

STAFF REPORT & FINDINGS OF FACT
FLORENCE COMMUNITY DEVELOPMENT DEPARTMENT
Exhibit "A"

Date of Report: November 4, 2016
Application: AR 16 19 MOD 01

Planner: Glen Southerland

I. PROPOSAL DESCRIPTION

Proposal: An Administrative Review application for a landscape modification to add a stormwater facility to serve the existing Fred Meyer fuel station.

Applicant: Joel Howitt, Barghausen Engineers, representing Fred Meyer

Property Owner: Fred Meyer Stores, Inc.

Location: 4825 Highway 101
Assessor's Map 18-12-14-20, Tax Lot 01104

General Location: West of Highway 101, south of Munsel Lake Road and north of 46th Street

Comprehensive Plan Map Designation: North Commercial

Zone Map Classification: North Commercial District

Surrounding Land Use / Zoning:

Site: Fuel Station / North Commercial
North: Retail commercial / North Commercial
South: Retail commercial / North Commercial
East: Vacant / North Commercial
West: Federal lands / Open Space

Streets/Classification:

East – Highway 101 – Major Arterial; West – None; North – None; South – 46th Street – Local

II. BACKGROUND/NARRATIVE

The Fred Meyer fuel station was originally constructed in 2001 and approved through Planning Commission Resolution 01-04-10-11 on April 10, 2001. The fuel station consists of a cashier kiosk, 10 fuel pumps, and a 3,956 square foot canopy.

It appears that this landscaped area at some time since 2012 was modified without City approval. At least ten trees were removed as well as a significant number of

shrubs. Google Streetview images from August 2012 and Bing Streetside images from May 2015 are included as Exhibit D. The landscaping plan from the original approval is included as Exhibit E.

The current application for a landscaping modification was received on September 7, 2016. The application was deemed complete on October 5, 2016.

III. NOTICES & REFERRALS

Notice: Noticing was performed in accordance with FCC 10-1-1-6-D. Notice was sent to surrounding property owners within 100 feet of the property on October 12, 2016 and a sign was posted on the property on October 12, 2016.

As of this writing, the City has received no comments.

Referrals: Referrals were sent on October 12, 2016 to the Florence Building Department, The Building Department LLC, Siuslaw Valley Fire and Rescue, Florence Public Works, and Oregon Department of Transportation.

As of this writing, the City has received no comments.

IV. APPLICABLE REVIEW CRITERIA

Florence City Code, Title 9:

Chapter 5: Stormwater Management, Sections 2 through 7

Florence City Code, Title 10:

Chapter 1: Zoning Administration, Section 1-6

Chapter 30: North Commercial District, Sections 3 and 5-D

Chapter 34: Landscaping, Section 3

V. FINDINGS

The criteria are listed in bold followed by the findings of fact.

FLORENCE CITY CODE

TITLE 10: CHAPTER 1: ADMINISTRATIVE REVIEW

10-1-1-6: ADMINISTRATIVE REVIEW

- A. **The Planning Director, or designated planning staff may make administrative decisions. The administrative procedure is used when there are clear and objective approval criteria and applying City standards require no use of discretion.**

B. Administrative Decisions are based upon clear compliance with specific standards. Such decisions include, but are not limited to the following:

- 3. Modification of less than 1,500 square feet or less than 25% of the building square footage, whichever is less.**

The applicant has proposed a modification to the approved landscaping plan for the fuel station of less than 1,500 square feet (363 total square feet for the stormwater planter). Stormwater facilities also require additional review. This decision will be an Administrative Review based upon clear compliance with specific standards. As such, this decision may be appealed to the Planning Commission per FCC 10-1-1-7.

D. Notice - Information:

- 1. Administrative Decisions: The City will post a notice on the subject property and provide Notice of Application to owners of property within 100 feet of the entire contiguous site for which the application is made. The list of property owners will be compiled from the most recent property tax assessment roll.**
 - a. Notice shall also be provided to the airport as required by ORS 227.175 and FCC 10-21-2-4 and any governmental agency that is entitled to notice under an intergovernmental agreement with the City or that is potentially affected by the proposal. For proposals located adjacent to a state roadway or where proposals are expected to have an impact on a state transportation facility, notice of the application shall be sent to the Oregon Department of Transportation.**
- 2. Property Owner Notice shall:**
 - a. Provide a 14 day period of submission of written comments prior to the decision;**
 - b. List applicable criteria for the decision;**
 - c. Set forth the street address or other easily understood geographical reference to the subject property;**
 - d. State the place, date and time that comments are due;**
 - e. State that copies of all evidence relied upon by the applicant are available for review at no cost, and that copies can be obtained at a reasonable cost;**

- f. **Include the name and phone number of local government representative to contact and the telephone number where additional information may be obtained.**

Notice was sent to surrounding property owners within 100 feet of the subject area. A 14-day notice period was provided and all requirements of FCC 10-1-1-6-D-2 were met.

TITLE 10: CHAPTER 30: NORTH COMMERCIAL DISTRICT

10-30-3: BUILDINGS AND USES PERMITTED CONDITIONALLY

Automobile fuel or service stations

10-30-5: DEVELOPMENT STANDARDS:

- D. **Landscaping and Visual Buffers shall comply with Section 10-34 of this Title.**
 - 1. **Except where the entire area between a street and building is landscaped, a minimum 3' high landscaped berm, hedge, natural vegetation, or heavy landscape planting shall be provided along the street frontage.**
 - 2. **A minimum of 15 percent of the developed site shall be landscaped, unless a preservation credit is achieved in accordance with FCC 10-34-2-4.**

The original proposal was not reviewed against the current landscaping criteria, however, it met the code criteria in place at the time, which were similar. According to Section III-A of the Findings of Fact, the proposed (at-the-time) landscaping was part of a 3'6" berm and plant selections which would also reach over 30" in height. This berm has been mostly leveled and the majority of the trees and shrubs have been removed. The percentage of the site which is landscaped has not changed since the original development was proposed, however.

The applicant has proposed the removal of existing landscaping as part of this application, but has proposed that other landscaping will be installed as part of the stormwater planter.

The landscaping proposed will be evaluated further as part of staff review of FCC 10-34 later within this report. Evaluation of the previously approved landscaping plan (Resolution 01-04-10-11) included as Exhibit E will be conducted separately from this land use decision, but is included for reference.

TITLE 10: CHAPTER 34: LANDSCAPING

10-34-3: LANDSCAPING

10-34-3-1: Applicability. Except for single-family and duplex dwelling uses, this Section shall apply to all new development as well as changes of use and expansions as described below, and shall apply in all districts except where superseded by specific zoning district requirements. These provisions shall be in addition to the provisions of FCC Title 9 Chapter 5 and where there are conflicts, the provisions of Title 9 Chapter 5 shall prevail.

- B.** For modifications or additions to existing development, landscaping shall be brought up to current code requirements in the same proportion as the increase in use and/or building size. (Ord. 4, 2011)

The applicant has proposed a change in existing landscaping through replacement with a stormwater planter to infiltrate storm water from the fuel station site.

10-34-3-2: Landscaping Plan Required. A landscape plan is required. All landscape plans shall include the following information:

- A.** The location and height of existing and proposed fences and walls, buffering or screening materials.
- B.** The location of existing and proposed terraces, retaining walls, decks, patios, shelters, and play areas.
- C.** The location, size, and species of the new proposed plant materials (at time of planting).
- D.** The location(s) of areas where existing vegetation will be cleared and the location(s) of areas where existing vegetation will be preserved, delineated on a recent aerial photo or site plan drawn to scale.
- E.** Existing and proposed building and pavement outlines.
- F.** Specifications for soil at time of planting, irrigation and anticipated planting schedule.
- G.** Other information as deemed appropriate by the City Planning Official.

The standards listed under FCC 10-34-3-2 are met, however the number and species of plants to be removed have not been provided. The landscape architect has also provided a landscape plan which does not reflect the current on-site conditions.

The applicant shall provide an accurate landscape plan which demonstrates the current on-site conditions and the proposed stormwater planter prior to commencement of work. (Condition 3.1)

The applicant shall provide the number and species of plants being removed prior to commencement of work. (Condition 3.2)

10-34-3-3: Landscape Area and Planting Standards. The minimum landscaping area is 15% of the lot area, unless specified otherwise in the applicable zoning district for the proposed use. This required minimum landscaping area may be reduced if preservation credits are earned as specified in Section 10-34-2-4.

A. Landscaping shall include planting and maintenance of the following:

- 1. One tree per 30 lineal feet as measured along all lot lines that are adjacent to a street.**
- 2. Six shrubs per 30 lineal feet as measured along all lot lines that are adjacent to a street.**
- 3. Living plant materials shall cover a minimum of 70 percent of the required landscape area within 5 years of planting.**
- 4. Except for preservation of existing significant vegetation, the required plant materials on-site shall be located in areas within the first 20 feet of any lot line that abuts a street. Exceptions may be granted where impracticable to meet this requirement or the intent is better served. Required trees may be located within the right-of-way and must comply with Section 10-34-4. Plant materials may be installed in any arrangement and do not need to be equally spaced nor linear in design. Plantings and maintenance shall comply with the vision clearance standards of FCC 10-35-2-13.**
- 5. Pocket-planting with a soil-compost blend around plants and trees shall be used to ensure healthy growth.**

The site's landscaping does not currently meet code requirements or the originally approved landscaping plan. The applicant will not be required to comply with current code requirements in the same proportion as the increase in use, as there is no current increase in the use.

The approval for the fuel station included four Kwanzan Cherry trees. Trees along the frontage of Highway 101 were a mixture of cherry and shore pine trees. The applicant's original cherry trees have not prospered in the harsh winds and blowing sand of the existing site, therefore all replacement trees shall be of evergreen varieties which will better weather the conditions. (Informational 1)

The applicant shall replant the ten trees which were removed from the fuel station landscaped area. (Informational 2)

The applicant shall determine the number of existing shrubs, minus those being removed for the stormwater planter, versus the number of previous shrubs, available from the original approval for the fuel station and shall provide this number to the Planning Department. The shrubs which have been removed prior to this application shall be replaced on-site. (Informational 3)

Living plant materials shall cover a minimum of 70 percent of the required landscape area within 5 years of planting. (Condition 4.1)

Plants and trees shall be pocket-planted with a soil-compost blend to ensure healthy growth. (Condition 4.2)

B. Noxious Weeds shall be removed during site development and the planting of invasive or noxious weeds is prohibited.

The applicant has not proposed the planting of invasive or noxious weeds. This criterion is met.

10-34-3-4: Landscape Materials. Permitted landscape materials include trees, shrubs, ground cover plants, non-plant ground covers, existing native vegetation, outdoor hardscape features and storm water features, as described below.

A. Plant Selection. A combination of deciduous and evergreen trees, shrubs, and ground covers shall be used, consistent with the purpose of this Chapter. A suggested Tree and Plant List for the City of Florence and the Sunset Western Garden Book are available at City Hall. The selection of plant and tree species shall be based upon site conditions such as wind and sun exposure, space limitations, water availability, and drainage conditions. The use of indigenous plants is encouraged, and may be required where exposure, slope or soil conditions warrant.

1. Ground Cover. Ground cover may consist of separate plants or mowed grass turf. Ground cover plant species shall meet the following minimum standards: plants from 4-inch pots shall be spaced a maximum of 18 inches measured on center, and 1-2 gallon size plants shall be spaced a maximum of 3 feet measured on center.

2. Shrubs. Shrub plant species shall be planted from 3 gallon containers unless otherwise specified in the Tree and Plant List for the City of Florence.

3. **Trees.** Evergreen and deciduous tree species shall meet the following minimum standards: deciduous trees shall be a minimum of 1 ¾ inch caliper (diameter) measured 6 inches above grade, and evergreen trees shall be a minimum of 5 feet tall (Nursery Grade 5/6).
4. **Non-plant Ground Covers.** Bark dust, chips, aggregate, or other non-plant ground covers may be used. Non-plant ground cover located adjacent to pedestrian ways shall be confined to the material within the planting bed to avoid safety hazards by edging 4 inches above-grade or recessing from grade. Non-plant ground covers cannot be a substitute for ground cover plants.

The applicant has selected plants from the Tree and Plant List for the City of Florence or other plants which are well suited to the Florence climate. Plantings are at least the minimum required size for the trees and shrubs proposed. Ground cover has been selected which meets the needs of the storm water facility proposed. These criteria are met.

- D. Storm Water Facilities.** Storm water facilities, such as detention/retention ponds and swales shall be landscaped. Landscaped bio-swales are encouraged and shall count toward meeting the landscaping requirement of this section if they are designed and constructed in accordance with the standards specified in Title 9 Chapter 5, and approved by the Public Works Department. Storm water facilities shall be landscaped with water-tolerant, native plants.

The applicant has proposed a vegetated storm water facility for the fuel station. The plantings selected for the stormwater facility are all approved plantings or have qualities which would allow them to withstand the very damp conditions present in a rain garden.

10-34-3-5: Irrigation. Permanent, underground irrigation is required for all landscaping, except existing native vegetation that is preserved in accordance with the specifications of Section 10-34-2-2 and new drought tolerant plants which must have temporary irrigation for plant establishment. All irrigation systems require an irrigation permit and shall be installed with a backflow prevention device per FCC 9-2-3-5.

The applicant has not stated whether or not irrigation will be provided to the stormwater planter.

The applicant shall provide a statement regarding the presence of irrigation or the installation of drought tolerant plants with temporary irrigation for plant establishment. (Condition 4.3)

10-34-3-7: Buffering and Screening. Buffering and screening are required under the conditions listed below. Walls, fences, and hedges shall comply with

the vision clearance requirements and provide for pedestrian circulation, in accordance with FCC 10-35-2-13. (See Section 10-34-5 for standards specific to fences and walls.)

- A. **Parking/Maneuvering Area Adjacent to Streets and Drives.** Where a parking or maneuvering area is adjacent and parallel to a street or driveway, a berm; an evergreen hedge; decorative wall (masonry or similar quality material) with openings; arcade; trellis; or similar partially opaque structure 3-4 feet in height shall be established between street and driveway or parking area. See also FCC 10-3-8-D for standards specific to parking lots adjacent to the street. The required screening shall have breaks or portals to allow visibility (natural surveillance) into the site and to allow pedestrian access to any adjoining walkways. Hedges used to comply with this standard shall be a minimum of 36 inches in height at maturity, and shall be of such species, number, and spacing to provide year-round screening within five (5) years after planting. Vegetative ground cover is required on all surfaces between the wall/hedge and the street/driveway line.

The applicant does not currently meet this code. The original berm approved in 2001 was removed sometime after 2012. Enforcement action taken is separate to those in this approval and those measures are included as Informational items.

TITLE 9: CHAPTER 5: STORMWATER MANAGEMENT

9-5-2: DRAINAGE PLAN SUBMITTAL REQUIREMENTS:

9-5-2-1: GENERAL:

- A. **A Drainage Plan is required for all development, except as provided in FCC 9-5-2-4. Submittal requirements are tailored to the size and impacts of the development. The submittal requirements are specified in the Stormwater Manual.**
- B. **A registered Professional Engineer licensed by the State of Oregon shall prepare, certify, and seal the Drainage Plan whenever a Professional Engineer is required in the Stormwater Manual or state law. Furthermore, prior to land disturbing activity, the developer for the land disturbing activity shall certify that the proposed activities will be accomplished pursuant to the approved plan.**
- C. **If a land use approval is required, the Drainage Plan shall be submitted and approved as part of the land use approval process. If no land use approval is required, the Drainage Plan shall be submitted as part of the application for a construction or facility permit.**

The applicant has provided a drainage plan prepared by a Professional Engineer for the segment of the fuel station for which they are modifying.

9-5-3: STORMWATER DESIGN CRITERIA:

9-5-3-1: GENERAL:

- A. The criteria in Section 9-5-3 shall be used in the design of public and private stormwater drainage and management systems. Stormwater management facilities shall be constructed in accordance with the Stormwater Manual: the 2008 Portland Stormwater Management Manual, as superseded by the December 2010 City of Florence Stormwater Design Manual; and the 2008 City of Portland Erosion and Sediment Control Manual.**

- A. A 25-year, return period storm shall be used for the design of all private and public stormwater drainage systems.**

- B. Onsite stormwater management facilities shall be required to prevent the post-development runoff rates from a project site from exceeding the pre-development runoff rates from the site, based on a 2 through 25-year storm. Exemptions to this requirement may be approved by the City Manager or his/her designee if it is determined that a more effective solution is available and that downstream capacity will accommodate the increase in flow.**

The applicant has proposed that the stormwater facility will handle a 25-year storm event through the use of the Simplified Approach. The simplified approach is appropriate for projects which will accept less than 0.5 acres of impervious surface area. The entire site of the fuel station is 0.67 acres. The proposed system will accept stormwater from less than half of this area.

The applicant has proposed that the stormwater planter will accept drainage through an oil/water separator for pre-treatment for an area no larger than 4,000 square feet. A managed area of impervious surface of this size requires 240 square feet of planter area. The applicant has proposed a 240 square foot planter.

The applicant has also proposed vegetation for this planter which includes 10 small shrubs (swamp rose) and 240 herbaceous plants (yellow-eyed grass, soft rush, slough sedge, and tufted hair grass). A stormwater planter of this size requires 10 shrubs and 240 herbaceous plants. The species of shrubs and herbaceous plants proposed meet those which work well within a wet-to-saturated environment like that which has been proposed. This proposal meets the standards provided.

9-5-4: MAINTENANCE RESPONSIBILITY:

9-5-4-2: PRIVATE FACILITIES:

- A. Private stormwater facilities must be maintained in accordance with the Operations and Maintenance Plan approved as part of the Drainage Plan. The Operations and Maintenance Agreement will be recorded with the Lane County Deeds and Records Office. The Stormwater Manual contains the Operations and Maintenance Agreement Form to be used. A log of all maintenance activity shall be kept by the owner and made available to the City upon request. The City may, at its option, inspect the facilities for compliance with the requirements. If a property owner fails to maintain their facilities, the City may issue a written notice specifying the required actions. If corrective actions are not completed in a timely manner, the City may pursue legal remedies to enforce the provisions of the Operations and Maintenance Plan. The City will only enter the property to perform the required corrections if the public's health and public property are in imminent danger. In this situation, reasonable attempts will be made to contact the property owner(s), but a written notice may not be required. The property owner(s) will be billed for City incurred expense.**
- B. The Maintenance Agreement shall provide that upon notification by the City of any violation, deficiency or failure to comply with the agreement or this Code, corrections shall be completed within ten (10) days after notice thereof. Thereafter the City may pursue legal action to enforce the provisions of the agreement. In an emergency situation, the City may provide for all necessary work to place the facility in proper working conditions. The persons specified as responsible for maintenance in the Maintenance Agreement shall be charged the costs of the work performed by the City or its agents.**

An Operations and Maintenance Agreement Form shall be submitted to the Planning Department prior to final approval of Building and Public Works permitting. (Condition 5.1)

9-5-6: CONSTRUCTION AND INSPECTION:

9-5-6-1: CONSTRUCTION:

- A. Prior to the construction of, or modification to any public stormwater facility, a letter of commitment along with a performance bond or cash deposit in form and substance satisfactory to the City shall be submitted by the owner or his agent as a performance assurance for such work. The amount of the performance assurance shall be the sum necessary to construct the public stormwater facility improvements. The performance assurance shall remain in effect until released by the City. A final inspection shall be conducted by the City upon completion of the work included in the approved Site Stormwater Management Plan or Drainage Plan to determine if the completed work is constructed in accordance with the plan(s). At a minimum, all of the following must be complete prior to release of the performance assurance:**

1. **Construction is completed on all public improvements required for the stormwater drainage and management system to operate. Each component of the stormwater system must have been inspected and accepted by the City, including all compaction, pipeline video inspections, and plastic pipe deflection testing.**
2. **The City has inspected and accepted the public improvements and the owner has submitted a maintenance assurance (letter of commitment, maintenance bond, or cash deposit, as approved by the City Manager or his/her designee). The amount of the maintenance assurance shall be for ten (10) percent of the cost of construction of the public improvements, excluding the cost of landscaping. The assurance shall be for a period of not less than one year from the date of completion of construction.**
3. **For projects with landscaping, the landscaping has been installed and accepted by the City. A two-year landscaping maintenance assurance has been submitted and accepted by the City. The amount of the assurance shall be fifty (50) percent of the cost of construction of the landscaping features.**
4. **All onsite and off-site easements as required by the City are granted to the City and recorded with the Lane County Deeds and Records Office.**
5. **The post construction erosion control is completed.**
6. **All required record drawings are submitted.**

The applicant shall submit the required and/or any materials deemed appropriate by the Public Works Director, including a performance bond or cash deposit, if deemed necessary prior to the beginning of construction. (Condition 5.2)

9-5-6-2: INSPECTION:

- A. **A City representative shall inspect the stormwater project as necessary and shall check materials, equipment, and the construction of the project to determine whether the work is proceeding in accordance with the approved plans and the requirements of this Code. The purpose of these inspections is to monitor compliance with City construction standards and the inspections are for the benefit of the City. The City does not provide the primary inspection for the project, and only provides a level of inspection necessary to monitor the quality of work being performed by others. The City's role in making inspections is not supervisory and the City has no responsibility, by virtue of such inspections, for any construction means or methods or compliance with safety requirements that remain the responsibility of the Contractor.**

The proposed stormwater facility shall be inspected prior to completion of the project in order to ensure compliance with City standards. (Condition 5.3)

VI. Conclusion:

Staff finds the application, as presented meets or can meet applicable City codes and requirements, provided that the following conditions of approval are met:

Conditions of Approval:

1. Approval shall be shown on:

"A" Findings of Fact
"B" Land Use Application & Supplemental Information
"C" Site Plan & Landscaping Plan
"D" Site Images (2012 & 2015)
"E" Resolution 01-04-10-11 Approved Landscaping Plan

Findings of Fact attached as Exhibit "A" are incorporated by reference and adopted in support of this decision. **Any modifications to the approved plans** or changes of use, except those changes relating to the structural integrity or ADA access which are regulated by Building Codes, will require approval by the Community Development Director or Planning Commission/Design Review Board.

2. Regardless of the content of material presented for this approval, including application text and exhibits, staff reports, testimony and/or discussions, the property owner/applicant agree to comply with all regulations and requirements of the Florence City Code which are current on this date, EXCEPT where variance or deviation from such regulations and requirements has been specifically approved by formal action as documented by the records of this decision and/or the associated Conditions of Approval. The property owner and applicant shall submit to the Community Development Department a signed "Agreement of Acceptance" of all conditions of approval prior to issuance of building permits.
3. **Landscaping Plan**
 - 3.1. The applicant shall provide an accurate landscape plan which demonstrates the current on-site conditions and the proposed stormwater planter prior to commencement of work.
 - 3.2. The applicant shall provide the number and species of plants being removed prior to commencement of work.

4. Required Landscaping

- 4.1. Living plant materials shall cover a minimum of 70 percent of the required landscape area within 5 years of planting.
- 4.2. Plants and trees shall be pocket-planted with a soil-compost blend to ensure healthy growth.
- 4.3. The applicant shall provide a statement regarding the presence of irrigation or the installation of drought tolerant plants with temporary irrigation for plant establishment.

5. Stormwater Permitting and Maintenance

- 5.1. An Operations and Maintenance Agreement Form shall be submitted to the Planning Department prior to final approval of Building and Public Works permitting.
- 5.2. The applicant shall submit the required and/or any materials deemed appropriate by the Public Works Director, including a performance bond or cash deposit, if deemed necessary prior to the beginning of construction.
- 5.3. The proposed stormwater facility shall be inspected prior to completion of the project in order to ensure compliance with City standards.

Informational

1. All replacement trees shall be required to be of evergreen varieties which will better weather the conditions.
2. The applicant shall be required replant the ten trees which were removed from the fuel station landscaped area.
3. The applicant shall be required determine the number of existing shrubs, minus those being removed for the stormwater planter, versus the number of previous shrubs, available from the original approval for the fuel station and shall provide this number to the Planning Department. The shrubs which have been removed prior to this application shall be replaced on-site.
4. Building permit review will be required for this project. Stormwater facility permitting is required through the Public Works Department.

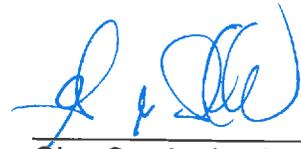
VII. EXHIBITS

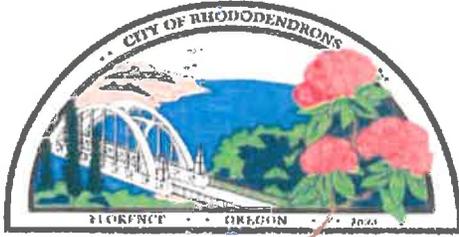
- A. Findings of Fact
- B. Land Use Application & Supplemental Information

- C. Site Plan & Landscaping Plan
- D. Site Images (2012 & 2015)
- E. Resolution 01-04-10-11 Approved Landscaping Plan

APPROVED BY THE COMMUNITY DEVELOPMENT DEPARTMENT, this
7TH day of NOVEMBER, 2016.


Wendy Farley Campbell
Planning Director


Glen Southerland
Assistant Planner



City of Florence
Community Development Department
250 Highway 101
Florence, OR 97439
Phone: (541) 997 - 8237
Fax: (541) 997 - 4109
www.ci.florence.or.us

Type of Request

Landscape Modification

Vegetation Clearing Permit

Applicant Information

Name: Fred Meyer Stores, Inc. c/o Barghausen Engrs.

Phone 1: (425) 251-6222

E-mail Address: jhowitt@barghausen.com

Phone 2: _____

Address: 18215 72nd Ave. S., Kent, WA 98032

Signature: _____

Date: _____

Applicant's Representative (if any): Joel A. Howitt

Property Owner Information

Name: Fred Meyer Stores, Inc., attn: Dan Hermann

Phone 1: 503.797.3512

E-mail Address: daniel.hermann@fredmeyer.com

Phone 2: _____

Address: 3800 SE 22nd Ave., Portland, OR 97202

Signature: *Daniel Hermann*

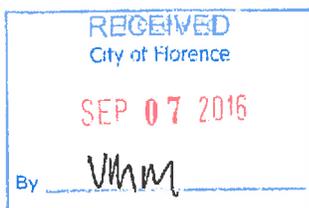
Date: Sept. 2, 2016

Applicant's Representative (if any): _____

NOTE: If applicant and property owner are not the same individual, a signed letter of authorization from the property owner which allows the applicant to act as the agent for the property owner must be submitted to the City along with this application. The property owner agrees to allow the Planning Staff and the Planning Commission onto the property. Please inform Planning Staff if prior notification or special arrangements are necessary.

A vegetation clearing permit shall expire six months following approval.

For Office Use Only:



Approved
APPROVED
City of Florence
Community Development
Department
"B"
Exhibit
AR 1619 MOD 01
File Number

Exhibit

Exhibit B

Property Description

Property Address: 4701 Highway 101

General Location (example: City Hall is at the SE corner of 2nd and Highway 101):
NWC Highway 101 and Oak Street

Assessor's Map and Tax Lot: APN#: 1646957

Lot Size: 10.24 AC Zoning District: North Commercial

Describe the conditions and land uses of all land within 600 feet from the proposed site that is one acre or larger and within 100 feet the site that is less than an acre OR attach a map:
The site is located in the North Commercial zone along Highway 101. The surrounding uses to the north, south and east are commercial. The area to the west is open space and sand dunes.

Additional Information Required

The below is check list of the required information to determine an application complete. Florence City Code (FCC) references are provided for your convenience. FCC is available at City Hall or on-line at www.ci.florence.or.us under "City Government", click on "City Code".

FCC Title 10, Chapter 1 states that staff has 30 days to review the application for completion. A written notice explaining application deficiencies or acknowledging a complete application will be provided to the applicant and/or representative. Please be aware that the applicant has the burden of proof to show how the project meets the applicable criteria as (refer to FCC 2-10-6). If you have questions, contact the Planning Department at 541-997-8237.

Plot Plan (per FCC 10-6-6-A) – drawn to scale showing dimensions, trees and native vegetation to be removed or placed, property boundaries, existing and/or proposed buildings, existing and/or proposed roads and sidewalks, easements, parking lot, locations of entrances and exits, significant grade changes, and natural features (such as streams, wetlands, sand dunes)

Stormwater: (only one applies) meeting design requirements outlined in FCC 9-5-3:

Preliminary Development Plan (per FCC 9-5-2-A-4): (projects which are clearing 10,000 square feet or greater and under 1 acre per FCC 9-5-2-2-C) Shall include a general description of the proposed project property and description of existing structures, buildings, and other fixed improvements located on the property and surrounding properties. The plan shall also include natural water flow of the existing property, soils, storm water drainage, flooding from high groundwater table. The Plan also shall identify the features outlined in FCC 9-5-2-A-4.

A Stormwater Management Plan (per FCC 9-5-2-3): Stormwater Management Plan is required for projects over 1 acre is required, please refer to FCC 9-5-2-3 for submittal requirements.

Pad

Date Submitted: _____ Fee: _____

Received by: _____



September 6, 2016
FEDEX DELIVERY
(541) 997-8237

Glen Southerland
Assistant Planner
City of Florence
250 Highway 101
Florence, OR 97439

RE: **Landscape Modification Application**
Fred Meyer Fuel Center
4701 Highway 101, Florence, Oregon 97439
Fred Meyer Store No. 464 / Our Job No. 7863

Dear Glen:

On behalf of our client Fred Meyer Stores, Inc., Barghausen Consulting Engineers, Inc. is submitting a Landscape Modification Application to relocate an existing oil/water separator and construct a new vegetated water quality swale at the location referenced above. Enclosed for your review are the following:

1. One (1) signed Landscape Modification Application
2. One (1) check for \$200.00 made payable to the City of Florence for the review fees
3. Two (2) sets of full-size (24- by 36-inch) and reduced size (11- by 17-inch) plans including a Site Improvement Plan and Landscape Plan

Should you have questions or require additional information, please contact me directly via telephone at (425) 656-1073 or via email at jhowitt@barghausen.com. Thank you for your prompt attention to this request. I look forward to your reply.

Sincerely,

Joel A. Howitt
Project Planner

JAH/dm
7863c.025.doc
enc: As Noted
cc: Daniel Hermann, Fred Meyer Stores, Inc. (w/enc)
Jay S. Grubb, Barghausen Consulting Engineers, Inc.
Chris S. Ferko, Barghausen Consulting Engineers, Inc.
Jason G. Hubbell, Barghausen Consulting Engineers, Inc.

4. DESIGN STANDARDS AND METHODOLOGY

4.1 Overview

Stormwater Management in Florence relies primarily on rain gardens, vegetated swales, stormwater planters, porous pavements, and filter strips. All of these techniques retain stormwater close to its source, helping to mimic natural pre-development hydrology. All designs shall be structured to meet the following objectives.

Design Objectives:

- 1. Assemble an informed Project team**
- 2. Maximize onsite retention/minimize offsite discharges**
- 3. Minimize impervious area**
- 4. Integrate Stormwater into Overall Design**

10 steps to the Process:

- 1. Evaluate the Site**
- 2. Confirm Current Requirements**
- 3. Characterize Site Drainage Area and Runoff**
- 4. Determine Source Control Requirements (See Chapter 7)**
- 5. Develop Conceptual Design**
- 6. Develop Landscape Plan**
- 7. Complete Stormwater Management Plan**
- 8. Prepare Operation and Maintenance Plan**
- 9. Submit Final Plans and Obtain Permits**
- 10. Construct and Inspect**

For detailed information regarding the stormwater design process refer to **Section 2.1** of the **Portland SWMM**.

4.2 Design Methods

The site plans and reports specified in this section meet the requirements for a Drainage Plan in Florence City Code Title 9 Chapter 5. Applicants must select **one** of the following approaches. Each approach has a unique plan review and approval process that establishes a permit track for the project. The final selection of a project design approach is subject to City approval. For every application, the impervious area should include the **total** proposed impervious area, including all streets, tentative driveways plans, redeveloped areas, and tentative building footprints, based on the allowed building coverages and setbacks per the zoning code.

The **Simplified Approach** is available for projects with less than 0.5 acre of total new or redeveloped impervious area, including but not limited to roofs, patios, parking areas, and driveways. This approach is most appropriate for private, small-scale residential development,

CITY OF FLORENCE: SIMPLIFIED APPROACH FORM



Date: _____

Permit Number: _____

If total impervious area for submitted development proposal is less than 0.5 acre, the Simplified Approach form may be used for sizing stormwater facilities. If total impervious area for submitted development proposal is equal to or greater than 0.5 acre or includes public or private street improvements, the Presumptive or Performance Approach must be used and a Stormwater Management Report will be required. For more information, refer to the 2010 City of Florence Stormwater Design Manual Chapter 4.

Site Information

1. Site Address:
2. State Property ID (R number):
3. Brief Description of Proposed Development:

4. Total Amount of Impervious Area (New and/or Redeveloped):

Site Evaluation

Please refer to Stormwater Design Manual (SWMM) References and Resources section for site evaluation maps (including soil Types and groundwater).

S1. NRCS Soil Types: _____ (<http://websoilsurvey.nrcs.usda.gov>)

S2. Is there a known or suspected high groundwater table in the project area? yes no
 If a site contains seasonal ponding or contains shallow groundwater soil types (53 – Heceta Fine Sand, 140 – Yaquina loamy fine sand, 141 Yaquina urban Land complex), a Partial Infiltration Facility with underdrains should be installed if feasible) ad an overflow provide to an approved disposal point.

Please Note: Each individual tax lot is required to manage the stormwater it generates on the same lot to the maximum extent feasible. If the proposal is unable to meet this requirement, the applicant must submit a special circumstance request.

Applicants must provide surface infiltration facility with overflow to an approved discharge point. Drywells may be used for overflow in areas with a minimum of 10’ depth to groundwater but must be registered with DEQ as Underground Injection Control UIC (for more information refer to DEQ) Projects that infiltrate roof runoff with private soakage trenches or drywells are not required to provide pollution reduction prior to infiltration. This exemption does not apply to projects that discharge stormwater offsite. Single-family residential (up to three units) roofs and footing drains are excluded from UIC registration.

Facility Sizing Worksheet Instructions

All facilities sized with this form are presumed to comply with the City’s pollution and flow control requirements. Infiltration and discharge requirements are site specific and approved with the use of this form.

1. Enter square footage (sf) of total impervious area being developed on Line 1.
2. Enter square footage (sf) for impervious area reduction (pervious pavement).
3. Enter sum of the impervious area reduction techniques on Line 2.
4. Subtract Line 1 from Line 2 to find Line 3, the amount of impervious area that requires stormwater management.
5. Select appropriate stormwater management facility.

6. Enter the square footage of impervious area managed that will flow into each facility type.
7. Check whether the planter, swale, basins, and filter strips are flow-through facilities.
8. Multiply each impervious area managed by the corresponding sizing factor. Enter this area as the facility surface area, which is the required size to manage the runoff.
9. Where selecting facilities that will overflow, select the final discharge location.
10. Enter the sum of the total of all the impervious area managed on Line 4. The value in Line 4 must be greater than or equal to Line 3.

Facility Sizing Worksheet

Line 1

Total impervious area being developed or redeveloped: _____ SF

Impervious Area Reduction:

Pervious Concrete _____ Sf

Permeable Pavers _____ Sf

Line 2

Total Impervious Area Reduction: _____

Total impervious area requiring stormwater management:

Line 3

(Line 1 – Line 2)

Surface Facilities

<i>Subsurface Facilities</i>	<i>Impervious Area Managed</i>		<i>Sizing Factor</i>		<i>Facility Surface Area</i>
Rain Garden	4,000 sf	x	0.06	=	240 sf
Planter	4,000 sf	x	0.06	=	240 sf
Swale	4,000 sf	x	0.09	=	360 sf
Vegetated Filter Strip	4,000 sf	x	0.20	=	800 sf

* Overflow will be directed to (check all that apply)

Subsurface facility _____ Surface Water _____ Storm Sewer _____

Subsurface Facilities

The following subsurface facilities can receive overflow from the facilities listed above or can be used independently to manage stormwater from residential roofs. If stormwater is generated from anything other than residential roofs, the facilities must have pretreatment. All subsurface facilities are subject to the UIC (Underground Injection Control) requirements.

Drywell _____ sf Diameter _____ Depth _____

Soakage Trench _____ sf Length _____ Width _____

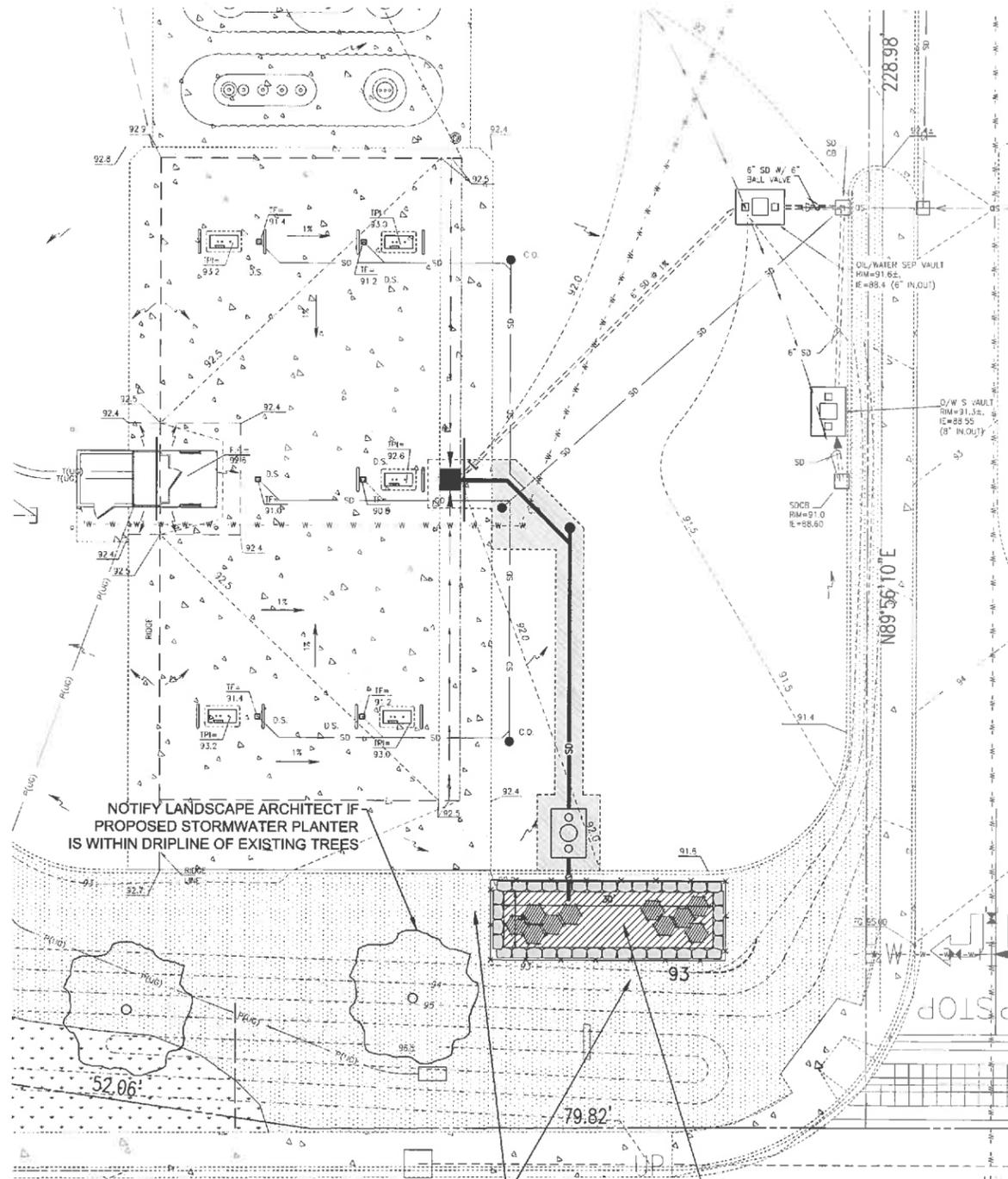
Line 4

Sum of Total Impervious Area Managed: _____

Note:

In the event the stormwater facility temporarily fails or rainfall exceeds the facility design capacity, describe where flows will drain to in order to maintain public safety and avoid property damage. Depending on site conditions, this may include storage in an overflow structure, parking lot, street, or landscaped area.

LANDSCAPE PLAN



PLANT SCHEDULE

SYMBOL	BOTANICAL / COMMON NAMES	SIZE	QUANTITY	REMARKS
	SMALL SHRUBS: ROSA GYMNOCARPA / SWAMP ROSE	1 GALLON CONTAINER	10	FULL AND MATCHING
	HERBACEOUS PLANTS: SISYRINCHIUM CALIFORNICUM / YELLOW-EYED GRASS JUNCUS EFFUSUS var. PACIFICUS / SOFT RUSH CAREX OBNUPTA / SLOUGH SEDGE DESCHAMPSIA CAESPITOSA / TUFTED HAIR GRASS	1 GALLON CONTAINER	240 TOTAL	PLANT 12" ON-CENTER, 60 FROM EACH SPECIES LISTED. PLANT IN GROUPS OF 5 OF EACH SPECIES
	EXISTING LANDSCAPE TO REMAIN			
	EXISTING LAWN TO REMAIN			
	EXISTING DECIDUOUS TREE TO REMAIN. PROTECT DURING CONSTRUCTION ACTIVITIES			
	EXISTING EVERGREEN TREE TO REMAIN. PROTECT DURING CONSTRUCTION ACTIVITIES			

LANDSCAPE PLANTING NOTES AND MATERIALS

SEE FRED MEYER/KROGER LANDSCAPE SPECIFICATIONS SECTION 329000 FOR ADDITIONAL INFORMATION. WHERE CONFLICTS EXIST BETWEEN THE NOTES AND THE STANDARD KROGER SPECIFICATIONS, THE STANDARD FRED MEYER/KROGER SPECIFICATIONS SHALL SUPERSEDE.

SCOPE OF WORK:
LANDSCAPE CONTRACTOR TO COORDINATE WITH GENERAL CONTRACTOR:

- A. SUB-GRADE DEPTHS IN STORMWATER PLANTER.
- B. RETAINING WALL SURROUNDING STORMWATER PLANTER.
- C. DRAINAGE, AND
- D. FENCE SURROUNDING STORMWATER PLANTER

FURNISH ALL MATERIALS, LABOR, EQUIPMENT AND RELATED ITEMS NECESSARY TO ACCOMPLISH TOPSOIL, TREATMENT AND PREPARATION OF SOIL, FINISH GRADING, PLACEMENT OF SPECIFIED PLANT MATERIALS, FERTILIZER, STAKING, MULCH, CLEAN-UP, DEBRIS REMOVAL, AND 90-DAY MAINTENANCE.

QUALIFICATIONS:
LANDSCAPE CONTRACTOR TO BE SKILLED AND KNOWLEDGEABLE IN THE FIELD OF WORK AND HAVE A MINIMUM OF FIVE (5) YEAR'S EXPERIENCE INSTALLING SIMILAR WORK. CONTRACTOR TO BE LICENSED TO PERFORM THE WORK SPECIFIED WITHIN THE PRESIDING JURISDICTION.

JOB CONDITIONS:
IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW THE SITE AND REPORT ANY DISCREPANCIES TO THE OWNER OR THE OWNER'S REPRESENTATIVES. ALL PLANT MATERIAL AND FINISH GRADES ARE SUBJECT TO APPROVAL BY THE OWNER.

PROTECTION:
SAVE AND PROTECT ALL EXISTING PLANTINGS SHOWN TO REMAIN. DO NOT PLANT UNTIL OTHER CONSTRUCTION OPERATIONS WHICH CONFLICT HAVE BEEN COMPLETED. IF AN IRRIGATION SYSTEM IS TO BE INSTALLED DO NOT PLANT UNTIL THE SYSTEM HAS BEEN INSTALLED, TESTED, AND APPROVED BY THE OWNER. HANDLE PLANTS WITH CARE - DO NOT DAMAGE OR BREAK ROOT SYSTEM, BARK, OR BRANCHES. REPAIR AND/OR REPLACE ITEMS DAMAGED AS A RESULT OF WORK, OR WORK NOT IN COMPLIANCE WITH PLANS AND SPECIFICATIONS, AS DIRECTED BY OWNER AT NO ADDITIONAL COST TO THE OWNER.

REPAIR OF EXISTING PLANTINGS:
DURING THE COURSE OF WORK, REPAIR ALL EXISTING PLANTING AREAS BY PRUNING DEAD GROWTH, RE-ESTABLISHING FINISH GRADE AND RE-MULCHING TO SPECIFIED DEPTH.

REPAIR OF IRRIGATION SYSTEM:
DURING THE COURSE OF WORK, REPAIR ANY DAMAGE TO THE IRRIGATION SYSTEM TO MATCH CONDITIONS PRIOR TO THE DAMAGE.

GUARANTEE:
GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF 12 MONTHS FROM DATE OF STORE OPENING OR FINAL PROJECT ACCEPTANCE, WHICHEVER IS LONGER.

SUBMITTALS:
SEE 329000 SECTION 1.3 FOR SUBMITTALS REQUIREMENTS.

MATERIALS:
PLANT MATERIALS:
PLANT MATERIALS TO BE GRADE NO. 1, SIZED IN ACCORDANCE WITH (AAS) AMERICAN STANDARDS FOR NURSERY STOCK (ANSI Z60.1-2004). PRUNE PLANTS RECEIVED FROM THE NURSERY ONLY UPON AUTHORIZATION BY THE LANDSCAPE ARCHITECT. "B" & "B" INDICATES BALLED AND BURLAPPED; "CONT." INDICATES CONTAINER; "BR" INDICATES BARE ROOT; "CAL" INDICATES CALIPER AT 6" ABOVE SOIL LINE; "GAL" INDICATES GALLON.

- A) SPECIFIED PLANT CANOPY SIZE OR CALIPER IS THE MINIMUM ACCEPTABLE CONTAINER OR BALL SIZE AND ESTABLISHES MINIMUM PLANT CONDITION TO BE PROVIDED.
- B) QUALITY:
PLANT MATERIAL TO COMPLY WITH STATE AND FEDERAL LAWS FOR DISEASE INSPECTION, PLANTS TO BE FULLY LIVE, VIGOROUS, WELL FORMED, WITH WELL DEVELOPED FIBROUS ROOT SYSTEMS. ROOT BALLS OF PLANTS TO BE SOLID AND FIRMLY HELD TOGETHER, SECURELY CONTAINED AND PROTECTED FROM INJURY AND DESICCATION. PLANTS DETERMINED BY LANDSCAPE ARCHITECT TO HAVE BEEN DAMAGED; HAVE DEFORMITIES OF STEM, BRANCHES, OR ROOTS; LACK SYMMETRY, HAVE MULTIPLE LEADERS OR "Y" CROTCHES LESS THAN 30 DEGREES IN TREES, OR DO NOT MEET SIZE OR ANSI STANDARDS WILL BE REJECTED. PLANT MATERIAL TO BE FROM A SINGLE NURSERY SOURCE FOR EACH SPECIFIED SPECIES/HYBRID. NURSERY SOURCES TO BE THOSE LOCATED IN THE SAME REGION AS THE JOB SITE.
- C) SUBSTITUTION:
NO SUBSTITUTION OF PLANT MATERIAL, SPECIES OR VARIETY, WILL BE PERMITTED UNLESS WRITTEN EVIDENCE IS SUBMITTED TO THE OWNER FROM TWO QUALIFIED PLANT BROKERAGE OFFICES. SUBSTITUTIONS WHICH ARE PERMITTED TO BE IN WRITING FROM THE OWNER AND LANDSCAPE ARCHITECT. THE SPECIFIED SIZE, SPECIES AND NEAREST VARIETY, AS APPROVED, TO BE FURNISHED. SUBSTITUTIONS MAY REQUIRE SUBMITTAL TO REVISED LANDSCAPE PLAN TO CITY FOR APPROVAL.

SOIL PREPARATION FOR STORMWATER PLANTER:
SEE CIVIL SET FOR STORMWATER PLANTER DETAIL. SEE CITY OF FLORENCE, OREGON, STORMWATER DESIGN MANUAL, APPENDIX B, FOR GROWING MEDIUM SPECIFICATION

MULCH (TOPDRESSING):
ORGANIC COMPOST

EXECUTION:
CONTAMINANTS:
VERIFY THAT ALL SOIL CONTAMINANTS (E.G., PAINT, SEALANTS, SOLVENTS, OILS, GREASES, CONCRETE/ASPHALT SPOILS, ETC.) HAVE BEEN SATISFACTORILY REMOVED FROM ALL PLANTING AREAS. DO NOT BEGIN WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED.

FINISH GRADES:
FINE GRADE AND REMOVE ROCKS, DEBRIS, AND FOREIGN OBJECTS OVER 2 INCHES DIAMETER FROM TOP SURFACE OF PREPARED LANDSCAPE AREAS. FINISH ELEVATIONS TO BE DEFINED AS 3 INCHES BELOW CURBS, WALKS AND/OR OTHER ADJACENT HARDSCAPE FOR ALL PLANTING BED AREAS. FINISH GRADE REFER TO GRADES PRIOR TO INSTALLATION OF MULCH. ALL FINISH GRADES TO BE SMOOTH EVEN GRADES, LIGHTLY COMPACTED, AS SHOWN ON THE PLAN AND DETAILED. PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS AND STRUCTURES. SITE CIVIL DRAWINGS IDENTIFY FINAL ELEVATIONS, MOISTEN PREPARED AREAS BEFORE PLANTING IF SOIL IS DRY. WATER THOROUGHLY AND ALLOW SURFACE TO DRY BEFORE PLANTING. DO NOT CREATE MUDDY SOIL.

TREES AND SHRUBS:
ARRANGE TREES AND SHRUBS ON SITE IN PROPOSED LOCATIONS PER DRAWINGS. EXCAVATE PIT, PLANT AND STAKE OR GUY, AS CALLED OUT AND DETAILED. ALL TREES, SHRUBS, AND SUPPORTS TO STAND VERTICAL. BACKFILL SHALL BE PIT SPOILS. SETTLE BACKFILL USING WATER ONLY. NO MECHANICAL COMPACTION.

GROUNDCOVERS:
EXCAVATE PITS TO A MINIMUM OF 3 INCHES BELOW, AND TWICE THE ROOT BALL DIAMETER. WATER THOROUGHLY AND TAKE CARE TO ENSURE THAT ROOT CROWN IS AT PROPER GRADE, AS DETAILED.

MULCH:
MULCH ALL NEW LANDSCAPE AREAS. APPLY SUFFICIENT QUANTITY TO PROVIDE A 2-INCH DEPTH OF ORGANIC COMPOST.

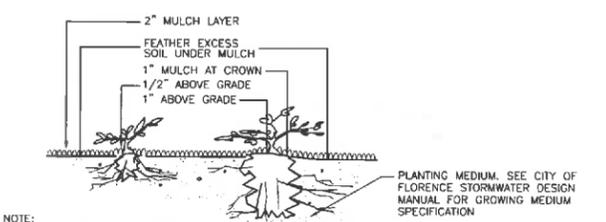
UTILITY CLEARANCES:
FIELD ADJUST PLANT LOCATIONS FOR 8-FOOT SEPARATION OF TREES/SHRUBS AND 2-FOOT SEPARATION FOR GROUNDCOVER FROM FIRE HYDRANTS AND UTILITY VAULTS.

CLEANUP AND PROTECTION:
DURING LANDSCAPE WORK, KEEP ALL PAVEMENT CLEAN AND WORK AREAS IN AN ORDERLY CONDITION. PROTECT LANDSCAPE WORK AND MATERIALS FROM DAMAGE DUE TO LANDSCAPE OPERATIONS AND TRESPASSERS. MAINTAIN PROTECTION DURING INSTALLATION AND MAINTENANCE PERIOD. TREAT, REPAIR, OR REPLACE DAMAGE LANDSCAPE WORK AS DIRECTED BY THE OWNER.

PLANTING MAINTENANCE:
PROVIDE FULL MAINTENANCE BY SKILLED EMPLOYEES OF LANDSCAPE INSTALLERS. CONTRACTOR TO MAINTAIN PLANTINGS THROUGH COMPLETED INSTALLATION, AND UNTIL ACCEPTANCE OF LANDSCAPE INSTALLATION. PLANTING MAINTENANCE TO INCLUDE WATERING, WEEDING, CULTIVATING, TIGHTENING AND REPAIRING OF TREE GUYS, RESETTling PLANTS TO PROPER GRADES OR POSITION, AND RE-ESTABLISHING SETTLED GRADES. HERBICIDE IS NOT RECOMMENDED FOR ONE YEAR FOLLOWING LANDSCAPE INSTALLATION. INCLUDED IS REPLACEMENT OF DEAD PLANTS AND PLANTS SHOWING LOSS OF 40 PERCENT OR MORE OF CANOPY.

IRRIGATION MAINTENANCE:
THE IRRIGATION SYSTEM TO BE MAINTAINED INCLUDING ADJUSTMENTS FOR BALANCED WATER DISTRIBUTION AND PRECIPITATION. FAILED OR MALFUNCTIONING IRRIGATION EQUIPMENT SHALL BE REPLACED AND/OR CORRECTED. PLANTING AND IRRIGATION MAINTENANCE TO INCLUDE THOSE OPERATIONS NECESSARY TO THE PROPER GROWTH AND SURVIVAL OF ALL PLANT MATERIALS. CONTRACTOR TO PROVIDE THIS WORK IN ADDITION TO SPECIFIC WARRANTY/GUARANTEES.

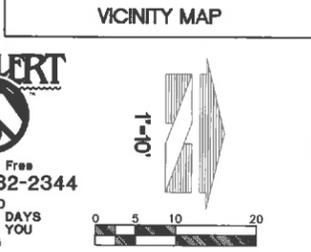
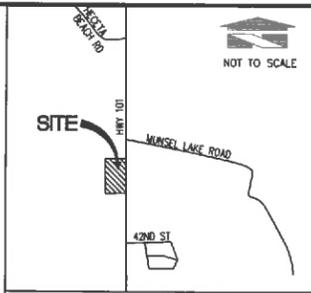
IRRIGATION:
NOTIFY OWNER AND LANDSCAPE ARCHITECT IN WRITING IF IRRIGATION DOES NOT EXIST WITHIN VICINITY OF PROJECT AREA SHOWN ON THIS SHEET.



NOTE:
REMOVE CONTAINER AND WORK ROOTS FREE OF SOIL.
BACKFILL TO BE SETTLED USING WATER ONLY.
SEE PLANT LIST FOR PLANT SPACING.

STORMWATER PLANTER - PLANTING DETAIL

NOT TO SCALE



DIG ALERT
Call Toll Free
1 (800) 332-2344
TWO WORKING DAYS BEFORE YOU DIG

BARGHAUSEN
CONSULTING ENGINEERS, INC.
18215 72ND AVENUE SOUTH
KENT, WA 98032
(425)251-6222 FAX
(425)251-8782 FAX
CIVIL, ENGINEERING, LAND PLANNING,
SURVEYING, ENVIRONMENTAL SERVICES

Fred Meyer

Kroger
The Kroger Co.
2000 W. 10th Ave.
Portland, OR 97202
Phone: (503) 237-8844
Fax: (503) 797-5881

REGISTERED
874
JEFFREY W. WALKLEY
LANDSCAPE ARCHITECT
19762013

NO.	DESCRIPTION	DATE
1	DESIGN	JUN 2016
2	PERMIT RELEASE	JUN 2016

Project #: 7863 Store #00464
Designed By: JMW
Drawn By: JMW
Checked By: JSD
Date: 2016.08.31
Scale:
Disk File:
Model:
Address: 4701 Highway 101
Florence, Oregon

LANDSCAPE PLAN
FRED MEYER
GAS STATION
Drawing No:
L-1 of 1

Date/Time: 8/27/2016 2:32 PM Scale: 1" = 1' JMW/XYL



Image from Google Streetview – August 2012

APPROVED
City of Florence
Community Development
Department
"D"
Exhibit

AR 16 14 Mod 01
File Number

Exhibit D

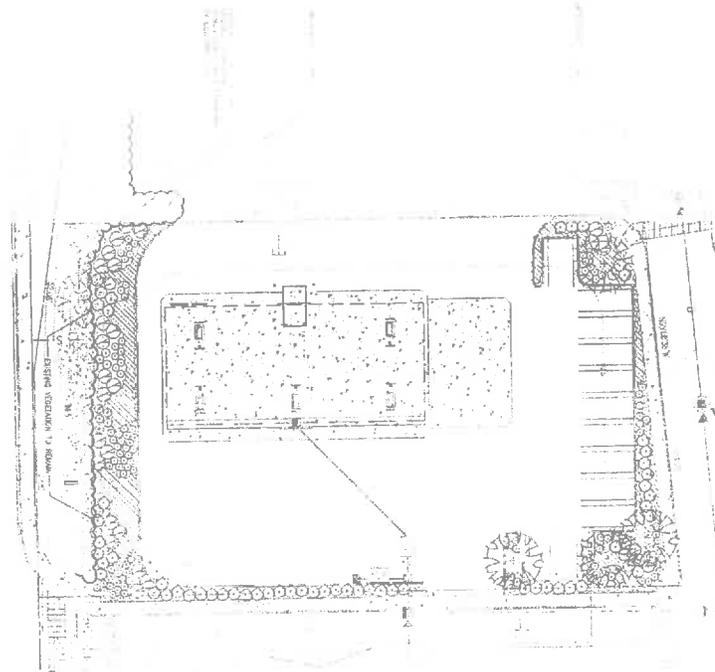


Image from Bing Streetside – May 2015



Image from Bing Bird's eye showing previous landscaping

PRELIMINARY LANDSCAPE PLANTING PLAN



HIGHWAY 101

PLANT LIST

SYMBOL	PLANT NAME	QUANTITY	NOTES
(Symbol)	Deciduous Tree (6' to 10' Height)	1	Plant in 10' x 10' grid
(Symbol)	Evergreen Tree (6' to 10' Height)	1	Plant in 10' x 10' grid
(Symbol)	Shrub	1	Plant in 10' x 10' grid
(Symbol)	Flower Bed	1	Plant in 10' x 10' grid

NOTE

* CONTRACTOR TO VERIFY ALL PLANTING MATERIALS SHALL BE CONNECTED TO THE CITY OF FLORENCE.

CALL BEFORE DIGGING
(907) 278-9121

DATE OF CONCEPT PLAN:
 THIS CONCEPT PLAN IS PRELIMINARY AND NOT TO BE USED FOR CONSTRUCTION. IT IS SUBJECT TO CHANGE WITHOUT NOTICE. THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF FLORENCE. THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF FLORENCE. THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF FLORENCE.



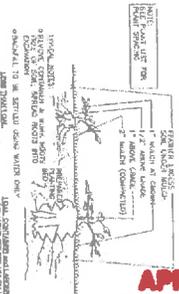
Deciduous Tree Detail
10' Grid @ 10'00" Grid of 20'00"



Evergreen Tree Planting (6' to 10' Height)



Groundcover Planting Detail



LANDSCAPE DATA

ITEM	QUANTITY	UNIT
Grading in Parking Lot Planters (Topsoil Prep)	1	Area

APPROVED
 City of Florence
 Community Development
 Department
 "E" Exhibit
 AQ 16 19 Mod 01
 File Number

REVISIONS

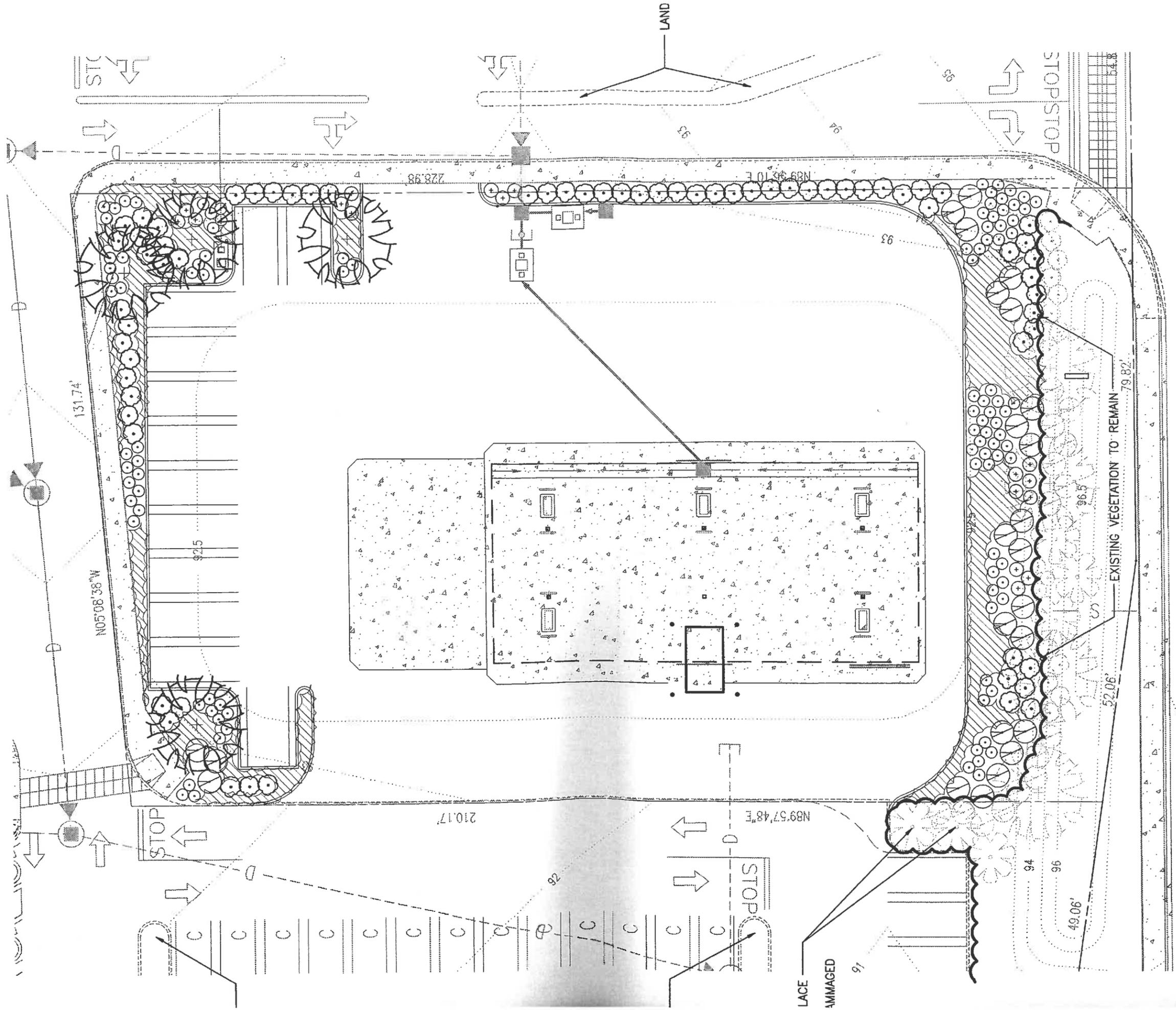
NO.	DESCRIPTION	DATE
1	REVISION	11/22/23

PROJECT NO. 2023-001
 DATE: 11/22/23
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 SCALE: AS SHOWN
 SHEET NO. 1 OF 1
 PROJECT TITLE: [Title]
 CLIENT: [Client Name]

The Kruger Co
 2982 Long Street, Suite 111
 Florence, SC 29505
 Phone: (803) 797-2222
 Fax: (803) 797-2222

18215 72ND AVENUE SUITE 1
 KENT, WA 98032
 (425) 226-6222
 (425) 226-6222 FAX
 ONE ENGINEERING AND PLANNING
 SOLUTIONS PROVIDERS SINCE 1965

Exhibit E



HIGHWAY 101

Evergreen Tree Planting (6' to 10' Height)

SCALE: NONE

SCALE: NONE

PLANT LIST

LANDSCAPE DATA

SYMBOL	NAME	SIZE CONDITION	SPACING	QUANTITY	REMARKS
	TREES: PRUNUS SERRULATA 'KWANZAN'/ KWANZAN CHERRY	2" CAL. B & B	AS SHOWN	4	STAKE & GUY ONE GROWING SEASON; NURSERY GROWN FOR STREET TREE USE, 6-FOOT STANDARD
	SHRUBS: CORTADERIA SELLOANA "IVORY FEATHERS"/ DWARF PAMPAS GRASS	18" -24" CONTAINER	5'	24	HOLD 5' FROM BORDERS
	VACCINIUM OVATUM/ EVERGREEN HUCKLEBERRY	1 GALLON	4'	17	HOLD 4' FROM BORDERS
	FRADES ESCALLONIA/ ESCALLONIA 'FRADESII'	18" - 24" CONTAINER	4'	68	HOLD 4' FROM BORDERS
	GROUND COVER: CEANOTHUS GLORIOSUS 'POINT REYES'// POINT REYES CEANOTHUS	1 GALLON 4" POT	30" AVG. 24" AVG.	COVER COVER	HOLD 2' FROM BORDERS AND OTHER SPECIES SAME.
	HEBE 'PATTY'S PURPLE'/ PATTY'S PURPLE HEBE	1 GALLON	36"	104	HOLD 2' FROM BORDERS AND OTHER SPECIES SAME.
	EXISTING VEGETATION LINE				

SITE AREA:	(.67 ACRES) 29137 SF
LANDSCAPE AREAS:	
EXISTING	2361 SF
EXISTING TO BE REMOVED	0 SF
EXISTING TO REMAIN	2361 SF
NEW LANDSCAPE	4431 SF
TOTAL PROVIDED LANDSCAPE--	6792 SF
PERCENTAGE OF SITE--	23%
AREA OF TEMPORARY IRRIGATION--	0 SF
AREA OF PERMANENT IRRIGATION--	6792 SF

NOTE

* CONTRACTOR SHALL PROVIDE IRRIGATION SYSTEM FOR FULL LANDSCAPE COVERAGE. IRRIGATION SYSTEM SHALL BE CONNECTED TO EXISTING FRED MEYER SITE IRRIGATION SYSTEM.

UTILITY CONFLICT NOTE:

CAUTION:
THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DIMENSION, AND DEPTH OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT BY POTHOLING THE UTILITIES AND SURVEYING THE HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE CALLING UTILITY LOCATE AND THEN POTHOLING ALL OF THE EXISTING UTILITIES AT LOCATIONS OF NEW UTILITY CROSSINGS TO PHYSICALLY VERIFY WHETHER OR NOT CONFLICTS EXIST. LOCATIONS OF SAID UTILITIES AS SHOWN ON THESE PLANS ARE BASED UPON THE UNVERIFIED PUBLIC INFORMATION AND ARE SUBJECT TO VARIATION. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR SHALL CONSULT BARGHAUSEN CONSULTING ENGINEERS, INC. TO RESOLVE ALL PROBLEMS PRIOR TO PROCEEDING WITH CONSTRUCTION.

CALL BEFORE DIGGING
(907) 278-3121

RE
LANDSCAPE