOSURE. AS PER DETAIL. REFER TO ARCHITECTURAL PLANS.
105. CONST GENERATOR ENCLOSURE. AS PER DETAIL. REFER TO ARCHITECTURAL PLANS.

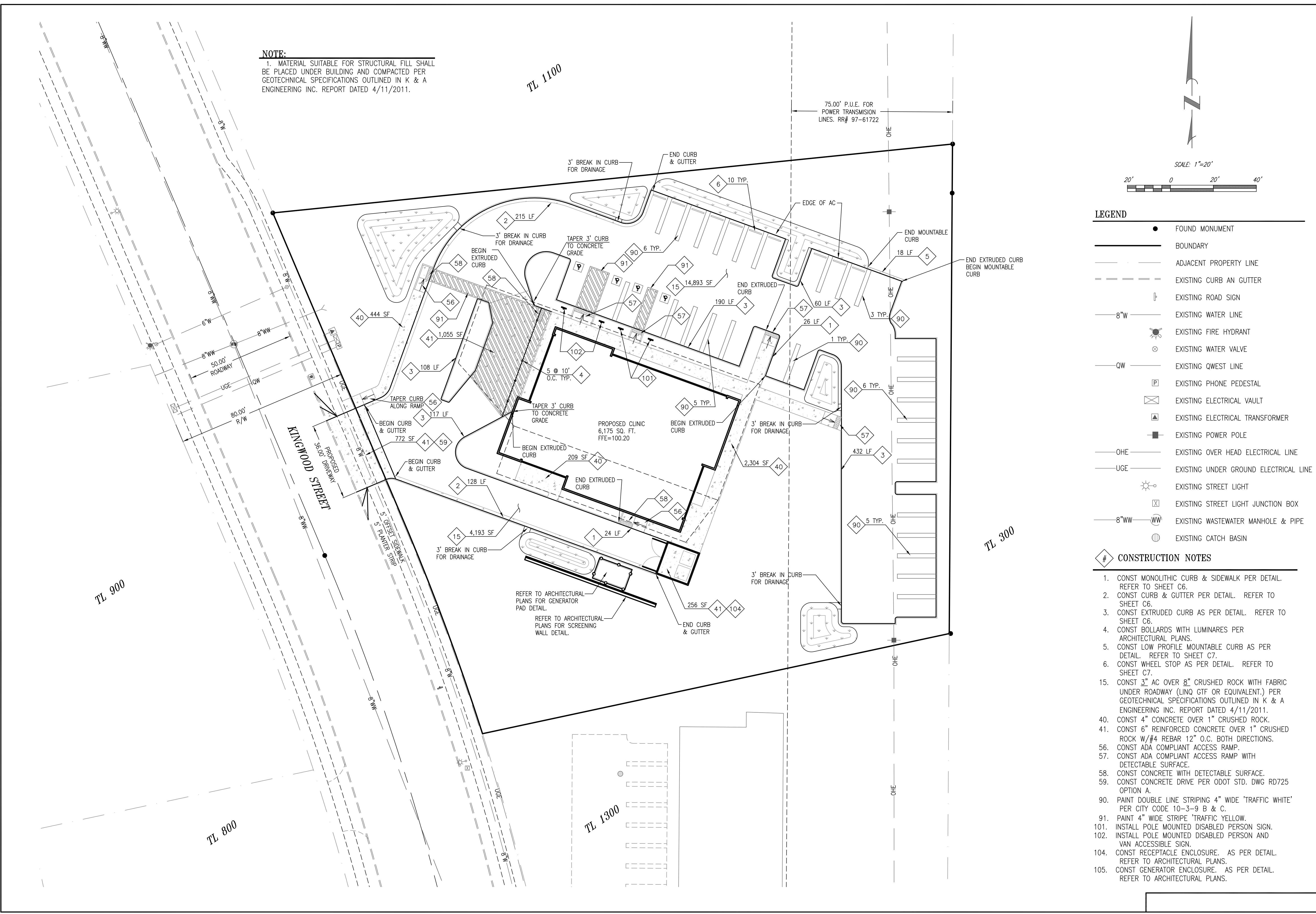
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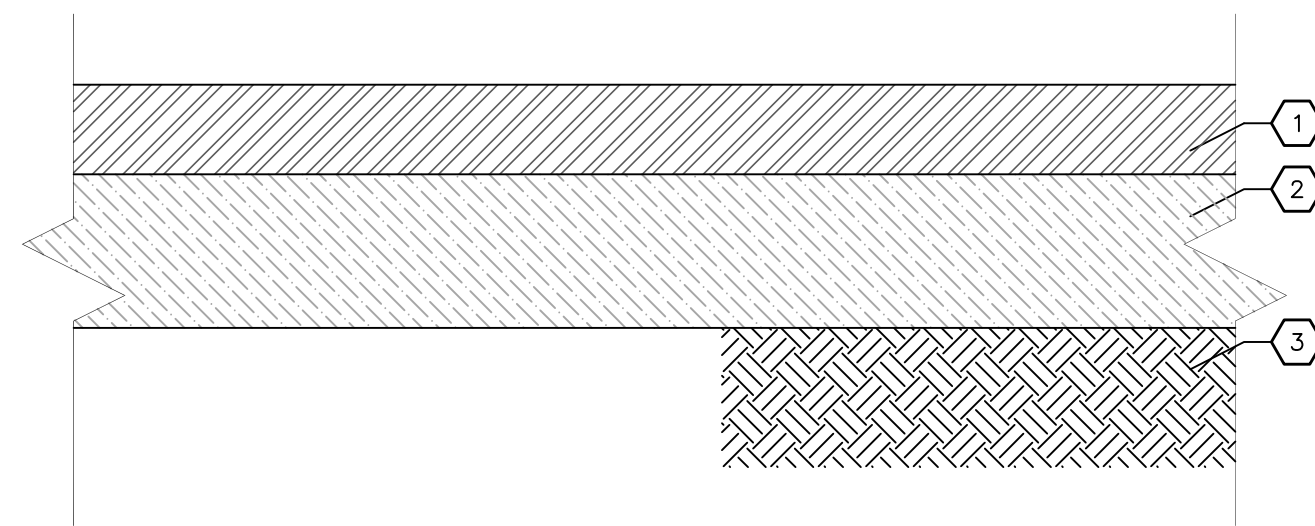
REGISTERED PROFESSIONAL SURVEYOR
 16,663
 OREGON
 EXPIRES 12/12

Site Paving Plan
 for
Florence Dialysis
 Lane County Oregon
 Florence

DATE:	3/24/11
PROJECT No:	4163
SCALE: HORIZ:	1"=20'
REVIEWED BY:	NAME
REVIEWED BY:	NAME
COA:	NAME

REVISIONS:	
1.	UA 8/2/11

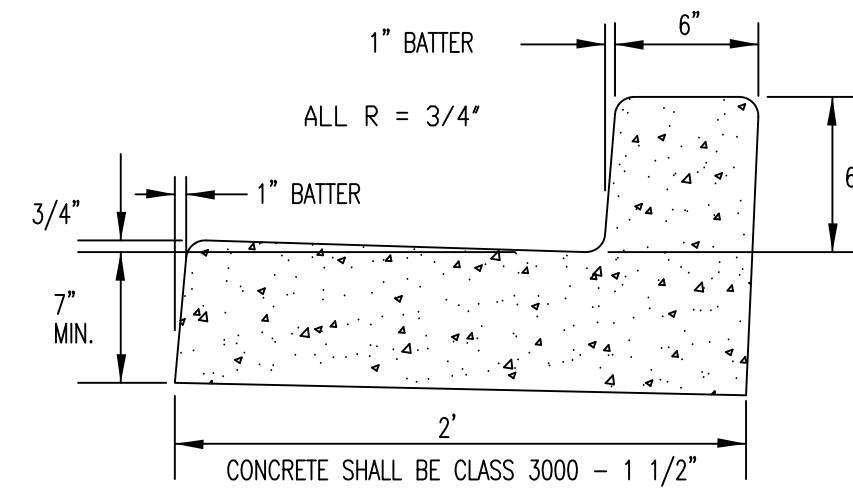




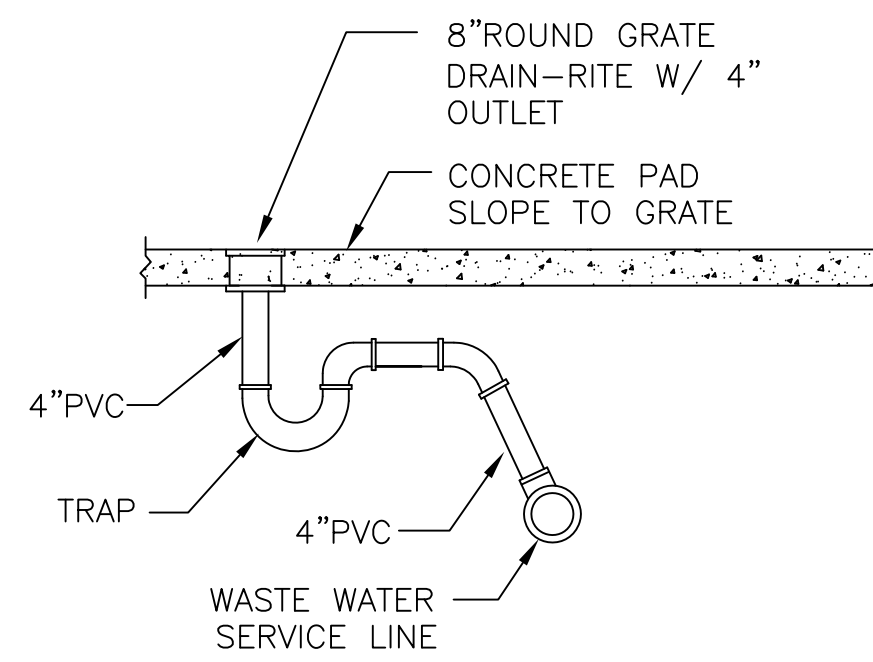
PAVEMENT SECTION DETAIL
N.T.S.

KEYED NOTES

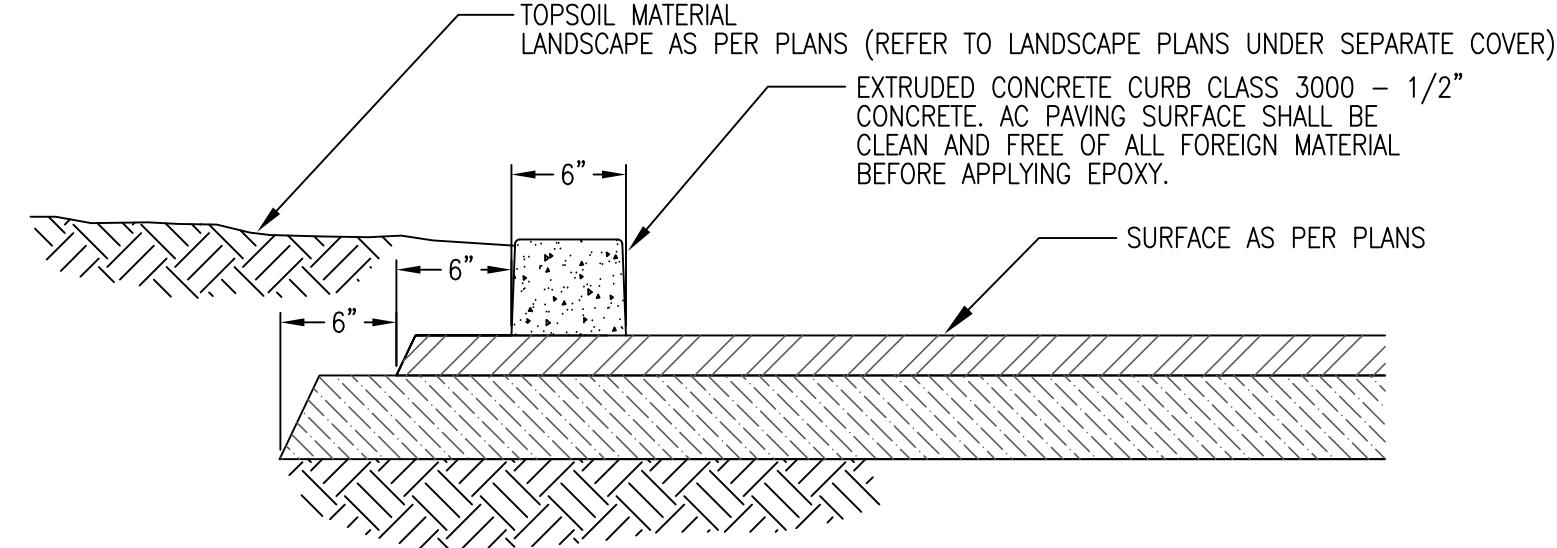
- 1 3" ASPHALT PAVING- 3" 3/4" HMAC
- 2 8" (MIN.) CLEAN, GRADED AND COMPACTED STONE (NO SLAG).
- 3 WELL-DRAINED SUB-GRADE COMPACTED TO A MIN. 95% OF MAX. AS DETERMINED BY ASTM D698 (STANDARD PROCTOR)



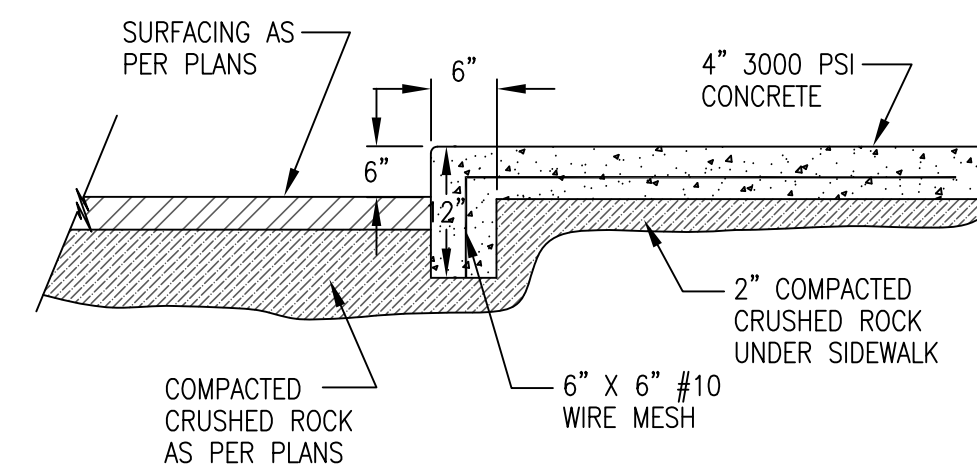
STANDARD CURB AND GUTTER DETAIL
N.T.S.



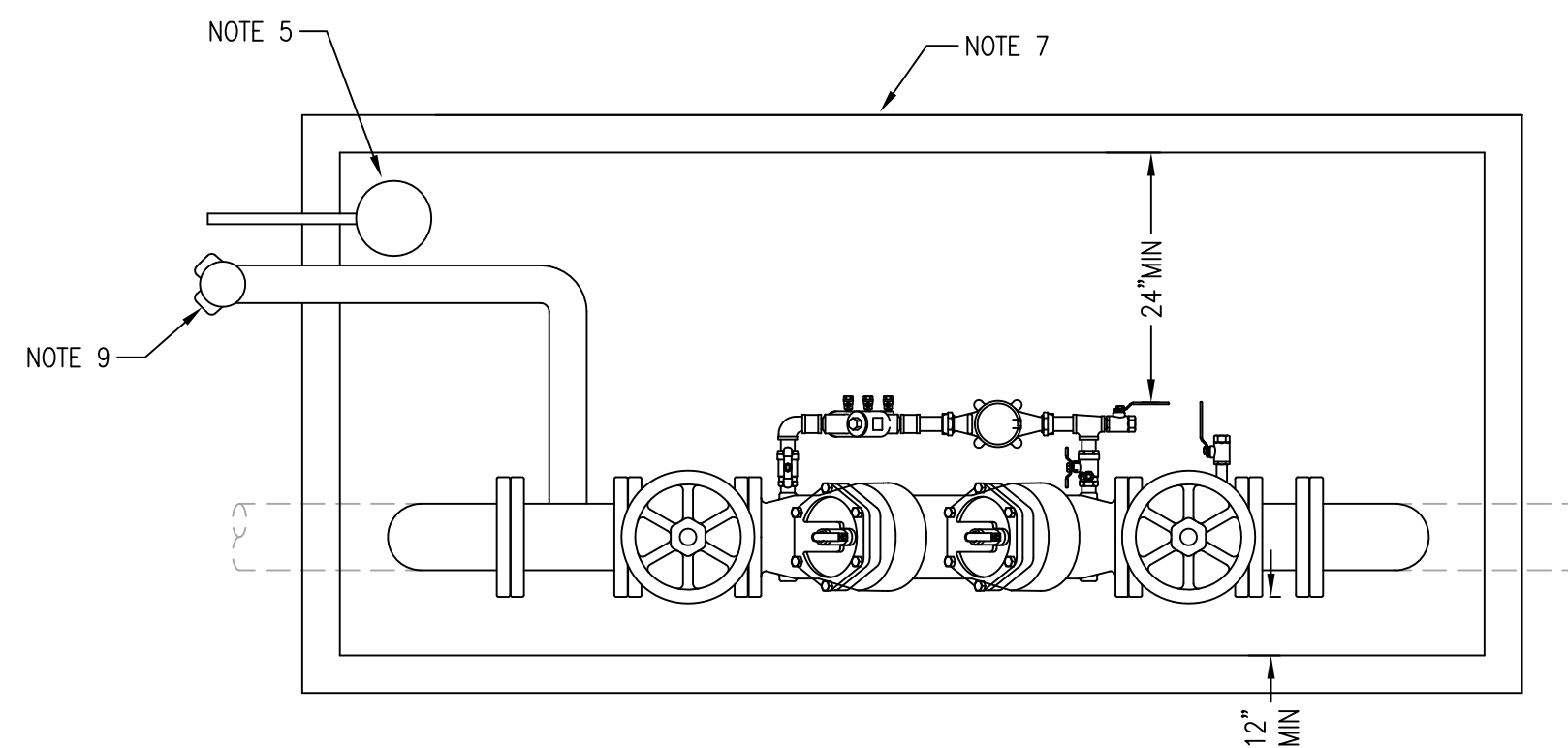
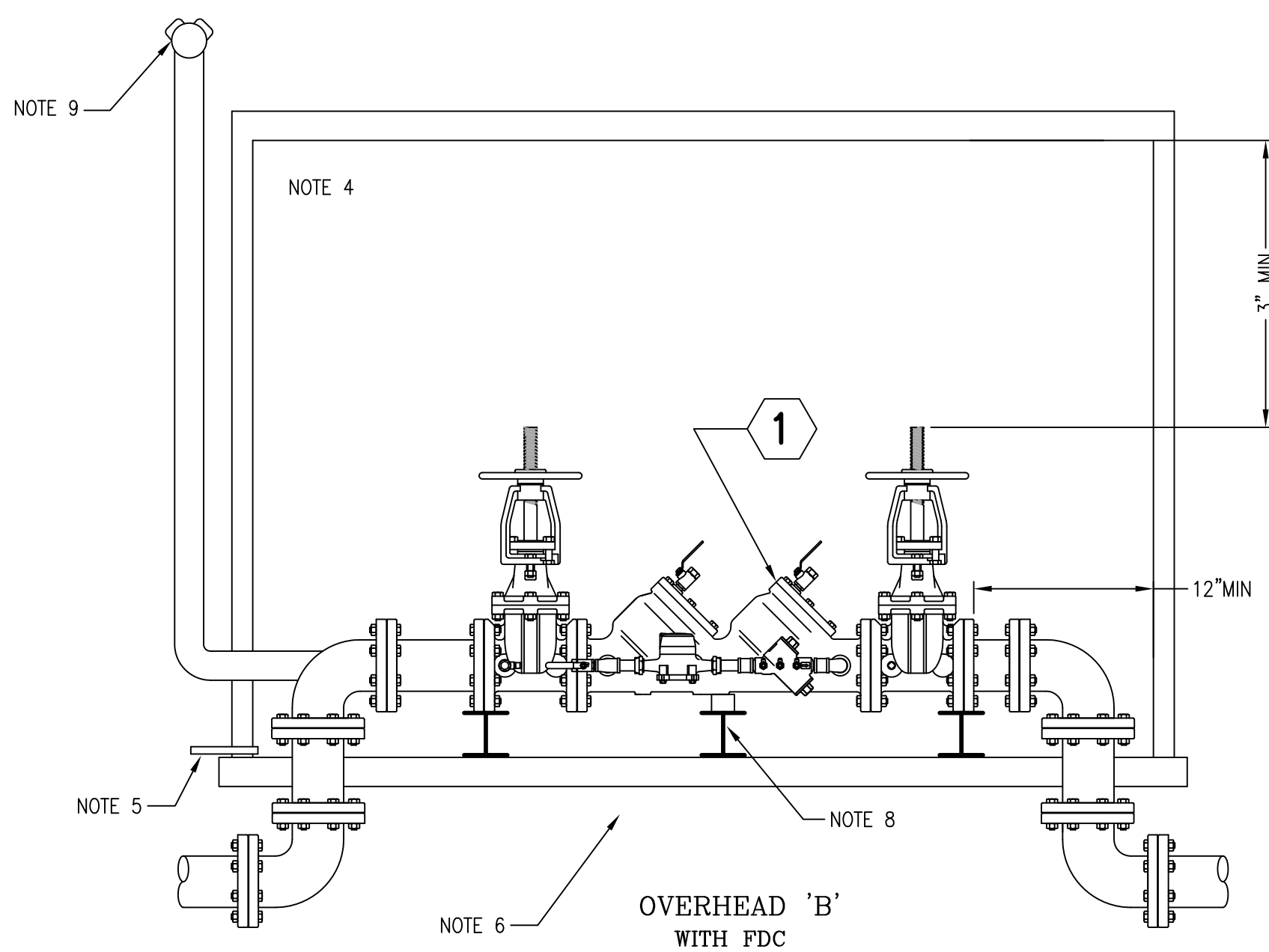
TRASH ENCLOSURE TRAP DRAIN
N.T.S.



EXTRUDED CONCRETE CURB DETAIL
N.T.S.

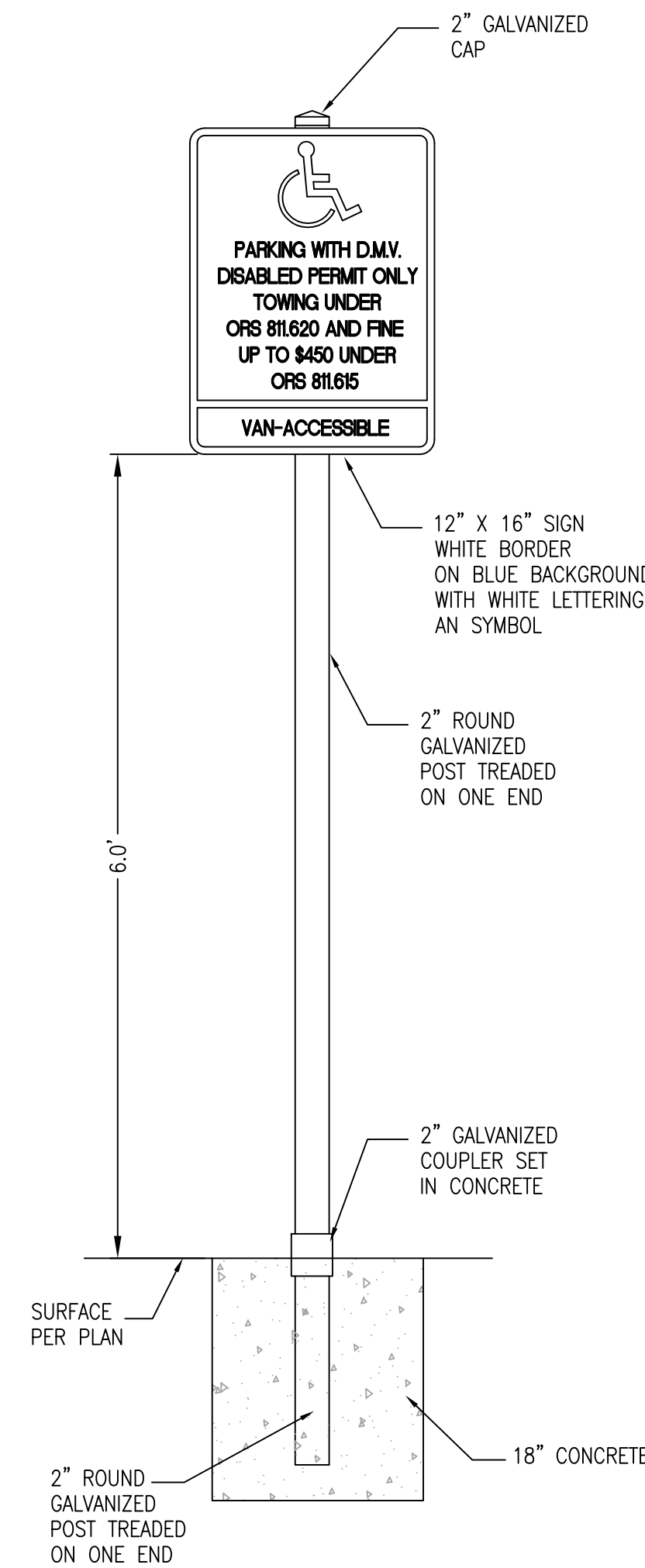


MONOLITHIC CURB/SIDEWALK
N.T.S.

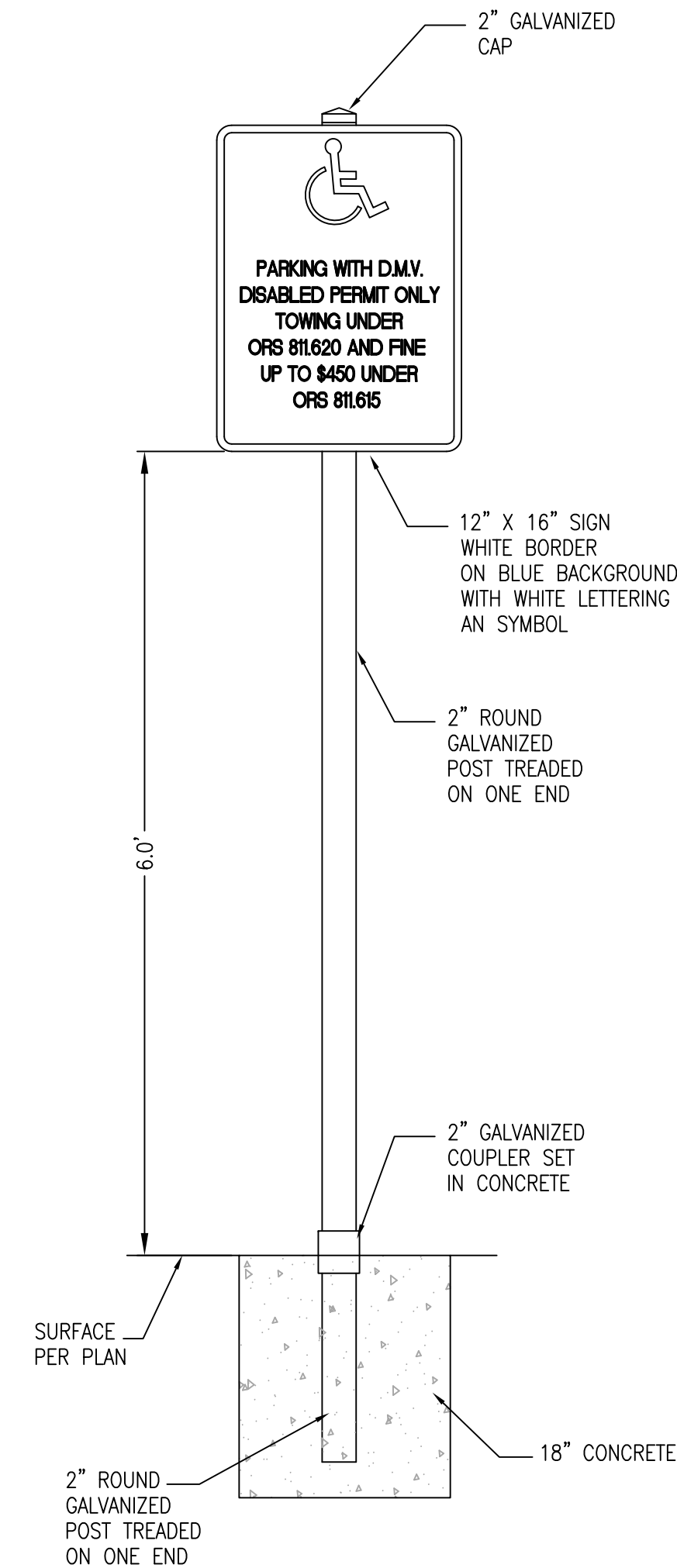


1 = APPROVED DETECTOR DOUBLE CHECK ASSEMBLY INCLUDING FACTORY SUPPLIED SHUTOFF VALVES.

DETECTOR DOUBLE CHECK ASSEMBLY
2-1/2" - 10", BELOW GROUND
N.T.S.



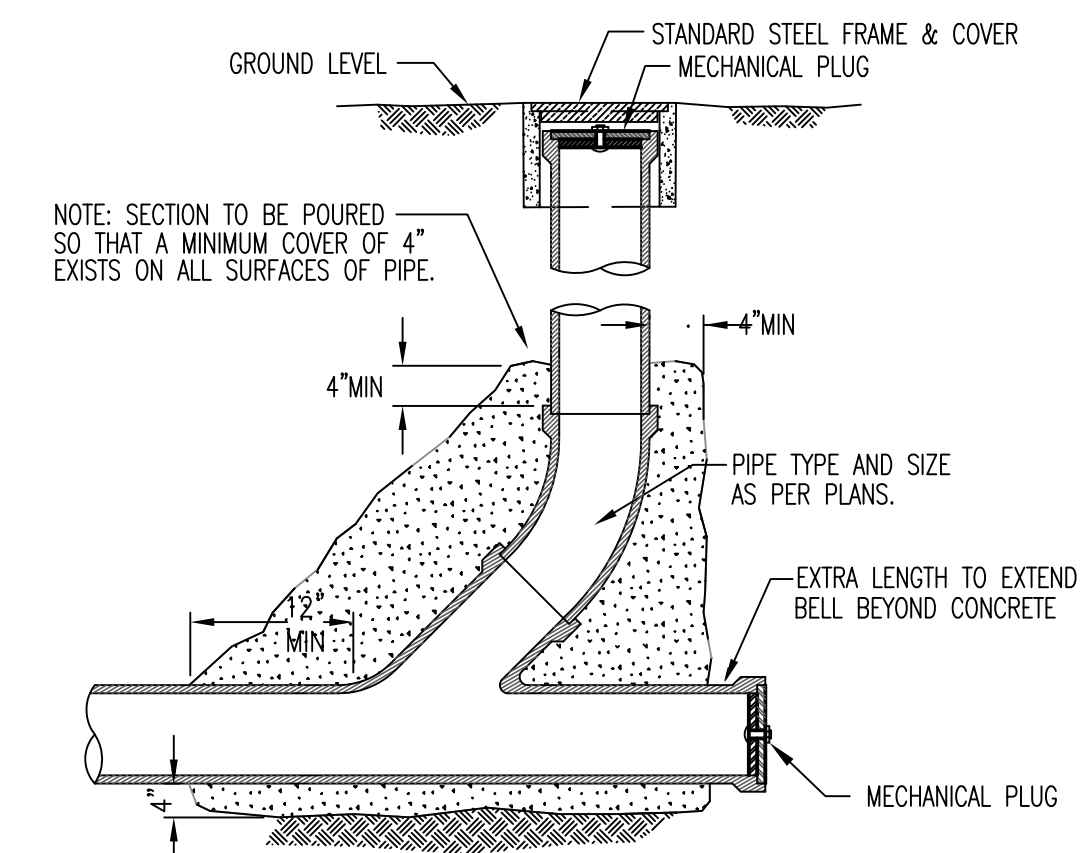
POLE MOUNTED ADA W/VAN ACCESSIBLE SIGN DETAIL
N.T.S.



POLE MOUNTED ADA SIGN DETAIL
N.T.S.

NOTES:

1. Detector double check vault or enclosure shall be installed at point of service, or in an alternate location approved by serving utility for their respective service area, but no more than 10 feet from point of service.
2. Detector double check assembly may be installed vertically, provided that the assembly:
 - a) is internally spring loaded (not weighted checks)
 - b) is 4" or smaller
 - c) is recommended by the manufacturer for vertical installations
 - d) has the normal flow upward
3. All clearances apply to outside and in-building installations.
4. Insulation - freeze protection to be installed and/or heat source to keep enclosure at a minimum temperature of 40°F (NFPA 13-4-5.4.1).
5. Sump Pump drain to proposed storm drainage system.
6. Compacted gravel or undisturbed base.
7. Service provider approved under ground concrete vault.
8. All assemblies 2-1/2" and larger shall have flange supports.
9. Fire department connection to be 5" Storz fitting.
10. Contractor to coordinate electrical conduit location with electrical contractor.



CLEAN OUT DETAIL
N.T.S.

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REGISTERED PROFESSIONAL SURVEYOR
16,663
OREGON
EXPIRES 12/12

Civil Details for
Florence Dialysis
Lane County Oregon
Florence

DATE:	3/24/11
PROJECT No:	4163
SCALE:	AS SHOWN
REVIEWED BY:	
REVIEWED BY:	
COA:	

REVISIONS:	
1. UUA	8/2/11

SHEET
C6
of
7

BEARING AREA OF THRUST BLOCKS IN SQ. FT.						
FITTING SIZE	TEE, WYE AND HYDRANT	STRADDLE BLOCK	90° BEND PLUGGED CROSS TEE PLUGGED ON RUN	45° BEND	22 1/2° BEND	11 1/4° BEND
4	1.3	1.6	1.8	1.0		
6	2.8	3.7	4.0	2.2	1.1	
8	5.0	6.5	7.1	3.8	2.0	1.0
10	7.9	10.2	11.1	6.0	3.1	1.5
12	11.3	14.7	16.0	8.7	4.4	2.2
16	20.1	26.1	28.4	15.4	7.8	3.9
20	31.4	40.8	44.4	24.0	12.3	6.2
24	45.2	58.8	64.0	34.6	17.7	8.9

VALUES BASED ON 200 PSI WATER PRESSURE & 2,000 PSF SOIL BEARING CAPACITY.

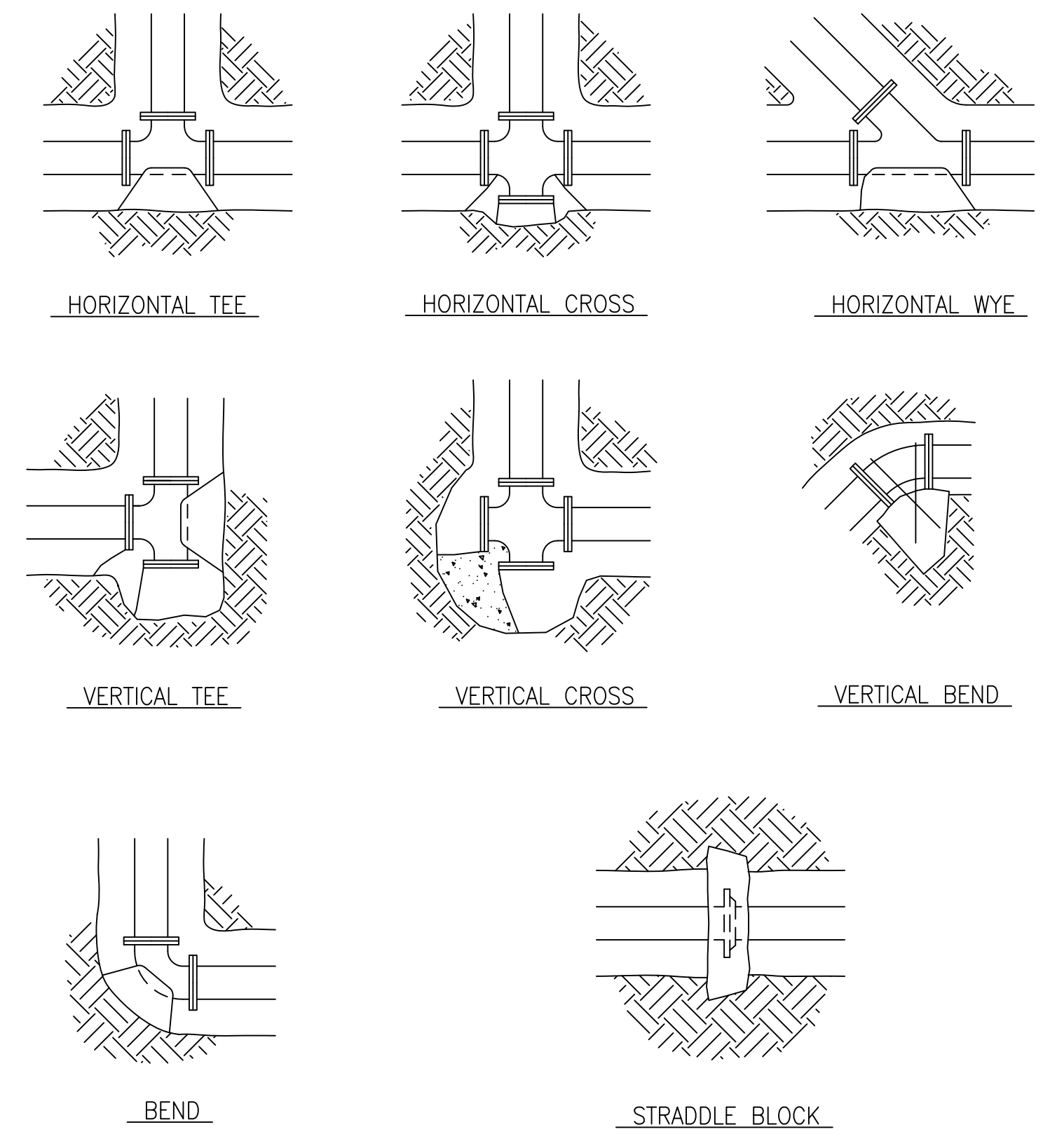
TABLE No. 1 HORIZONTAL BLOCKING

THRUST BLOCK VOLUMES IN CU. YDS.				
FITTING SIZE	45° BEND	22 1/2° BEND	11 1/4° BEND	
4	1.1	0.4	0.2	
6	2.7	1.0	0.4	
8	4.0	1.5	0.6	
10	6.0	2.3	0.9	
12	8.5	3.2	1.3	
14	11.5	4.3	1.8	
16	14.8	5.6	2.3	

TABLE No. 2 VERTICAL BLOCKING

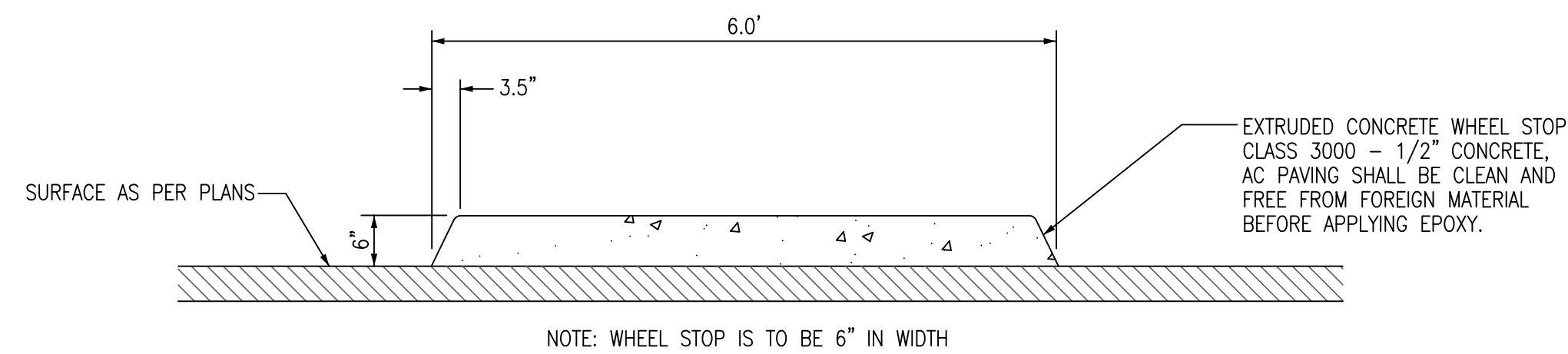
FITTING SIZE	ROD SIZE	EMBEDMENT
12" & LESS	#6	30"
14" - 16"	#8	36"

TABLE No. 3 REINFORCING



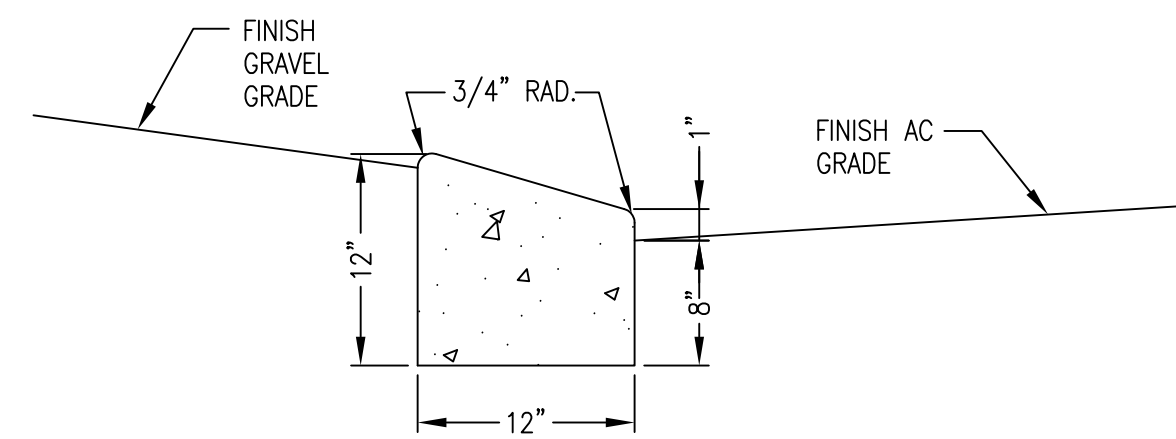
THRUST BLOCK DETAILS

NTS

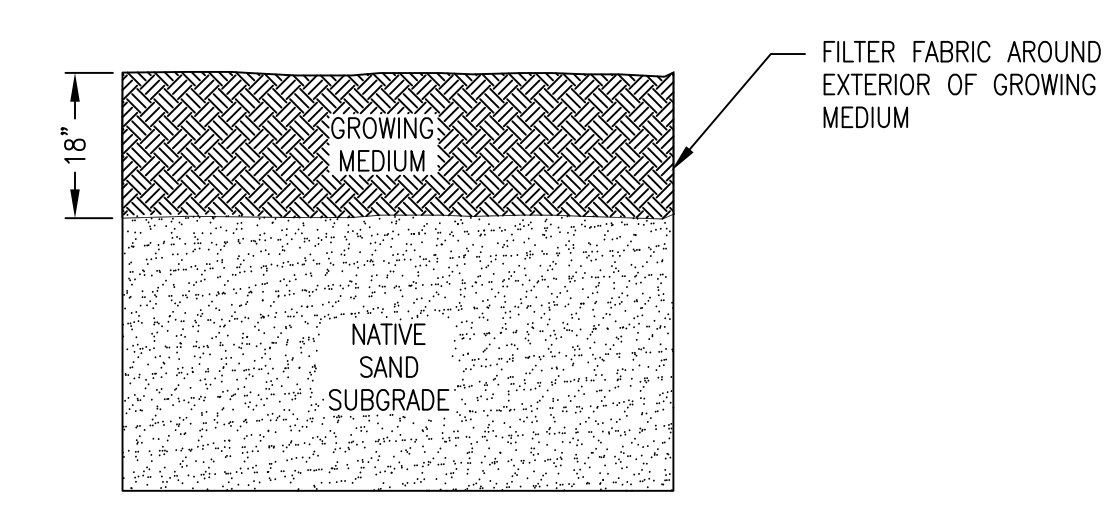


NOTE: WHEEL STOP IS TO BE 6" IN WIDTH

WHEEL STOP DETAIL
N.T.S.



LOW PROFILE MOUNTABLE CURB
N.T.S.



INFILTRATION
N.T.S.

9'-18" (SEE NOTE 2)
18"
12" (SEE NOTE 6)
SEE SW-156 FOR PIPING CONFIGURATION.
9 FT MINIMUM
3:1 MAX. SLOPE (TYP.)
2 FT FLAT BOTTOM
FOR PARKING LOTS, DRIVE STOPS OR CURBS W/O CURB: 12"x12" CLEAR FLOW AREA AT CURBS
OVERFLOW ELEVATION
MIN.
GROWING MEDIUM
DRAIN ROCK (FOR FLOW THROUGH)
NATIVE SAND SUBGRADE
FILTER FABRIC (SEE NOTE 7)
IMPERMEABLE LINER (FOR FLOW THROUGH)

- Provide protection from all vehicle traffic, equipment staging, and foot traffic in proposed infiltration areas prior to, during, and after construction.
- Dimensions:
 - Width of basin: 9' minimum.
 - Depth of basin (from top of growing medium to overflow elevation): Simplified: 12', Presumptive: 9'-18'.
 - Flat bottom width: 2' min.
 - Side slopes of basin: 3:1 maximum.
- Setbacks (from midpoint of facility):
 - Infiltration basins must be 10' from foundations and 5' from property lines.
 - Flow-through basins must be lined with connection to approved discharge point according to SWDM Section 2.1.
- Overflow:
 - Overflow required for Simplified Approach.
 - Inlet elevation must allow for 2" of freeboard, minimum.
 - Protect from debris and sediment with strainer or grate.
- Piping: shall be ABS Sch.40, cast iron, or PVC Sch.40. 3" pipe required for up to 1,500 sq ft of impervious area, otherwise 4" min. Piping must have 1% grade and follow the Uniform Plumbing Code.
- Drain rock:
 - None required for infiltration basin.
 - Size for flow-through basin: 3/4" washed.
- Separation between drain rock and growing medium: Use filter fabric (see SWDM Exhibit 2-6).
- Growing medium:
 - 18" minimum.
 - See Appendix B for specification.
- Vegetation: Follow landscape plans otherwise refer to plant list in SWDM Appendix G. Minimum container size is 1 gallon. # of plantings per 100sf of facility area:
 - Zone A (wet): 115 herbaceous plants OR 100 herbaceous plants and 4 shrubs.
 - Zone B (moderate to dry): 1 tree AND 3 large shrubs AND 4 medium to small shrubs.
 The separation between Zone A and B shall be either at the outlet elevation or the check dam elevation, whichever is lowest.
- Install washed pea gravel or river rock to transition from inlets and splash pad to growing medium.
- Inspections: Call City of Florence Public Works (541) 997-4106 to schedule appropriate inspections.

- DRAWING NOT TO SCALE -

STORMWATER MANAGEMENT MANUAL TYPICAL DETAILS
CITY OF FLORENCE - Simplified / Presumptive Design Approach -
PUBLIC WORKS DEPARTMENT
288 Stevens Street
Florence, OR 97530
Phone: 541-997-4106
DATE: 11-30-10

Rain Garden
NUMBER: SW-140

NOTE:
RAIN GARDENS FOR THIS PROJECT ARE DESIGNED TO BE INFILTRATION FACILITIES WITH NO OVERFLOW PIPING. SEE BELOW.

Olson & Morris
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REGISTERED PROFESSIONAL ENGINEER
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OREGON
SCOTT MORRIS
EXPIRES 12/12

Civil Details for
Florence Dialysis
Lane County Oregon
Florence

DATE: 3/24/11
PROJECT No: 4163
SCALE: HORIZ
REVIEWED BY:
REVIEWED BY:
COA:

REVISIONS:
1. UJA 8/2/11

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