

**FINDINGS OF FACT
FLORENCE COMMUNITY DEVELOPMENT DEPARTMENT
Planning Commission
Exhibit "A"**

APPROVED
City of Florence
Community Development
Department
"A" PC 16 22 CUP 06
Exhibit File Number

Public Hearing Date: October 25, 2016 **Planner:** Glen Southerland
Date of Report: October 18, 2016
Application: PC 16 22 CUP 06

I. PROPOSAL DESCRIPTION

Proposal: A request for a conditional use permit to approve the construction of a Public Works facility with a 5,942 square foot office building and a 7,754 square foot maintenance building on Lots 12, 13, and 14 of the Pacific View Business Park.

Applicant: Megan Messmer, City of Florence

Property Owners: City of Florence

Location: 2675 Kingwood Street
Southwest corner of the intersection of 27th Street and Kingwood Street

Site: Map # 18-12-22-42 Taxlots 00300, 00400, and 00500

Comprehensive Plan Map Designation: Business/Industrial Park

Zone Map Classification: Pacific View Business Park (PVBP)

Surrounding Land Use / Zoning:

Site: Vacant / PVBP
North: Mortuary, Manufacturing / PVBP
South: Vacant / PVBP
East: State Forestry Facility, Industrial Buildings / PVBP
West: Airport / Public Use Airport

Streets / Classification:

West – None; North – 27th Street / Local; East – Kingwood Street / Collector; South – None

II. NARRATIVE

The current City of Florence Public Works facility is located on Spruce Street just north of Highway 126 and adjacent to Gallagher Park. The current facility is inadequate for the growing needs of the Public Works Department and features an unsecured yard, open storage visible from the neighboring street and properties, and lack of space for expansion of storage facilities and offices. The City of Florence proposes to construct

a Public Works Facility with two new structures, secured parking areas, a screened storage yard, a bulk water fill station, and areas for future expansion.

The applicant also proposes to clear the site of vegetation prior to obtaining building permits.

The applicant applied for a conditional use permit for the facility on September 12, 2016. The application was deemed complete on September 19, 2016.

III. NOTICES & REFERRALS

Notice: On October 4, 2016 notice was mailed to surrounding property owners within 300 feet of the property. The property was posted on October 4, 2016. Notice was published in the Siuslaw News on October 19, 2016.

At the time of this report, the City had received no written public comments on the proposal.

Referrals: On October 4, 2016 referrals were sent to the Florence Building Department, Florence Police Department, Florence Public Works, the Building Department LLC, the Department of Land Conservation and Development, Western Lane Ambulance District, Central Lincoln PUD, the United States Postal Service, the Oregon Department of Aviation, and Siuslaw Valley Fire and Rescue.

At the time of this report, the City had received no referral comments on the proposal.

IV. APPLICABLE REVIEW CRITERIA

Florence City Code, Title 4:

Chapter 1: Building Regulations, Section 15-3

Chapter 6: Vegetation Preservation, Sections 2 through 4 and 6

Florence City Code, Title 10:

Chapter 1: Zoning Administration, Section 1-5

Chapter 3: Off-Street Parking and Loading, Sections 2 through 5 & 8 through 10

Chapter 4: Conditional Uses, Sections 3 through 11

Chapter 6: Design Review, Sections 5, 6 & 9

Chapter 21: Public Use Airport Zone, Sections 1-7, 2-3, 2-5, 2-7 and 2-11

Chapter 28: Pacific View Business Park District, Sections 2 through 5

Chapter 34: Landscaping, Sections 3 through 5

Chapter 35: Access and Circulation, Sections 2-4, 2-6 through 2-9, 2-12, 2-14 & 3

Chapter 36: Public Facilities, Sections 2-1, 2-2, 2-5, 2-6, 2-9, 2-16 through 2-18 and 3 through 5

Chapter 37: Lighting, Sections 2 through 4

Realization 2020 Florence Comprehensive Plan:

Chapter 2: Land Use, Industrial Policies 1 and 6

Chapter 12. Transportation, Policy 14

V. PROPOSED FINDINGS

Code criteria are listed in **bold**, with staff response beneath. Only applicable criteria have been listed.

FLORENCE CITY CODE

TITLE 10: CHAPTER 1: ZONING ADMINISTRATION

10-1-1-5: LAND USE HEARINGS:

A. Hearings are required for quasi-judicial land use matters requiring Planning Commission review.

B. Notification of Hearing:

- 1. At least twenty (20) days prior to a quasi-judicial hearing, notice of hearing shall be posted on the subject property and shall be provided to the applicant and to all owners of record of property within 100 feet of the subject property, except in the case of hearings for Conditional Use Permits, Variance, Planned Unit Development and Zone Change, which notice shall be sent to all owners of record of property within 300 feet of the subject property.**
- 2. Prior to a quasi-judicial hearing, notice shall be published one (1) time in a newspaper of general circulation.**

Notification of the quasi-judicial land use hearing for this application was mailed on October 4, 2016, 22 days prior to the hearing, to all property owners within 300 feet of the subject property. A notice was also published in the Siuslaw News one time on October 19, 2016. The notification procedures meet the requirements of FCC 10-1-1-5.

C. Notice Mailed to Surrounding Property Owners – Information provided:

- 1. The notice shall:**
 - a. Explain the nature of the application and the proposed use or uses which could be authorized;**
 - b. List the applicable criteria from the ordinance and the plan that apply to the application at issue;**

- c. **Set forth the street address or other easily understood geographical reference to the subject property;**
- d. **State the date, time and location of the hearing;**
- e. **State that failure of an issue to be raised in a hearing, in person or by letter, or failure to provide sufficient specificity to afford the decision maker an opportunity to respond to the issue precludes further appeal based on that issue;**
- f. **State that application and applicable criteria are available for inspection at no cost and will be provided at reasonable cost;**
- g. **State that a copy of the staff report will be available for inspection at no cost at least 7 days prior to the hearing and will be provided at reasonable cost;**
- h. **Include a general explanation of the requirements for submission of testimony and the procedure for conduct of hearings.**
- i. **Include the name of a local government representative to contact and the telephone number where additional information may be obtained.**

The notice mailed to surrounding property owners as described above contained information regarding the nature of the application and uses proposed; applicable criteria applying to the issue; the street address of the property; the date, time and location of the meeting; the need to “raise it or waive it” appeal rights; stated that the application and criteria were available for inspection at no cost and would be provided at reasonable cost; stated that a copy of the staff report would be available no less than seven days prior to the hearing regarding the item; included a statement of the requirements for submission of testimony; and included the name of the staff person to contact, telephone number for the Planning Department and an email address where questions or testimony could be sent. The application was properly noticed and these criteria are met.

D. Hearing Procedure: All quasi-judicial hearings shall conform to the procedures of Florence City Code Title 2 Chapter 10.

The Planning Commission met and decided upon the application in accordance with FCC 2-10.

E. Action by the Planning Commission:

- 1. **At the public hearing, the Planning Commission shall receive all evidence deemed relevant to the issue. It shall then set forth in the**

record what it found to be the facts supported by reliable, probative and substantive evidence.

2. **Conclusions drawn from the facts shall state whether the ordinance requirements were met, whether the Comprehensive Plan was complied with and whether the requirements of the State law were met.**

4. **There is no duty upon the Planning Commission to elicit or require evidence. The burden to provide evidence to support the application is upon the applicant. If the Planning Commission determines there is not sufficient evidence supporting the major requirements, then the burden has not been met and approval shall be denied.**

The Planning Commission received all evidence deemed relevant at the public hearing. The Planning Commission may deny approval should they determine that insufficient evidence has been provided to support the application meeting the code requirements. The burden to supply such evidence is upon the applicant.

- F. Notice of Decision by the Planning Commission: A notice of the action or decision of the Planning Commission, and right of appeal shall be given in writing to the applicant. Any party who testified either in writing or verbally at the hearing must provide a mailing address in order to be noticed. The notice may be served personally, or sent by mail. The notice shall be deemed served at the time it is deposited in the United States mail.**

Notice of Decision shall be mailed to the applicant and all parties providing testimony either in writing or verbally at the hearing who provided a mailing address.

- H. Consolidated Procedures: Whenever possible an application for development such as a Conditional Use, Variance, or other action requiring Planning Commission, or Design Review Board approvals be consolidated to provide faster service to the applicant. (ORS 227.175(2)), (Amd. by Ord. No. 4, Series 2011)**

The applicant has requested a Conditional Use Permit with Design Review. The applicant has also requested to clear vegetation from the site prior to obtaining building permits, which requires a Vegetation Clearing Permit. Staff has consolidated required approvals in order to provide faster service to the applicant. The criteria in this staff report address Design Review, Vegetation Clearing Permit, and Conditional Use Permit.

TITLE 10: CHAPTER 3: OFF-STREET PARKING AND LOADING

10-3-2: GENERAL PROVISIONS:

- A. The provision for and maintenance of off-street parking and loading spaces are continuing obligations of the property owners. No building or other permit shall be issued until plans are presented that show property that is and will remain available for exclusive use as off-street parking and loading space.**
- B. At the time of new construction or enlargement or change in use of an existing structure within any district in the City, off-street parking spaces shall be provided as outlined in this Chapter, unless requirements are otherwise established by special review or City Council action. Additional parking spaces shall meet current code.**
- C. If parking space has been provided in connection with an existing use or is added to an existing use, the parking space shall not be eliminated if elimination would result in less space than is required by this Chapter.**
- D. Required parking spaces shall be available for the parking of passenger automobiles of residents, customers, patrons and employees, and shall not be used for storage of materials of any type.**
- E. Ingress and egress for parking and loading shall not endanger or impede the flow of traffic.**
- F. The required off-street parking for nonresidential uses shall not be used for loading and unloading operations during regular business hours.**

The proposed project will include both public and secured parking for employees and equipment. The applicant has proposed that parking will be provided in a 13 parking space parking lot to the south of the Public Works office building as well as two parking spaces (currently unmarked on the site plan) to the west of the Public Works office building between the offices and the maintenance facility to the west.

The applicant has proposed that 13 parking spaces will be added to the public parking lot and 19 spaces will be added to the secured parking lot at a later date. The parking spaces added will meet the code in place at the time of their construction. The applicant has proposed both parking for patrons and employees with no storage being proposed in the parking areas. The parking areas are proposed to exit onto Kingwood and 27th Streets through three separate two-way driveways (with another two-way driveway onto Kingwood to be constructed at a later date), each of which will have an adequate vision clearance area and distance between them.

Vehicles used by the Public Works Department will be parked within the paved area adjacent the maintenance building and these parking spaces do not count towards the total 15 provided.

The parking spaces shall be maintained and shall not be eliminated, used for the storage of materials of any type, or used for loading or unloading operations during business hours. (Condition 3.1)

10-3-3: MINIMUM STANDARDS BY USE: The number of required off-street vehicle parking spaces shall be determined in accordance with the standards in Table 10-3-1. Where a use is not specifically listed in this table, parking requirements are determined by finding that a use is similar to one of those listed in terms of parking needs, or by estimating parking needs individually using the demand analysis option described below:

- A. Parking that counts toward the minimum requirement is parking in garages, carports, parking lots, bays along driveways, and shared parking. Parking in driveways does not count toward required minimum parking.

The applicant has proposed parking within a parking lot. This criterion is met.

10-3-4: MINIMUM REQUIRED PARKING BY USE: During the largest shift at peak season, fractional space requirements shall be counted as the next lower whole space (rounded down). Square footages will be taken from the gross floor area (measurements taken from exterior of building). Applicants may ask the Design Review Board a reduction for parking spaces as part of their land use application. The applicant will have to provide the burden of evidence to justify the reduction proposed. The Design Review Board and/or staff may require the information be prepared by a registered traffic engineer. Table 10-3-1 lists the minimum parking spaces required by use, with a minimum no less than two (2) spaces, plus additional spaces(s) as needed to meet the minimum accessible parking requirement.

Table 10-3-1, Minimum Required Parking By Use:

C. Commercial and Retail Trade Types:

Public and semi-public buildings	1 for every 400 square feet of floor area. Special review may be given by the Design Review Board.
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The applicant has proposed 5,942 square feet of new public building and 7,754 square feet of maintenance facility. The applicant has proposed 15 hard surfaced parking spaces including two ADA accessible parking spaces. Because the maintenance facility will mainly be used for equipment and materials storage as well as light maintenance work associated with a public works facility, and will not generate any additional need for parking spaces, parking will be calculated based on the need generated only by the office building.

The applicant is required to provide, per the parking requirement listed above, 14 parking spaces ($5,942 \text{ ft}^2 / 400 \text{ ft}^2 = 14.86 \approx 14$). The applicant will not be required to provide any further hard-surfaced parking spaces at this time, but will be required to hard-surface the other proposed areas of the site and parking spaces within 5 years of the issuance of the Certificate of Occupancy. This criterion is met.

10-3-5: VEHICLE PARKING – MINIMUM ACCESSIBLE PARKING:

- A. Accessible parking shall be provided for all uses in accordance with the standards in Table 10-3-2; parking spaces used to meet the standards in Table 10-3-2 shall be counted toward meeting offstreet parking requirements in Table 10-3-1;
- B. Such parking shall be located in close proximity to building entrances and shall be designed to permit occupants of vehicles to reach the entrance on an unobstructed path or walkway;
- E. Required accessible parking spaces shall be identified with signs and pavement markings identifying them as reserved for persons with disabilities; signs shall be posted directly in front of the parking space at a height of no less than 42 inches and no more than 72 inches above pavement level. Van spaces shall be specifically identified as such.

Table 10-3-2 – Minimum Number of Accessible Parking Spaces Source: ADA Standards for Accessible Design 4.1.2(5)			
Total Number of Parking Spaces Provided (per lot)	Total Minimum Number of Accessible Parking Spaces (with 60" access aisle, or 96" aisle for vans*)	Van Accessible Parking Spaces with min. 96" wide access aisle	Accessible Parking Spaces with min. 60" wide access aisle
1 to 25	1	1	0
26 to 50	2	1	1

The applicant, with a total of 47 parking spaces after final buildout, will be required to provide two ADA Accessible spaces. The applicant currently would be required to provide one ADA Accessible space for their proposed 13 parking spaces. The applicant has proposed the provision of two ADA accessible parking spaces. These criteria are met.

10-3-8: PARKING AREA IMPROVEMENT STANDARDS: All public or private parking areas, loading areas and outdoor vehicle sales areas shall be improved according to the following: All required parking areas shall have a durable, dust free surfacing of asphaltic concrete, cement concrete, porous concrete, porous asphalt, permeable pavers such as turf, concrete, brick pavers or other materials approved by the City. Driveways aprons shall be paved for the first fifty feet (50') from the street.

- B. All parking areas except those required in conjunction with a single-family or duplex dwelling shall be graded so as not to drain storm water over public sidewalks. All drainage systems shall be connected to storm sewers where available. Parking lot surfacing shall not encroach upon a

public right of way except where it abuts a concrete public sidewalk, or has been otherwise approved by the City.

The applicant has proposed both public and private parking areas with paved driveways within the first 50 feet of each entrance from a public right-of-way. The parking lots proposed will be graded as to not drain storm water over public sidewalks. The drainage systems will be connected to bio-swales to infiltrate the storm water rather than directing it to a storm sewer system to be conveyed off-site.

C. Parking spaces shall be located or screened so that headlights do not shine onto adjacent residential uses.

The nearest adjacent residential use is a caretaker facility at the northwest corner of 27th and Kingwood Streets. The office building screens this caretaker facility from headlights as parking facilities are on the south side of the building. There are no other caretaker facilities in the area.

E. No parking area shall extend into the public way except by agreement with the City.

No parking area exists or has been proposed which extends into the public right-of-way. This criterion is met.

G. Lighting: Refer to Section 10-37 of this Title for requirements.

The applicant has proposed lighting as part of their application and these criteria will be addressed below as part of FCC 10-37.

I. Unless otherwise provided, required parking and loading spaces shall not be located in a required front or side yard.

Proposed parking is not located in a required front or side yard. The proposal meets this criterion.

J. Building permits are required for all parking lot construction or resurfacing.

The parking lot will be constructed in conjunction with the building, which will have building permits.

K. A plan, drawn to a suitable scale, indicating how the off- street parking and loading requirements are to be met shall accompany an application for a building permit. The plan shall indicate in detail all of the following:

- 1. Individual parking and loading spaces.**
- 2. Circulation area.**
- 3. Access to streets and property to be served.**

4. **Curb cut dimensions.**
5. **Dimensions, continuity and substance of screening, if any.**
6. **Grading, drainage, surfacing and subgrading details.**
7. **Obstacles, if any, to parking and traffic circulation in finished parking areas.**
8. **Specifications for signs, bumper guards and curbs.**
9. **Landscaping and lighting.**

The applicant has provided a parking plan showing the proposed parking area, including all of the required details.

10-3-9: PARKING STALL DESIGN AND MINIMUM DIMENSIONS: All off-street parking spaces (except those provided for single-family and duplex homes) shall be improved to conform to City standards for surfacing, stormwater management, and striping and where provisions conflict, the provisions of FCC Title 9 Chapter 5 shall prevail. Standard parking spaces shall conform to minimum dimensions specified in the following standards and Figures 10-3(1) and Table 10-3-3:

- A. **Motor vehicle parking spaces shall measure nine (9) feet and six (6) inches wide by nineteen (19) feet long.**
- B. **Each space shall have double line striping with two feet (2') wide on center.**
- C. **The width of any striping line used in an approved parking area shall be a minimum of 4" wide.**
- D. **All parallel motor vehicle parking spaces shall measure eight (8) feet six (6) inches by twenty-two (22) feet;**
- E. **Parking area layout shall conform to the dimensions in Figure 10-3(1), and Table 10-3-3, below;**
- F. **Parking areas shall conform to Americans With Disabilities Act (ADA) standards for parking spaces (dimensions, van accessible parking spaces, etc.). Parking structure vertical clearance, van accessible parking spaces, should refer to Federal ADA guidelines.**

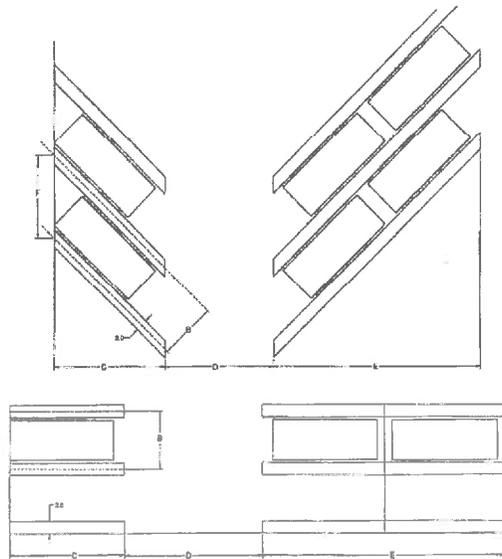


FIGURE 10-3 (1)

Space Dimensions in feet	Parking Angle α°	Table 10-3-9 - Parking Area Layout				Stall width (B)	Curb Length (F)
		Stall Depth		Aisle Width			
		Single (C)	Double (E)	One Way (D)	Two Way (D)		
	30°	15.6	28.7	12	18	9.5	19.0
	45°	18.4	33.4	13	18	9.5	13.4
	60°	20	36.8	17	18	9.5	11.0
	70°	20.3	40.6	18	19	9.5	10.1
	80°	20	41.2	22	22	9.5	9.6
	90°	19	40.5	23	23	9.5	9.5

The applicant has submitted a parking plan with the details required. Each parking space measures 9'6" in width by 19' in length. The applicant has demonstrated that each parking space will have double-line striping two feet on-center with striping at least 4" in width.

The applicant has proposed 15 parking spaces, however, two parking spaces have been proposed unmarked. The applicant shall provide 15 marked parking spaces meeting the requirements of FCC 10-3-9. (Condition 3.2)

10-3-10: BICYCLE PARKING REQUIREMENTS: All new development that is subject to Site Design Review, shall provide bicycle parking, in conformance with the standards and subsections A-H, below.

- A. **Minimum Size Space:** Bicycle parking shall be on a two (2) feet by six (6) feet minimum.
- B. **Minimum Required Bicycle Parking Spaces.** Short term bicycle parking spaces shall be provided for all non-residential uses at a ratio of one bicycle space for every ten vehicle parking spaces. In calculating the number of required spaces, fractions shall be rounded up to the nearest whole number, with a minimum of two spaces.
- D. **Location and Design.** Bicycle parking should be no farther from the main building entrance than the distance to the closest vehicle space other

than handicap parking, or fifty (50) feet, whichever is less and shall be easily accessible to bicyclists entering the property from the public street or multi-use path.

- E. **Visibility and Security.** Bicycle parking for customers and visitors of a use shall be visible from street sidewalks or building entrances, so that it provides sufficient security from theft and damage;
- F. **Lighting.** For security, bicycle parking shall be at least as well lit as vehicle parking. Refer to Section 10-37 of this Title for requirements.
- G. **Reserved Areas.** Areas set aside for bicycle parking shall be clearly marked and reserved for bicycle parking only.
- H. **Hazards.** Bicycle parking shall not impede or create a hazard to pedestrians. Parking areas shall be located so as to not conflict with vision clearance standards. If bicycle parking cannot be provided safely, the Design Review Board or Community Development Director may waive or modify the bicycle parking requirements.

Dimensions are not provided for the proposed bicycle parking area. The applicant has provided four bicycle parking spaces, of which two will be covered, at the north public entrance. While this bicycle parking area is not located near the vehicle parking lot, the spaces are no further than the closest parking spaces and are easily accessible, located near an entrance located off of a public street. The bicycle parking spaces appear to be located off of a pedestrian walkway and do not appear to impede or create a hazard within that walkway.

The applicant shall provide bicycle parking spaces with dimensions of at least two feet by six feet. (Condition 3.3)

TITLE 10: CHAPTER 4: CONDITIONAL USES

10-4-3: USE PERMIT PREREQUISITE TO CONSTRUCTION: When a conditional use permit is required by the terms of this Title, no building permit shall be issued until the conditional use permit has been granted by the Planning Commission, and then only in accordance with the terms and conditions of the conditional use permit. Conditional use permits may be temporary or permanent.

10-4-4: APPLICATIONS: The application for a conditional use permit shall be made in writing to the Planning Commission by the owner of the land in consideration or his agent, duly authorized in writing. The application shall include the following information:

- A. **Site and building plans and elevations.**

- B. Existing conditions on the site and within three hundred feet (300') of a site that is one (1) acre or larger and within one hundred feet (100') from a site that is less than one (1) acres in size.**
- C. Existing and proposed utility lines and easements.**
- D. Operational data explaining how the buildings and uses will function.**
- E. Any other pertinent information requested by the Planning Commission such as architectural renderings of the buildings and structures involved in the proposed development.**

10-4-5: PUBLIC HEARING AND NOTICE: The Planning Commission shall hold at least one public hearing on each conditional use permit application.

10-4-6: ACTION: The Planning Commission shall make specific findings for granting or denying a conditional use permit in accordance with the general criteria and/or conditions of Section 10-4-9 of this Title.

10-4-7: EFFECTIVE DATE: A conditional use permit shall become effective at the close of the appeal period.

The Planning Commission held a hearing October 25, 2016 regarding the proposed Public Works Facility. The Planning Commission shall make specific findings regarding the application for a conditional use permit according to the criteria as presented in these findings. Should the request for a conditional use permit be approved, it shall become effective at the close of the appeal period.

10-4-8: EXPIRATION OF CONDITIONAL USE PERMIT:

- A. Authorization of a conditional use permit shall be void one (1) year after the date of approval of a conditional use application, unless a building permit has been issued and substantial construction pursuant thereto has taken place. Substantial construction shall be considered to be completion of a building foundation. The applicant may apply to the Planning Commission for a one-time extension of one (1) year maximum duration based on compliance with the following criteria:**
 - 1. The request for an extension is made in writing prior to expiration of the original approval.**
 - 2. There are special or unusual circumstances that exist which warrant an extension.**
 - 3. No material changes of surrounding land uses or zoning has occurred. The Planning Commission may deny the request for an extension of a conditional use if new land use regulations have been adopted that affect the applicant's proposal. (Ord. 26, 2008)**

Authorization of a conditional use permit shall be void one (1) year after the date of approval, October 25, 2017, unless the use commences by this date or substantial construction has taken place. (Condition 4.1)

10-4-10: GENERAL CRITERIA: A conditional use permit may be granted only if the proposal conforms to all the following general criteria: (Ord. 669, 5-17-82)

A. Conformity with the Florence Comprehensive Plan.

The proposed Public Works facility is in keeping with the adopted Florence Realization 2020 Comprehensive Plan. Those criteria will be reviewed later in these Findings.

B. Compliance with special conditions established by the Planning Commission to carry out the purpose of this Chapter.

Special conditions of approval shall be established by the Planning Commission to carry out the purpose of this Chapter as well as the Florence Realization 2020 Comprehensive Plan. Review of the conditional use permit criteria and the policies of the Comprehensive Plan are reviewed later in this report. Conditions as necessary are included.

C. Findings that adequate land is available for uses which are permitted outright in the district where the conditional use is proposed. Available land can be either vacant land or land which could be converted from another use within the applicable zoning district. Land needs for permitted uses may be determined through projections contained in the Florence Comprehensive Plan or other special studies.

Because of the nature of the use proposed, there are only a handful of appropriate sites within the Florence city limits for this conditional use. At the time of this writing, the Pacific View Business Park has an additional 24 lots for sale and/or lease of varying sizes which is available for uses which are permitted outright within the district. The proposed use is consistent with the uses allowed conditionally within the Pacific View Business Park. This criterion is met.

D. Conditional uses are subject to design review under the provisions of Chapter 6 of this Title, except single family and duplex residential use. (Ord. 625, 6-30-80) See Code Section 10-6-3 for Design Review requirements.

Design Review of the site will be addressed later in these findings.

E. Adequacy of public facilities, public services and utilities to service the proposed development.

The public facilities, services, or utilities necessary to service the proposed structure exist within the surrounding right-of-ways. The construction of the facility will involve the placing of additional utilities within the 27th Street right-of-way. The public services available are adequate to service the proposed Public Works facility.

F. Adequacy of vehicle and pedestrian access to the site, including access by fire, police and other vehicles necessary to protect public health and safety. (Ord. 669, 5-17-82).

The proposed site is accessible by both private and emergency vehicles. Pedestrian access is available adjacent to the site and five-foot sidewalks are currently available along the entire frontage of the site along Kingwood Street and are proposed to be constructed along the entire 27th Street frontage. The site will also be no further than 200 feet from a fire hydrant, available along Kingwood Street adjacent the project site and on 27th Street near the airport gate.

10-4-11: GENERAL CONDITIONS: The Planning Commission may require any of the following conditions it deems necessary to secure the purpose of this Chapter. Where a proposed conditional use is permitted in another district, the Planning Commission may apply the relevant development standards from the other district. In addition, conditions may be required by the Design Review Board. Such conditions may include: (Ord 625, 6-30-80; amd. Ord 669, 5-17-82)

A. Regulation of uses, special yard setbacks, coverage and height.

No special yard setbacks, coverage, or height will be required. Uses, yard setbacks, coverage, and height are addressed as part of review of FCC 10-28.

B. Requiring fences, walls, screens and landscaping plus their maintenance.

Landscaping and other screening will be addressed below under section FCC 10-34.

C. Regulation and control of points of vehicular ingress and egress.

Vehicles will be able to access the proposed facility through the four proposed driveway curb cuts and parking lot. Three of the proposed facility gates will be controlled access for employees and equipment only with two built as part of the first phase of construction. The proposed public access two-way driveway leads to 13 of the proposed 15 parking spaces. Access is further reviewed as part of staff review of FCC 10-35.

D. Regulation of noise, vibration, odors, and sightliness.

The proposed Public Works facility does have the potential to be a source of noise, vibration, odors, and sightliness issues. The storage and equipment will be screened behind buildings and fencing. Noise and vibration should be typical of other permitted uses within the Pacific View Business Park – manufacturing, industrial service, warehousing, and wholesale sales – and will be mostly confined to normal, daylight hours, Monday through Friday. Odors are not proposed to be an issue.

G. Regulation of hours of operation and duration of use or operation.

The applicant has proposed hours of operation of 7 a.m. to 5 p.m. Monday through Friday, but other hours are possible in the event of emergencies or required maintenance. Hours of operation will not be regulated by this approval.

H. Requiring a time period within which the proposed use shall be developed.

As stated above and as part of Condition 4.1, this conditional use permit will be valid until one year from the date of approval unless a building permit has been issued or significant construction has taken place.

Unless otherwise specified, Conditions of Approval shall be completed prior to six months from the issuance of the Certificate of Occupancy. (Condition 4.2)

I. Requiring bonds to insure performance of special conditions.

No bonds will be required to insure performance of special conditions.

J. Regulation of tree and vegetation removal to maintain soil stability, preserve natural habitat, protect riparian vegetation, buffer conflicting uses, and maintain scenic qualities.

The applicant has requested permission to clear the site of vegetation in advance of obtaining building permits in order to save on costs. The site is currently covered with natural vegetation. The applicant has proposed the removal of all or nearly all of the natural vegetation. This issue is further reviewed as part of FCC 4-1 and FCC 4-6.

K. Such other conditions as will make possible the development of the City in an orderly and efficient manner and in conformity with the intent and purpose of the Florence Comprehensive Plan.

The proposed use is not inconsistent with the Florence Comprehensive Plan and will not prevent the orderly and efficient development of the City.

TITLE 10: CHAPTER 6: DESIGN REVIEW

10-6-5: GENERAL CRITERIA: The Planning Commission or Design Review Board may require any of the following conditions it deems necessary to secure the purpose and intent of this Chapter. The Board shall, consider the effect of its action on the availability and cost of needed housing. The Board shall not use the requirements of this Section to exclude needed housing types. However, consideration of these factors shall not prevent the Board from imposing conditions of approval if the costs of such conditions shall not unduly increase the cost of housing. The Board shall have no authority to affect dwelling unit densities. The Board shall consider the following criteria reviewing applications and may set conditions or standards which regulate and limit the following: (Ord. 680, 1-11-83)

- A. Setbacks, yards, height, density and similar design features according to the underlying zoning district.**
- B. Lot area, dimensions and percentage of coverage according to the underlying zoning district.**

Further review of the setbacks, yards, height, density, lot area, dimensions and percentage of coverage will be reviewed as part of FCC 10-28 later in this report, however, the existing setbacks, yards, and height are appropriate for the underlying zoning district. This criterion is met.

- C. Installation and maintenance of fences, walls, hedges, screens and landscaping according to standards set forth in FCC 10-34 Landscaping, and any requirements of the underlying zoning district.**

Screening and landscaping will be addressed as part of review of Chapter 34: Landscaping later in this report.

- D. The location and design of access and egress points for vehicles and pedestrians, including access points along State highways according to standards set forth in FCC 10-35 Access and Circulation, and any requirements of the underlying zoning district.**

The proposed location and design of access and egress points for vehicles and pedestrians will be reviewed as part of review of FCC 10-35.

- E. Noise, vibration, smoke, dust, odor, light intensity and electrical interferences.**

As stated previously as part of review of FCC 10-4-11-D, because of the nature of the proposed use, there is a potential for noise, vibration, smoke, and dust. These nuisances should be kept to a minimum while odors, intense lighting, and electrical interferences are not proposed consequences of this facility.

- F. Parking and outside display areas, dimensions, surfacing and on-site traffic circulation according to standards set forth in FCC 10-3 Parking and Loading.**

The criteria of FCC 10-3: Off-Street Parking and Loading were reviewed earlier within this report.

- G. Architectural quality and aesthetic appearance, including compatibility with adjacent buildings.**

The building is of appropriate architectural quality and aesthetic appearance, and is compatible with adjacent buildings. This criterion is met. Additional criteria are reviewed as part of the Pacific View Business Park zoning district.

- I. Exterior lighting and security.**

Lighting will be addressed in and regulated by FCC 10-37.

J. Public health, safety and general welfare.

The applicant has proposed a secured facility with an area for public access. The public will not be able to access dangerous areas where equipment or other materials are stored. This criterion is met.

K. Provision of public facilities and infrastructure according to standards set forth in FCC 10-36 Public Facilities.

Review of this public facility according to the standards of FCC 10-36 will take place later within these Findings.

L. Requiring a time period within which the proposed use or portions thereof shall be developed.

There will be no time period within which the proposed use or portions thereof shall be developed.

M. Requiring bonds to insure performance of special conditions. (Ord. 625, 6-30-80)

No bonds will be required to insure performance of special conditions.

N. Such other conditions as are necessary to implement policies contained in the Florence Comprehensive Plan. (Ord. 680, 1- 11-83)

Other conditions needed in order to implement policies contained within the Florence Comprehensive Plan will be addressed as part of that section of this report.

10-6-9: LAPSE OF DESIGN REVIEW APPROVAL: Authorization of a design review permit shall be void one (1) year after the date of approval of a design review application, unless a building permit has been issued and substantial construction pursuant thereto has taken place. Substantial construction shall be considered to be completion of a building foundation. The applicant may apply to the Planning Commission for a one-time extension of one (1) year maximum duration based on compliance with the following criteria:

- A. The request for an extension is made in writing prior to expiration of the original approval.**
- B. There are special or unusual circumstances that exist which warrant an extension.**
- C. No material changes of surrounding land uses or zoning has occurred.**

The Planning Commission may deny the request for an extension of a design review permit if new land use regulations have been adopted that affect the applicant's proposal. (Ord 26, 2008)

The approval for Design Review of the proposed facility shall expire on October 25, 2017. (Condition 4.3)

TITLE 10: CHAPTER 21: PUBLIC USE AIRPORT ZONE

10-21-1-7: Uses Permitted Under Prescribed Conditions: The following uses and activities and their associated facilities are permitted in the Public Use Airport Zone upon approval by the airport sponsor, the Oregon Department of Aviation and the City of Florence Design Review Board. Such uses shall be compatible with the Florence Realization 2020 Comprehensive Plan, the Florence Municipal Airport, Airport Master Plan Update Final Report, February 2010, FCC Title 10, Chapter 6 – Design Review, and shall not create a safety hazard or otherwise limit approved airport uses. Applicant shall complete FAA Form 7460 -1 – Notice of Proposed Construction or Alteration and it shall have been reviewed by the Oregon Department of Aviation and the Federal Aviation Administration prior to approval of ground lease.

A. Light industrial uses, especially those requiring through-the-fence access as an integral part of their operation.

The applicant has not proposed that any of the operations contained within the Public Works facility will need access through the fence to the airport.

10-21-2: PUBLIC USE AIRPORT SAFETY AND COMPATIBILITY OVERLAY ZONE

10-21-2-3: IMAGINARY SURFACE AND NOISE IMPACT BOUNDARY DELINEATION: The airport elevation, the airport noise impact boundary, and the location and dimensions of the runway, primary surface, runway protection zone, approach surface, horizontal surface, conical surface and transitional surface are delineated in the Florence Municipal Airport, Airport Master Plan Update Final Report, February 2010 and shall be made part of the Official Zoning Map. All lands, waters and airspace, or portions thereof, that are located within these boundaries or surfaces shall be subject to the requirements of this overlay zone.

The site is outside of the 2009 and 2014 airport noise impact boundary, as designated by the Airport Master Plan 2010 Update. The site is partially within the 2029 55 DNL noise level designated by the Airport Master Plan 2010 Update.

10-21-2-5: HEIGHT LIMITATIONS ON ALLOWED USES IN UNDERLYING ZONE. All uses permitted by the underlying zone shall comply with the height limitations in this Section. When height limitations of the underlying zone are more restrictive than those of this overlay zone, the underlying zone height limitations shall control.

- A. Except as provided in subsections B and C of this Section, no structure or tree, plant or other object of natural growth shall penetrate an airport imaginary surface.
- B. For areas within airport imaginary surfaces but outside the approach and transition surfaces, where the terrain is at higher elevations than the airport runway surfaces such that existing structures and permitted development penetrate or would penetrate the airport imaginary surfaces, a local government may authorize structures up to 35 feet in height above ground level.

The elevation of the facility was provided by the applicant and is 56.15'. The height of the maintenance building is 34'10". This building is both the tallest building on the site and the closest to the runway. The elevation of the end of the runway is 50.8'. The site is approximately 840 feet from the end of the runway and outside of the approach and transition surfaces. The height of the building will be well below that of the vegetation adjacent to the east and south surrounding the facility and no imaginary surfaces such as the Transitional Surface (7:1 = 120 feet at the closest property line) or the Horizontal Surface (150 feet) will be penetrated. This criterion is met.

10-21-2-7: LAND USE COMPATIBILITY REQUIREMENTS: Applications for zone changes and land use for properties within the boundaries of this overlay zone shall comply with the requirements of ORS 836 and this chapter as provided herein. Building permits shall also be required to conform to the requirements of this chapter.

- A. **Noise.** The Noise Contour Map for the Florence Municipal Airport is included in the Florence Municipal Airport, Airport Master Plan Update Final Report, February 2010 – Figure 8-1: Noise Contours, which is incorporated herein, and which shall remain on file in the Florence Community Development Department. Within the airport noise impact boundaries, land uses shall be established consistent with the levels identified in OAR 660, Division 13, Exhibit 5. A declaration of anticipated noise levels shall be attached to any subdivision or partition approval or other land use approval or building permit affecting land within airport noise impact boundaries. In areas where the noise level is anticipated to be at or above 55 DNL, prior to issuance of a building permit for construction of a noise sensitive land use (real property normally used for sleeping or as a school, church, hospital, public library or similar use), the permit applicant shall be required to demonstrate that a noise abatement strategy will be incorporated into the building design that will achieve an indoor noise level equal to or less than 55 DNL.

The site is inside the 2029 55 DNL Noise Contour, but is not a noise sensitive land use. No noise abatement strategy will be required.

- B. **Outdoor Lighting.** No industrial, commercial or recreational use shall project lighting directly onto an existing runway or taxiway or into existing airport approach surfaces except where necessary for safe and

convenient air travel. Lighting for these uses shall be in accordance with FCC 10-37. No use shall reflect light towards airport approach surfaces, imitate airport lighting or impede the ability of pilots to distinguish between airport lighting and other lighting.

Site lighting will be addressed as part of staff review of FCC 10-37.

The applicant shall not allow any lighting to point or reflect towards airport approach surfaces, imitate airport lighting, or impede the ability of pilots to distinguish between airport lighting and other lighting. (Condition 5.1)

C. Glare. No glare producing material, including but not limited to unpainted metal or reflective glass, shall be used on the exterior of structures located within an approach surface or on nearby lands where glare could impede a pilot's vision.

The applicant has indicated that they intend to construct the building with a charcoal grey roof in order to prevent glare. The applicant shall be required to construct the building with a roof material/coating which will not produce glare that could impede a pilot's vision. (Condition 5.2)

D. Industrial Emissions. No new industrial, mining or similar use, or expansion of an existing industrial, mining or similar use, shall, as part of its regular operations, cause emissions of smoke, dust or steam that could obscure visibility within airport approach surfaces, except upon demonstration, supported by substantial evidence, that mitigation measures imposed as approval conditions will reduce the potential for safety risk or incompatibility with airport operations to an insignificant level. The review authority shall impose such conditions as necessary to ensure that the use does not obscure visibility.

The applicant has not proposed that the facility would create any industrial emissions which could obscure visibility within the airport approach surfaces. This criterion is met.

E. Communications Facilities and Electrical Interference. No use shall cause or create electrical interference with navigational signals or radio communications between an airport and aircraft. Proposals for the location of new or expanded radio, radiotelephone, and television transmission facilities and electrical transmission lines within this overlay zone shall be coordinated with the Department of Aviation and the FAA prior to approval. Approval of cellular and other telephone or radio communication towers on leased property located within airport imaginary surfaces shall be conditioned to require their removal within 90 days following the expiration of the lease agreement. A bond or other security may be required to ensure this result.

The applicant has not proposed that there will be any electrical interference produced by the building. The applicant shall coordinate with the Oregon Department of Aviation

and the Federal Aviation Administration regarding any possible electrical interference that may be created. (Condition 5.3)

10-21-2-11: AVIGATION EASEMENT: Within this overlay zone, the owners of properties that are the subjects of applications for land use or limited land use decisions, for building permits for new residential, commercial, industrial, institutional or recreational buildings or structures intended for inhabitation or occupancy by humans or animals, or for expansions of such buildings or structures by the lesser of 50% or 1000 square feet, shall, as a condition of obtaining such approval or permits, dedicate an avigation easement to the airport sponsor. The avigation easement shall be in a form acceptable to the airport sponsor and shall be signed and recorded in the deed records of the County. The avigation easement shall allow unobstructed passage for aircraft and ensure safety and use of the airport for the public. Property owners or their representatives are responsible for providing the recorded instrument prior to issuance of building permits.

The applicant is the City of Florence, owner of the property, and operator of the Florence Municipal Airport. Lots 12, 13, and 14 are for permanent lease by the City and will not be sold at any time in the future per the August 14, 1998 letter from the FAA (Seattle ADO). The avigation easement will not be required.

TITLE 10: CHAPTER 28: PACIFIC VIEW BUSINESS PARK DISTRICT

10-28-3: BUILDINGS AND USES PERMITTED CONDITIONALLY:

The Planning Commission, subject to the procedures and conditions set forth in Chapter 4 of this Title, may grant a conditional use permit for the following:

City-owned Public buildings (no schools allowed in this district)

The proposed use is a conditional use in the Pacific View Business Park District. The applicant has submitted a request for a conditional use permit per FCC 10-4-4.

10-28-4: LOT AND YARD PROVISIONS:

- A. Minimum Lot Area:** The minimum lot area shall be seven thousand five hundred (7,500) square feet.

The site is comprised of three different lots: Lots 13, 14, and 15; with lot areas of 43,473; 49,320; and 28,495 square feet, respectively. The total area of the site is 121,288 square feet. This criterion is met.

- B. Minimum Lot Dimensions:** The minimum lot width shall be fifty feet (50').

The lot width of the site is approximately 330 feet with the front lot line located along Kingwood Street. Lots 13 and 15, the location of the main building and parking lot front Kingwood Street and have widths of 173 feet and 156 feet, respectively. Lot 14,

the location of the maintenance facility and storage fronts 27th Street and has a width of 154 feet.

- C. Maximum Lot Coverage: Up to eighty-five percent (85%) coverage by buildings and impervious surface, unless preservation credit is achieved in accordance with FCC 10-34-2-4.**

The proposed buildings and impervious surfaces will cover less than 85% of the property. This criterion is met.

The applicant has proposed leaving a portion of the site, designated as "Limit of Work," cleared and covered with gravel. The applicant plans to lay a hard surface in these areas and provide additional storm water facilities in the future. The other sections of the site will be landscaped and/or hard-surfaced with graveled areas being hard-surfaced in the future as their budget allows.

- D. Minimum Setbacks:**

- 1. Front yards shall be a minimum of fifteen feet (15').**

The applicant has proposed a setback from Kingwood Street, the front lot line, of fifteen feet, meeting this criterion.

- 2. Side and rear yards shall be a minimum of five feet (5'), except no side yard is required between attached units.**

The applicant has proposed side and rear yards setbacks of five feet, meeting this criterion.

10-28-5: SITE AND DEVELOPMENT PROVISIONS;

- A. Type of Structure: Wood siding, brick, textured block, concrete and concrete aggregate, and other similar building exterior materials are preferred. Buildings may be metal clad if the following provisions are met and approved by the City.**

The applicant has proposed a building with multiple exterior materials as well as a metal-clad structure.

- 1. Metal clad structures shall be colored with muted earth-tones to blend with the rest of the structure in a compatible and unified way. Earth-tones include lighter shades of clay, brown, olive or tan; darker earth-tone colors may be used as trim; and**
- 2. All building elevations that face a street shall be constructed with alternative building materials, such as wood siding, brick, textured block, concrete and concrete aggregate, or other similar building materials.**

The proposed office building will have exterior materials which include Hardie Plank siding, smooth Hardie Panel siding, and painted metal siding. The materials are proposed to be painted "Griffin" (SW 7026), "Mindful Gray" (SW 7016), with accents of "Robust Orange" (SW 6628) (please see Exhibit D). The body of the building will be colored with muted earth-tones, however, the applicant has proposed a main body consisting of darker earth-toned colors rather than lighter shades. The roofing will be a metal shed roof and solar panels. The combination of contrasting shades and materials creates an attractive building which will not add a plain, uninteresting building to the Pacific View Business Park.

All elevations of the proposed office building will be sided with the proposed exterior materials. Metal siding will be used only as an accent material surrounding the facility's windows and doors.

The exterior of the proposed maintenance building mainly consists of metal siding, but the street facing elevation of the building (along 27th Street) will have a Hardie Plank siding façade. The colors proposed are Cool Weathered Copper for the metal siding and Cool Parchment for the metal roofing. Hardie Plank siding along the 27th Street façade will have a similar appearance to that used for the office building.

B. Location of Business Activities: All manufacturing, processing, assembly and other business activity shall be located entirely within the building or buildings on a site.

Any work accomplished by the Public Works employees other than the storage of materials and equipment is proposed to be located entirely within the maintenance facility.

C. Building and Structural Height Limitations:

- 1. Maximum Height: Buildings and structures may not exceed 38' in height. Building and equipment heights must also comply with any applicable Airport Districts.**

The proposed height of the maintenance building, the tallest building proposed, is less than 35 feet. This criterion is met.

D. Public Facilities: Public facilities and infrastructure shall be in accordance with Section 10-36 of this Title.

These criteria will be reviewed as part of review of FCC 10-36 later within this report.

E. Fences, Hedges, Walls or Landscaping: Refer to Section 10-34 of this Title for general requirements. Dangerous or hazardous materials and equipment shall be enclosed within a secure fenced area. The area between the property line and the curb/sidewalk must be landscaped and maintained by the abutting property owner. Landscaping and trees shall not obstruct the airport's approach path. A minimum of a 20-foot buffer

shall be required where a commercial or industrial use abuts a residential district.

- F. Outdoor Storage: All other storage shall be enclosed within a solid fence and/or wall a minimum of six feet (6') in height. Dangerous or hazardous materials and equipment shall be enclosed within a secure fenced area.**

The proposed fencing will be reviewed later in this report. The applicant has proposed a secured area protected by a fence which is a minimum of six feet in height around the property. One connecting section of wall to the south of the office building is proposed to be five feet in height.

The applicant, where providing a CMU wall rather than cyclone fencing, shall provide a wall at least six feet in height. (Condition 6.1)

Proposed landscaping and trees do not affect the airport approach path. No residential district is abutting the proposed site. These criteria of the zoning district are met.

- H. Parking and Loading: Buildings and uses must comply with the requirements of Chapter 3 of this Title. No on-street parking or loading is permitted along Kingwood Street.**

Criteria of Title 10, Chapter 3 have been reviewed earlier within this report.

The applicant has proposed a water-filling station for water tankers along Kingwood Street. The applicant had previously considered a location on 27th Street, which would not have been possible due to the location of the airport and the design of 27th Street. A location along Kingwood Street was the only viable option for this filling station. Public Works, as a part of this proposal, will redesign this section of Kingwood Street, widening the road so that a pull-off is created for water tankers and other vehicles using the water-filling station. No on-street parking will be permitted and loading will take place "off" of the street outside of the bicycle lane.

- I. Vision clearance: The requirements of Sections 10-1-4 and 10-35-2-13 of this Title must be met by all uses and development. (Ord. 26, 2008)**

Vision clearance will be reviewed later in this report under FCC 10-35.

- J. Lighting: Refer to Section 10-37 of this Title for Requirements.**

Lighting will be reviewed later within this report as part of staff review of FCC 10-37.

- K. All trash receptacles shall be located inside structures or in a trash enclosure that is fully screened by a solid fence or wall not less than 5' in height. Trash receptacle areas shall be kept clean. Trash shall not be allowed to blow about the site nor onto neighboring sites, nor shall any trash be stored in a manner to attract rodents.**

The applicant has proposed a “Temporary Unfenced Trash/Recycle Area.”

The Trash/Recycle Area shall be enclosed by a solid fence or wall not less than five feet in height. (Condition 6.2)

L. Signs: Signs shall be in accordance with Title 4 Chapter 7 of this Code. (Ord. 4, 2011)

Signs will be reviewed as part of the applicant’s building permit application, not as part of this land use application.

M. Noise, Odors, Vibration: Any noise, odors or vibrations shall be mitigated to avoid unnecessary noise or creation of a public nuisance per Title 6 of this Code.

As stated previously, because of the nature of the proposed use, there is a potential for noise, vibration, smoke, and dust. These nuisances should be kept to a minimum while odors, intense lighting, and electrical interferences are not proposed consequences of this facility.

N. Access and Circulation: Refer to Section 10-35 of this Title for requirements.

The proposed accesses and circulation of the site will be reviewed later within this report.

O. Administrative Review: All permitted uses in the Pacific View Industrial Park District shall be subject to administrative review, Section 10-1-1-6 of this Title.

City-owned public buildings are a conditional use within the Pacific View Business Park. The applicant has applied for a conditional use permit.

P. Airport Overlay Zone: Refer to Section 10-21-2 of this Title for specific requirements of the Public Use Airport Safety and Compatibility Overlay Zone.

The requirements of FCC 10-21 have been evaluated earlier within this report as part of staff review of that chapter.

TITLE 10: CHAPTER 34: LANDSCAPING

10-34-3: LANDSCAPING

10-34-3-1: Applicability. Except for single-family and duplex dwelling uses, this Section shall apply to all new development as well as changes of use and expansions as described below, and shall apply in all districts except where superseded by specific zoning district requirements. These provisions shall be

in addition to the provisions of FCC Title 9 Chapter 5 and where there are conflicts, the provisions of Title 9 Chapter 5 shall prevail.

- A. For new developments, all landscaping shall meet current code requirements. (Ord. 4, 2011)

10-34-3-2: Landscaping Plan Required. A landscape plan is required. All landscape plans shall include the following information:

- A. The location and height of existing and proposed fences and walls, buffering or screening materials.
- B. The location of existing and proposed terraces, retaining walls, decks, patios, shelters, and play areas.
- C. The location, size, and species of the new proposed plant materials (at time of planting).
- D. The location(s) of areas where existing vegetation will be cleared and the location(s) of areas where existing vegetation will be preserved, delineated on a recent aerial photo or site plan drawn to scale.
- E. Existing and proposed building and pavement outlines.
- F. Specifications for soil at time of planting, irrigation and anticipated planting schedule.
- G. Other information as deemed appropriate by the City Planning Official.

The applicant has provided a landscaping plan with the location, size, and species of new proposed plant materials as well as their planting and irrigation specifications and building and pavement outlines. The applicant chose most of these plantings from the Tree and Plant List for the City of Florence. The remainder of the proposed plantings bear great similarities to trees and plants on the Tree and Plant List for the City of Florence.

The applicant shall provide a landscape plan for the possible green roof feature on the office building prior to installation for review by the Planning Department. (Condition 7.1)

10-34-3-3: Landscape Area and Planting Standards. The minimum landscaping area is 15% of the lot area, unless specified otherwise in the applicable zoning district for the proposed use. This required minimum landscaping area may be reduced if preservation credits are earned as specified in Section 10-34-2-4.

The applicant has proposed 17,750 square feet of landscaped area on the proposed site, 400 square feet of green roof (possible), and 340 square feet of hardscape features. This area equals 15.245% of the total area of the site. There are also two future storm water planters proposed for the future expansions of the parking lot

located at the southeast corner of the site. The area of these landscaped areas was not provided by the landscape architects as part of this application, but according to the plans is at least 1,700 square feet. The areas, until proposed for use as storm water facilities, will be grassy areas. The total approximate landscaped area will be greater than 20,190 square feet, or 16.5% of the area of the project site.

A. Landscaping shall include planting and maintenance of the following:

- 1. One tree per 30 lineal feet as measured along all lot lines that are adjacent to a street.**
- 2. Six shrubs per 30 lineal feet as measured along all lot lines that are adjacent to a street.**
- 3. Living plant materials shall cover a minimum of 70 percent of the required landscape area within 5 years of planting.**
- 4. Except for preservation of existing significant vegetation, the required plant materials on-site shall be located in areas within the first 20 feet of any lot line that abuts a street. Exceptions may be granted where impracticable to meet this requirement or the intent is better served. Required trees may be located within the right-of-way and must comply with Section 10-34-4. Plant materials may be installed in any arrangement and do not need to be equally spaced nor linear in design. Plantings and maintenance shall comply with the vision clearance standards of FCC 10-35-2-13.**
- 5. Pocket-planting with a soil-compost blend around plants and trees shall be used to ensure healthy growth.**

The proposed site has 483 total lineal feet of street frontage.

The applicant is required to provide 17 trees ($483 \text{ l.f.} / 30 \text{ l.f.} = 16.1 \approx 17 \text{ trees}$). The applicant has proposed 36 total trees within the first 20 feet of lot lines which abut a street.

The applicant is required to provide 97 shrubs ($483 \text{ l.f.} / 30 \text{ l.f.} * 6 = 96.6 \approx 97 \text{ trees}$). The applicant has proposed a total of 283 shrubs within the first 20 feet of lot lines which abut a street.

Living plant materials shall cover a minimum of 70 percent of the required landscape area within 5 years of planting. (Condition 7.2)

Plants and trees shall be pocket-planted with a soil-compost blend to ensure healthy growth. (Condition 7.3)

B. Noxious Weeds shall be removed during site development and the planting of invasive or noxious weeds is prohibited.

The applicant has proposed the full clearing of the site prior to development. This will include any possible noxious weeds on-site.

10-34-3-4: Landscape Materials. Permitted landscape materials include trees, shrubs, ground cover plants, non-plant ground covers, existing native vegetation, outdoor hardscape features and storm water features, as described below.

- A. **Plant Selection.** A combination of deciduous and evergreen trees, shrubs, and ground covers shall be used, consistent with the purpose of this Chapter. A suggested Tree and Plant List for the City of Florence and the Sunset Western Garden Book are available at City Hall. The selection of plant and tree species shall be based upon site conditions such as wind and sun exposure, space limitations, water availability, and drainage conditions. The use of indigenous plants is encouraged, and may be required where exposure, slope or soil conditions warrant.
1. **Ground Cover.** Ground cover may consist of separate plants or mowed grass turf. Ground cover plant species shall meet the following minimum standards: plants from 4-inch pots shall be spaced a maximum of 18 inches measured on center, and 1-2 gallon size plants shall be spaced a maximum of 3 feet measured on center.
 2. **Shrubs.** Shrub plant species shall be planted from 3 gallon containers unless otherwise specified in the Tree and Plant List for the City of Florence.
 3. **Trees.** Evergreen and deciduous tree species shall meet the following minimum standards: deciduous trees shall be a minimum of 1 ¾ inch caliper (diameter) measured 6 inches above grade, and evergreen trees shall be a minimum of 5 feet tall (Nursery Grade 5/6).
 4. **Non-plant Ground Covers.** Bark dust, chips, aggregate, or other non-plant ground covers may be used. Non-plant ground cover located adjacent to pedestrian ways shall be confined to the material within the planting bed to avoid safety hazards by edging 4 inches above-grade or recessing from grade. Non-plant ground covers cannot be a substitute for ground cover plants.

The applicant has selected plants from the Tree and Plant List for the City of Florence or other plants which are well suited to the Florence climate. Plantings are at least the minimum required size for the trees and shrubs proposed. These criteria are met.

- C. **Hardscape features,** such as plazas, pathways, patios and other pedestrian amenities may count toward ten (10) percent of the required landscape area, except in the Old Town and Main Street districts where hardscape features may count toward 50 percent of the landscape area,

provided that such features conform to the standards of those districts. Swimming pools, sports courts, decks and similar facilities may not be counted toward fulfilling the landscape requirement in any zone.

The applicant has proposed, in addition to 17,750 square feet of traditional landscaping, 400 square feet of green roof, as well as 340 square feet of hardscape features such as pathways, patios, and other pedestrian amenities. The amount of proposed hardscape areas is less than ten percent of the required landscape areas.

- D. Storm Water Facilities. Storm water facilities, such as detention/retention ponds and swales shall be landscaped. Landscaped bio-swales are encouraged and shall count toward meeting the landscaping requirement of this section if they are designed and constructed in accordance with the standards specified in Title 9 Chapter 5, and approved by the Public Works Department. Storm water facilities shall be landscaped with water-tolerant, native plants.**

The applicant has proposed a number of vegetated storm water facilities for the Public Works facility. Two will be constructed with the facility with another two being added in the future with the additional paving of the parking lot. The plantings selected for the stormwater facilities are all approved plantings or have qualities which would allow them to withstand the very damp conditions present in a rain garden.

10-34-3-5: Irrigation. Permanent, underground irrigation is required for all landscaping, except existing native vegetation that is preserved in accordance with the specifications of Section 10-34-2-2 and new drought tolerant plants which must have temporary irrigation for plant establishment. All irrigation systems require an irrigation permit and shall be installed with a backflow prevention device per FCC 9-2-3-5.

The applicant has proposed that permanent underground irrigation will be installed prior to completion of landscape planting. The proposed landscaping irrigation systems are proposed to be installed with backflow prevention devices. This criterion is met.

10-34-3-6: Parking Lot Landscape Standards. All parking lots shall meet Parking Area Improvement Standards set forth in FCC 10-3-8. Parking areas with more than twenty (20) spaces shall include interior landscaped “islands” to break up the parking area. Interior parking lot landscaping shall count toward the minimum landscaping requirement of Section 10-34-3-3. The following standards apply:

- A. For every parking space, 10 square feet of interior parking lot landscaping shall be provided;**
- B. Parking islands shall be evenly distributed to the extent practicable with a minimum of one tree selected from the Tree and Plant List for the City of Florence installed per island;**

- C. **Parking island areas shall provide a minimum of 30 square feet of planting area and any planting area dimension shall be a minimum of 5 feet on any side (excluding curb dimensions), unless reduced by the Planning Commission where a lesser distance will provide adequate space for healthy plant growth;**
- D. **Irrigation is required for interior parking lot landscaping to ensure plant survival;**
- E. **Living plant material shall cover a minimum of 70% of the required interior parking lot landscaping within 5 years of planting; and**
- F. **Species selection for trees and shrubs shall consider vision clearance safety requirements and trees shall have a high graft (lowest limb a minimum of 5 feet high from the ground) to ensure pedestrian access.**

The applicant is only proposing to provide 15 parking spaces at this time, five short of the 20 spaces required for this section to be applicable. The future phases of the parking lot appear to meet current code with the information which was available.

The applicant shall abide by the code current at the time of construction of the future phases of the parking lot and shall submit parking lot grading, paving, stormwater, and landscaping plans for Planning Department review. (Condition 7.4)

As the applicant adds parking spaces to the site in the form of an additional 13 customer parking spaces and 19 employee (secured) parking spaces, the applicant shall abide by the requirements of FCC 10-34-3-6. The applicant shall ensure that parking lot landscaping is provided for all areas between the proposed parking areas. (Condition 7.5)

The applicant shall hard-surface all areas of the proposed parking lots and proposed paved storage areas within five years of Certificate of Occupancy. (Condition 7.6)

10-34-3-7: Buffering and Screening. Buffering and screening are required under the conditions listed below. Walls, fences, and hedges shall comply with the vision clearance requirements and provide for pedestrian circulation, in accordance with FCC 10-35-2-13. (See Section 10-34-5 for standards specific to fences and walls.)

- A. **Parking/Maneuvering Area Adjacent to Streets and Drives.** Where a parking or maneuvering area is adjacent and parallel to a street or driveway, a berm; an evergreen hedge; decorative wall (masonry or similar quality material) with openings; arcade; trellis; or similar partially opaque structure 3-4 feet in height shall be established between street and driveway or parking area. See also FCC 10-3-8-D for standards specific to parking lots adjacent to the street. The required screening shall have breaks or portals to allow visibility (natural surveillance) into the site and to allow pedestrian access to any adjoining walkways. Hedges used to comply with this standard shall be a minimum of 36

inches in height at maturity, and shall be of such species, number, and spacing to provide year-round screening within five (5) years after planting. Vegetative ground cover is required on all surfaces between the wall/hedge and the street/driveway line.

The applicant has proposed that the parking areas will be segregated from the street via a landscape buffer. The northern two parking spaces will be screened from 27th Street via plantings of Jean Marle Montegue Rhododendrons and Spiraea. The Rhododendron species is an evergreen reaching three feet in height, meeting the criteria above. The Spiraea japonica is a deciduous shrub which does not meet the evergreen requirement.

The applicant shall select a plant species for the group of two parking spaces to the west of the office building which is an evergreen species. (Condition 7.7)

The applicant has also proposed that the driveway leading to Kingwood Street from the lot of 13 parking spaces will be separated from the right-of-way by a planting of a Strawberry Tree, Red Flowering Currants, Privet Honeysuckles, and Dwarf Fothergillas. The Red Flowering Currants and Dwarf Fothergillas are deciduous shrubs and do not meet the evergreen requirement for these areas adjacent to a street.

The applicant shall select plant species for the planter area adjacent the Kingwood Street right-of-way driveway which are evergreen species. (Condition 7.7)

The applicant shall submit a landscape plan with the needed modifications to the Planning Department for approval prior to planting. (Condition 7.7)

- B. Parking/Maneuvering Area Adjacent to Building. Where a parking or maneuvering area or driveway is adjacent to a building, the area shall be separated from the building by a curb and a raised walkway, plaza, or landscaped buffer not less than five (5) feet in width. Raised curbs, bollards, wheel stops, or other design features shall be used to protect pedestrians, landscaping, and buildings from being damaged by vehicles.**

Sheet C2.1 cites Standard Drawing F-205 for sidewalk construction between the parking lot and landscaped areas adjacent the building. This standard drawing does not state the height of the curb, however, wheel stops are also called out as Note #13 and shown on Sheet C2.2. The parking area is also physically separated from the building by a landscape buffer of greater than five feet in width. This criterion is met.

- C. Screening of Mechanical Equipment, Outdoor Storage, Service and Delivery Areas, and Other Screening When Required. All mechanical equipment, outdoor storage and manufacturing, and service and delivery areas shall be screened from view from all public streets and adjacent Residential districts. When these or other areas are required to be screened, such screening shall be provided by:**

1. a decorative wall (i.e., masonry or similar quality material),
2. evergreen hedge,
3. opaque or sight-obscuring fence complying with Section 10-34-5, or
4. a similar feature providing an adequate screen.

The applicant has proposed that the fencing surrounding the site will be constructed of CMU block or cyclone fence. The application does not state if the cyclone fence will be sight-obscuring through the use of slats.

The applicant shall provide a cyclone fence with slats which effectively obscures the outdoor storage from all public streets and adjacent residential districts. (Condition 7.8)

- D. Abutting Land Use Buffers. When a commercial, industrial, or other non-residential use abuts a residential district or residential land use, a visual and noise buffer shall be established and maintained immediately adjacent to the residential property line, consistent with the standards listed in the table below. In no case shall the buffer strip be less than 15 feet in width unless reduced by the Planning Commission where a lesser distance will provide adequate buffering. The buffer strip may include existing vegetation, landscape plantings, evergreen hedge, berm, fence, and/or wall components. Fence and wall structures shall be not less than 6 feet and no more than 8 feet in height (see also Section 10-34-5). The landscaped buffer shall effectively screen at least 70 percent of the view between districts within five (5) years. Significant vegetation in these buffer strips may be preserved in accordance with Section 10-34-2, and replanting of local native vegetation is encouraged.**

The nearest residential land use is at the northwest corner of 27th Street and Kingwood Street, which is not immediately adjacent to the northern property line of the facility. The area of the site abutting 27th Street is also the most densely planted part of the site. In addition, the bulk of the office building and maintenance building help obscure the storage areas of the facility from the residential use. Fencing proposed will be six feet in height. Plantings will range from 2 feet in height to those which will grow over 10 to 20 feet in height. These criteria are met.

10-34-3-8: Maintenance. If the plantings fail to survive, the property owner shall replace them with an equivalent specimen (i.e., native Rhododendron replaces native Rhododendron, evergreen shrub replaces evergreen shrub, deciduous tree replaces deciduous tree, etc.) within six (6) months of their dying or removal, whichever comes first. All man-made features required by this Code shall be maintained in good condition, or otherwise replaced by the owner within six (6) months of any such feature being removed or irreversibly damaged (whichever comes first).

The applicant shall maintain their landscaping and replace any failed plantings with an equivalent specimen within six months of their dying or removal. (Condition 7.9)

10-34-4: STREET TREES: Street trees are trees located within the right-of-way.

- A. Street Tree List.** Trees shall be selected from the Tree and Plant List for the City of Florence based on climate zone, growth characteristics and site conditions, including available space, overhead clearance, soil conditions, exposure, and desired color and appearance. Other tree species are allowed with City approval.
- B. Caliper Size.** The minimum diameter or caliper size at planting, as measured six (6) inches above grade, is one and one half (1 ½) inches with a high graft (lowest limb a minimum of 5 foot high from the ground) to ensure pedestrian access.
- C. Spacing and Location.** Street trees shall be planted within the street right-of-way within existing and proposed planting strips or in sidewalk tree wells on streets without planting strips, except when utility easements occupy these areas, in accordance with the requirements of FCC 10-35-2-3 and 10-36-2-16. Street tree spacing shall be based upon the type of tree(s) selected and the canopy size at maturity and, at a minimum, the planting area shall contain sixteen (16) square feet, or typically, a four (4) foot by four (4) foot square. In general, trees shall be spaced no more than thirty (30) feet apart, except where planting a tree would conflict with existing trees, retaining walls, utilities and similar physical barriers. All street trees shall be placed outside utility easements, and shall comply with the vision clearance standards of FCC 10-35-2-13.
- D. Soil Preparation, Planting and Care.** Street trees shall be planted with root guards to preserve the physical integrity of sidewalks and streets. Pocket-planting with a soilcompost blend around trees shall be used to ensure healthy growth (see footnote to FCC 10-34-3-3-A-5). The developer shall be responsible for planting street trees, including soil preparation, ground cover material, staking, and temporary irrigation for three years after planting. The developer shall also be responsible for tree care (pruning, watering, fertilization, and replacement as necessary) during the first three years after planting, after which the adjacent property owners shall maintain the trees.

The applicant has proposed trees adjacent the 27th and Kingwood Street right-of-ways which are listed or are very similar to those listed on the Tree and Plant List for the City of Florence. The listed planting calipers of two inches and planting locations meet the requirements of FCC 10-34-4-B and -C. Each planting location is at least 4 feet by 4 feet with spacing generally less than 30 feet apart because of physical constraints. Each planting complies with vision clearance standards.

The applicant shall plant the proposed street trees with root guards to preserve the adjacent sidewalks, as well as pocket-plant the trees with a soil-compost blend in order to ensure healthy growth. (Condition 7.10)

10-34-5: FENCES AND WALLS: Construction of fences and walls shall conform to all of the following requirements: **A. General Requirements.** All fences and walls shall comply with the height limitations of the respective zoning district and the standards of this Section. The City may require installation of walls and/or fences as a condition of development approval, in accordance with land division approval, approval of a conditional use permit, or design review approval. When required through one of these types of approvals, no further land use review is required. (See also, Section 10-34-3-6 for landscape buffering and screening requirements.)

B. Dimensions.

2. **Commercial and Industrial Zones:** Except as provided below, the height of fences and walls in any required front yard shall not exceed three (3) feet as measured from the grade and no greater than eight (8) feet elsewhere on site.

The applicant has proposed fencing surrounding the site for screening and security. The applicant may construct fencing up to eight feet in height without additional approvals required from the Planning Department. A fence over seven feet in height may require building permits.

D. Specific Requirements

2. **Fences and walls shall comply with the vision clearance standards of FCC 10-35- 2-13.**

The proposed fencing and block wall shall comply with the vision clearance standards of FCC 10-35-2-14. (Condition 7.11)

F. Materials.

1. **Permitted materials: wood; chain-link steel, iron, bricks, stone; stucco, or similar masonry, and non-prohibited evergreen plants.**

The applicant has proposed a masonry wall and chain-link steel fence. This criterion is met.

TITLE 10: CHAPTER 35: ACCESS AND CIRCULATION

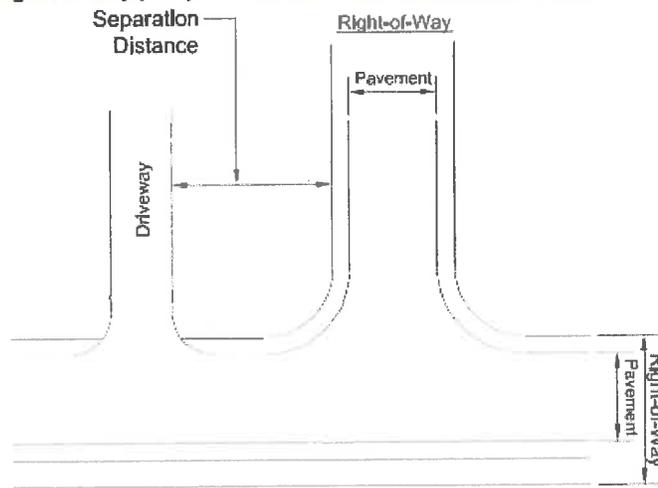
10-35-2-7: Intersection Separation; Backing onto Public Streets: New and modified accesses shall conform to the following standards:

- A. Except as provided under subsection B, below, the distance from a street intersection to a driveway shall meet the following minimum spacing requirements for the street's classification, as measured from side of driveway to street or alley pavement (see Figure 10-35(1)). A greater separation may be required for accesses onto an arterial or collector for compliance with ODOT or County requirements.

Separation Distance from Driveway to Pavement:

Alley	15 feet
Local Street	25 feet
Collector Street	30 feet
Arterial Street	50 feet

Figure 10-35(1): Separation Distance from Driveway to Street



- C. Access to and from off-street parking areas shall be designed to prevent backing onto a public street, except that single-family and duplex dwellings are exempt.

The proposed driveway locations meet the requirements for both Local Streets along 27th Street and Collector Streets along Kingwood Street. Access to 27th Street and Kingwood Street do not require any backing onto a public street. These criteria are met.

10-35-2-8: Access Standards: New development shall gain access primarily from local streets. Access onto arterials and collectors shall be evaluated based on access options, street classifications and the effects of new access on the function, operation and safety of surrounding streets and intersections and possible lower level street alternatives. Where such access to higher level street classification is necessary, shared driveways may be required in conformance with FCC 10-35. If vehicle access off a lower-level street is possible, then the City may prohibit access to the higher-level street.

The applicant has proposed accesses onto both a designated Local Street and a designated Collector Street. Because of the site and street design surrounding the site, these proposed accesses appear to be necessary. Not only does the proposed use require large equipment and delivery vehicles to be able to circulate around the site, but visibility at the intersection of 27th and Kingwood Streets is inadequate for the traffic that will be generated by the new facility and the type of vehicles that will be exiting the facility. The possibility of a traffic incident is reduced by the ability for large vehicles to exit onto Kingwood Street where visibility distances are greater.

10-35-2-9: Site Circulation: New developments shall be required to provide a circulation system that accommodates expected traffic on the site. Pedestrian and bicycle connections on the site, including connections through large sites, and connections between sites (as applicable) and adjacent sidewalks, trails or paths, must conform to the provisions in Section 10-35-3.

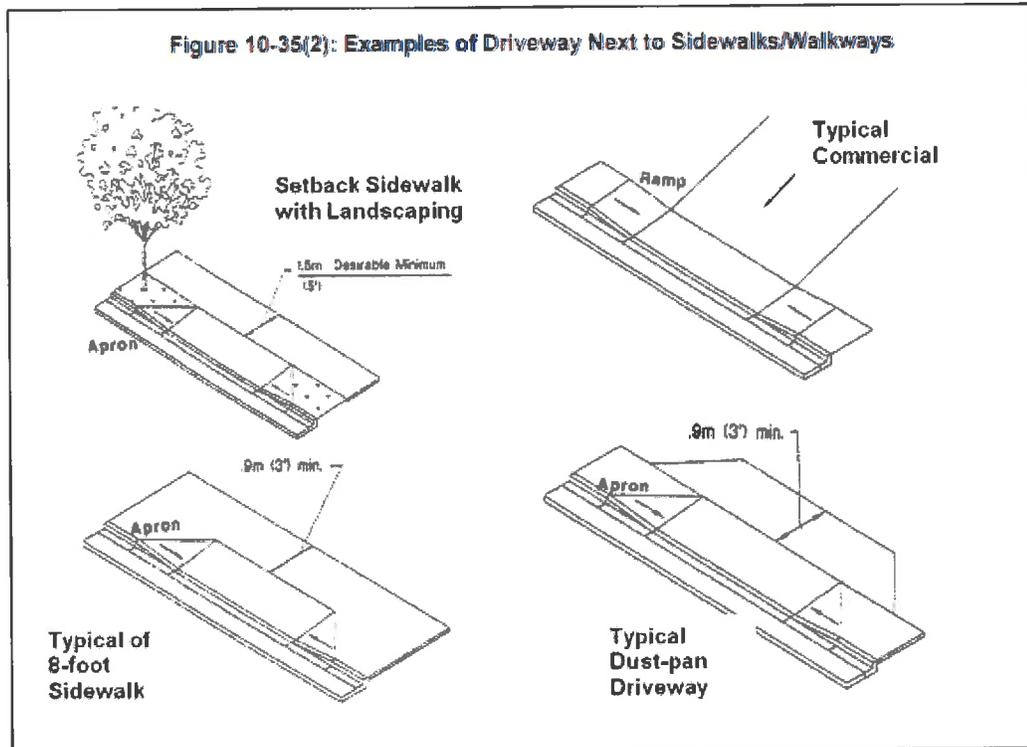
The applicant has proposed adequate pedestrian and bicycle connections through the site as well as around and to the site. Sidewalks and designated crossings will be provided within the secured site area. Bicycle parking will be located adjacent a public street and sidewalk. This criterion is met.

10-35-2-12: Driveway Design: All openings onto a public right-of-way and driveways shall conform to the following:

- A. Driveway Approaches. Driveway approaches, including private alleys, shall be approved by the Public Work Director and designed and located with preference given to the lowest functional classification street. Consideration shall also be given to the characteristics of the property, including location, size and orientation of structures on site, number of driveways needed to accommodate anticipated traffic, location and spacing of adjacent or opposite driveways.**
- B. Driveways. Driveways shall meet the following standards, subject to review and approval by the Public Works Director:**
 - 2. Driveways shall have a minimum width of ten (10) feet, except where a driveway serves as a fire apparatus lane, in which case city-approved driveway surface of 12 feet minimum width shall be provided within an unrestricted, twenty (20) foot aisle, or as approved by the Fire Code Official.**
 - 4. One-way driveways shall have appropriate signage designating the driveway as a oneway connection. Fire apparatus lanes shall be so marked (parking prohibited).**
 - 5. The maximum allowable driveway grade is fifteen (15) percent, except that driveway grades exceeding fifteen (15) percent may be allowed, subject to review and approval by the Public Works Director and Fire Code Official, provided that the applicant has provided an engineered plan for the driveway. The plan shall be**

stamped by a registered geotechnical engineer or civil engineer, and approved by the Public Works Director.

The applicant represents the Public Works Director, who has reviewed these accesses prior to application. The driveways entering the site will accommodate two-way traffic with a width of at least 23 feet (Kingwood Street) up to 29 feet (27th Street). Driveway aprons will be constructed according to City of Florence Standard Drawing F-208, included on Sheet C2.1 of the application. This drawing demonstrates that the maximum slope of the driveway is 8:1, which is a 12.5% grade.



- C. **Driveway Apron Construction.** Driveway aprons (when required) shall be constructed of concrete and shall be installed between the street right-of-way and the private drive, as shown in Figure 10-35(2) (pictured on next page). Driveway aprons shall conform to ADA requirements for sidewalks and walkways, which generally require a continuous unobstructed route of travel that is not less than three (3) feet in width, with a cross slope not exceeding two (2) percent, and providing for landing areas and ramps at intersections. Driveways are subject to review by the Public Works Director.

The driveways proposed by the applicant meet the criteria of FCC 10-35-2-12-C.

10-35-2-13: Vertical Clearances: Driveways, private streets, aisles, turn-around areas and ramps shall have a minimum vertical clearance of 13' 6" for their entire length and width.

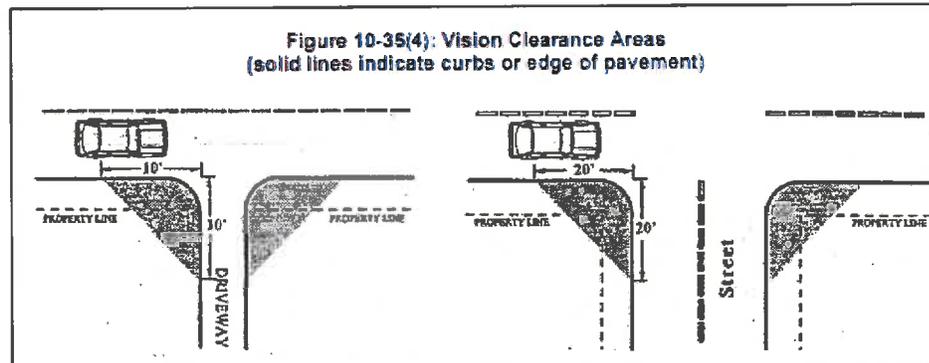
The applicant has not proposed any structures that would have less than the minimum vertical clearance within the driveway area.

10-35-2-14: Vision Clearance: No visual obstruction (e.g., sign, structure, solid fence, or shrub vegetation) shall block the area between two and one-half feet (2 ½') and eight (8) feet in height in "vision clearance areas" on streets, driveways, alleys, mid-block lanes, or multi-use paths where no traffic control stop sign or signal is provided, as shown in Figure 10-35(4). The following requirements shall apply in all zoning districts:

B. At the intersection of an alley or driveway and a street, the minimum vision clearance shall be ten feet (10').

The sides of the minimum vision clearance triangle are the curb line or, where no curb exists, the edge of pavement. Vision clearance requirements may be modified by the Public Works Director upon finding that more or less sight distance is required (i.e., due to traffic speeds, roadway alignment, etc.). This standard does not apply to light standards, utility poles, trees trunks and similar objects. Refer to Section 10-1-4 of this Title for definition.

The applicant shall maintain the vision clearance area free of visual obstructions from 2' 6" to 8' in height. (Condition 8)



10-35-3: PEDESTRIAN ACCESS AND CIRCULATION: All new development shall be required to install sidewalks along the street frontage, unless the City has a planned street improvement, which would require a non-remonstrance agreement.

10-35-3-1: Sidewalk Requirements:

A. Requirements: Sidewalks shall be newly constructed or brought up to current standards concurrently with development under any of the following conditions:

1. Upon any new development of property.

- B. Exceptions:** The Public Works Director may issue a permit and certificate allowing noncompliance with the provisions of subsection (A) of this section and obtain instead a nonremonstrance agreement for future improvements when, in the Public Works Director's determination, the construction of a sidewalk is impractical for one or more of the following reasons:
1. Sidewalk grades have not and cannot be established for the property in question within a reasonable period of time.
 2. Future installation of public utilities or street paving would, of necessity, cause severe damage to existing sidewalks.
 3. Topography or contours make the construction of a sidewalk impractical.
 4. Physical improvements are present along the existing street that prevents a reasonable installation within the right-of-way or adjacent property.
 5. If the proposed development is in a residential zoning district and there are no sidewalks within 400 linear feet.
- C. Appeals:** If the owner, builder or contractor considers any of the requirements impractical for any reason, s/he may appeal the decision to the Planning Commission.
- D. Timing:** Sidewalks shall be constructed and approved by the Public Works Department prior to final inspection for the associated building permit. No certificate of occupancy may be issued until the required sidewalks are constructed or financially secured.

The applicant has proposed to construct sidewalks along 27th Street concurrent with the development of the site. Existing sidewalks along Kingwood Street will be modified as needed. These criteria are met.

10-35-3-2: Site Layout and Design: To ensure safe, direct, and convenient pedestrian circulation, all developments shall provide a continuous pedestrian system. The pedestrian system shall be based on the standards in subsections A - C, below:

- A. Continuous Walkway System.** The pedestrian walkway system shall extend throughout the development site and connect to all future phases of development, and to existing or planned offsite adjacent trails, public parks, and open space areas to the greatest extent practicable. The developer may also be required to connect or stub walkway(s) to adjacent streets and to private property with a previously reserved public access easement for this purpose in accordance with the provisions of Section

10-35-2, Vehicular Access and Circulation, and Section 10-36-2 Street Standards.

- B. Safe, Direct, and Convenient.** Walkways within developments shall provide safe, reasonably direct, and convenient connections between primary building entrances and all adjacent streets, based on the following criteria:
- 1. Reasonably direct.** A route that does not deviate unnecessarily from a straight line or a route that does not involve a significant amount of out-of-direction travel for likely users.
 - 2. Safe and convenient.** Routes that are reasonably free from hazards and provide a reasonably direct route of travel between destinations.
 - 3. "Primary entrance"** for commercial, industrial, mixed use, public, and institutional buildings is the main public entrance to the building. In the case where no public entrance exists, street connections shall be provided to the main employee entrance.

Walkways within the site extend to the employee entrance of the office building from the maintenance building and the proposed areas of parking. The applicant has also proposed a walkway leading to the primary entrance from the parking lot and from the adjacent right-of-ways. The pathways are straight and reasonably direct, safe, and convenient. The proposed walkways meet the requirements.

10-35-3-3: Walkway and Multi-Use Path Design and Construction: Walkways and multi-use paths shall conform to all applicable standards in subsections A - D, as generally illustrated in Figure 10-35(6):

- A. Vehicle/Walkway Separation.** Except for pedestrian crossings (subsection B), where a walkway abuts a driveway or street it shall be raised six (6) inches and curbed along the edge of the driveway/street. Alternatively, the decision body may approve a walkway abutting a driveway at the same grade as the driveway if the walkway is protected from all vehicle maneuvering areas. An example of such protection is a row of decorative metal or concrete bollards designed to withstand a vehicle's impact, with adequate minimum spacing between them to protect pedestrians.
- B. Pedestrian Crossing.** Where a walkway crosses a parking area, or driveway, it shall be clearly marked with contrasting paving materials (e.g., light-color concrete inlay between asphalt), which may be part of a raised/hump crossing area. Painted or thermo-plastic striping and similar types of non-permanent applications may be approved for crossings of not more than twenty-four (24) feet in length.

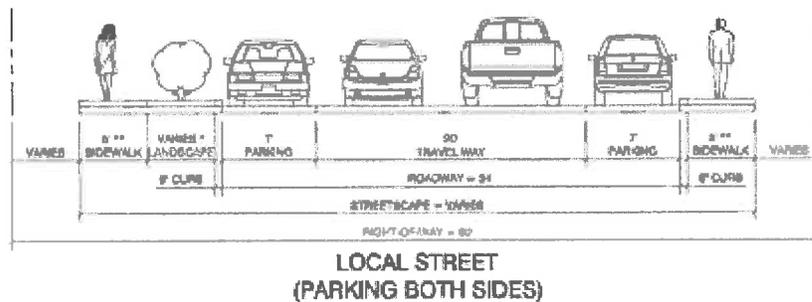
- C. **Width and Surface.** Walkway surfaces shall be concrete, asphalt, brick/masonry pavers, or other durable surface, as approved by the Public Works Director, at least five (5) feet wide, without curb. Multi-use paths (i.e., for bicycles and pedestrians) shall be concrete or asphalt, at least ten (10) feet wide. (See also, Section 10- 36-2)
- D. **Accessible routes.** Walkways and multiuse paths shall conform to applicable Americans with Disabilities Act (ADA) requirements. The ends of all raised walkways, where the walkway intersects a driveway or street shall provide ramps that are ADA accessible, and walkways shall provide direct routes to primary building entrances.

The proposed sidewalks and pedestrian crossings meet the listed requirements. The applicant has proposed that sidewalks on the interior of the site will be separated by both wheel stops as well as raised and curbed. Pedestrian crossings will be marked with contrasting paving materials. The sidewalk will be five feet in width, constructed of concrete, while the driveway leading to the apron will be asphalt. All walkways are proposed to conform to ADA requirements. These criteria are met.

TITLE 10: CHAPTER 36: PUBLIC FACILITIES

10-36-2-5: Rights-of-Way and Street Sections: Street rights-of-way and improvements shall be consistent with the Transportation System Plan and standards specified in Title 8 Chapter 2.

- A. **Street right-of-way and pavement widths shall be based on the following cross section standards. See individual zoning chapters for additional requirements regarding sidewalk width (for sidewalks wider than the standard 5 feet).**



* OPTIONAL LANDSCAPE WIDTH AND LOCATION MAY VARY AND IS TO BE DETERMINED BASED ON PHYSICAL AND BUILT ENVIRONMENT
 ** ALL DOWNTOWN STREETS TO HAVE 5' SIDEWALKS WITH THE EXCEPTION OF COLLECTORS WITH NO ON-STREET PARKING AND HIGH TRAFFIC STREETS WHERE 6' AND 10' SIDEWALKS SHOULD BE INSTALLED, RESPECTIVELY.

Kingwood Street, a designated collector, is fully developed along the frontage of the project site. The applicant has not proposed any changes to the cross section standard for 27th Street, included above. The applicant has proposed the installation of a five foot sidewalk with landscape strip along the parking and travel way. The proposal satisfies these requirements.

10-36-2-16: Sidewalks, Planter Strips, Bicycle Lanes: Sidewalks, planter strips, and bicycle lanes shall be installed in conformance with applicable provisions of the Florence Transportation System Plan, Comprehensive Plan, adopted street plans, City of Florence Standards and Specifications and the following standards:

- A. Sidewalks may be placed adjacent to the street or at the property line with planter strips where practicable, or as otherwise directed by the Public Works Director.**
- D. Sidewalks shall be provided on both sides of the street for all arterial and collector streets. Sidewalks shall be provided on at least one side of the street for local streets. Exceptions may be granted if the City determines that hillsides, drainage facilities, ditches, waters of the state, or natural landscapes are to be preserved, then sidewalks on one side or a multi-use path may be approved. Sidewalks are not required on T-courts (hammer-head).**
- E. Where practical, sidewalks shall be allowed to meander around existing trees if in conformance with the requirements of the Americans with Disabilities Act.**
- F. Maintenance of sidewalks and planter strips in the right-of-way is the continuing obligation of the adjacent property owner.**

The proposed sidewalks meet these requirements. The sidewalks will be constructed at the property line with planter strips adjacent and will meander around existing trees where possible. Public Works will be the maintaining property owner of sidewalks and planter strips adjacent to the Public Works facility.

10-36-2-18: Curbs, Curb Cuts, Ramps, and Driveway Approaches: Concrete curbs, curb cuts, curb ramps, bicycle ramps and driveway approaches shall be constructed in accordance with Chapter 35, Access and Circulation, City of Florence Standards and Specifications and the following standards:

- A. Curb exposure shall be per City Standards and Specifications.**

These criteria have been evaluated above as part of staff review of FCC 10-35.

TITLE 10: CHAPTER 37: LIGHTING

10-37-3: LIGHTING PLANS REQUIRED: All applications for building permits and land use planning review which include installation of exterior lighting fixtures, not exempted, shall include the number of luminaires, the number of lamps in each luminaire, a photometric report for each type of luminaire and a site plan with the photometric plan of the lumen output.

The City shall have the authority to request additional information in order to achieve the purposes of this Ordinance.

The applicant has submitted lighting information to the Planning Commission for review. The applicant has proposed that the maintenance building will have six wall sconces ('SC') on the exterior of the building. The applicant has also proposed that the parking and exterior lots will be lit by four pole lights ('SA').

The applicant shall submit further lighting information as they add parking spaces and hard surface the southern half of the site. Any additional lighting installed on the exterior of the building shall be evaluated by the Planning Department prior to issuance of Certificate of Occupancy. (Condition 9.1)

10-37-4: LIGHTING STANDARDS:

- A. All exterior lighting fixtures subject to this code section must be designed as a full cut-off fixture or have a shielding method to direct light emissions downward below the horizontal plane onto the site and does not shine illumination or glare skyward or onto adjacent or nearby property.**

The applicant has proposed parking lot lighting and wall sconces. The lighting proposed consists of LED full cut-off fixtures, which will not direct light emissions upward beyond the horizontal plane. The fixtures proposed will not shine illumination skyward. It appears from the site photometric plan that illumination will not leave the site and project onto adjacent right-of-ways or properties.

The applicant shall ensure that lighting fixtures do not project light onto adjacent or nearby property. (Condition 9.2)

- B. Parking areas shall have lighting to provide at least two (2) foot-candles of illumination at any point in the entire lot with a maximum of five (5) footcandles over parking spaces and walkways. The Design Review Board may decrease the minimum if the applicant can provide documentation that the overall parking lot has adequate lighting. The Design Review Board may increase the maximum on a case-by-case basis, with no greater than 7 foot-candles measured directly under the light fixture.**

The lighting fixtures mounted above the main parking lot (13 spaces) provides at least two foot-candles of illumination for the entire parking lot with a maximum of 7 foot-candles of illumination.

The photometric plan for the northern grouping of two parking spaces does not demonstrate at least two foot-candles of illumination.

The applicant shall add lighting fixtures or reposition proposed fixtures to provide at least two foot-candles of illumination for those parking spaces. (Condition 9.3)

- D. **Main exterior lights for commercial, institutional, and industrial buildings, landscaping and parking lots shall be extinguished at end of business hours with a minimum lighting remaining for personal and building security and safety after hours.**
- E. **A thirty-day review period beginning with the first day in business using the new lighting system shall be required to evaluate and adjust illumination levels of lighting. The City may ask for lighting to be adjusted in this time period based on public comments or staff inspections.**

The applicant has not stated whether or not the lights will be extinguished at the end of business hours. This approval will not require the lights to be extinguished if needed for building security and safety.

Lighting will be reviewed during a 30-day review period following the issuance of a Certificate of Occupancy. Should the proposed lighting not meet the requirements of FCC 10-37, staff may require the lighting to be adjusted.

TITLE 4: CHAPTER 1: BUILDING REGULATIONS

4-1-15-3: SECURING LOOSE, OPEN OR RAW SAND:

- A. **Prior to taking any of the following actions, any person, firm, corporation, or public agency (city, special district, county, state or federal) shall contact the Community Development Department staff to determine if such actions are likely to cause off-site movement or displacement of loose sand in ways that would damage adjacent properties or create unsafe traffic conditions:**
 - 1. **Excavation**
 - 2. **Removal of any natural or planted ground cover, trees, shrubs, grass**
- B. **The Sand Management Plan shall set out the means by which the applicant will ensure that its actions will not result in the off-site movement or displacement of loose, open or raw sand onto any public way, or public or private property by action of wind or water erosion. If the Community Development Department determines that the Plan includes measures (vegetative, mechanical, and/or other means of sand management) to reasonably ensure that the proposed action's movement or displacement of sand will not result in damage to adjacent properties or unsafe traffic conditions, then the Sand Management Plan will be approved.**

The applicant has proposed to remove all vegetation from the property prior to beginning construction. The applicant has submitted a Sand Management Plan.

TITLE 4: CHAPTER 6: VEGETATION PRESERVATION

4-6-3: VEGETATION CLEARING PERMIT REQUIRED:

- A. A vegetation clearing permit shall be required in any of the following circumstances:
2. Removing native vegetation from any parcel for which a valid building permit has not been issued.

4-6-4: PROCEDURE FOR OBTAINING A VEGETATION CLEARING PERMIT:

- A. A vegetation clearing permit application is required unless the application includes a concurrent application for a building permit or Conditional Use Permit, except that the criteria in FCC 4-6-4 C shall also apply to any removal of native vegetation from a significant riparian or wetland buffer zone requested as part of a setback adjustment granted under FCC 10-7-4.

The applicant has proposed the removal of all native vegetation from the site prior to obtaining building permits in order to save on construction costs. The applicant has submitted a landscaping plan for revegetation of the site. Approval for vegetation clearing will be issued with this permit application for a Conditional Use Permit with Design Review.

FLORENCE REALIZATION 2020 COMPREHENSIVE PLAN

CHAPTER 2: LAND USE

INDUSTRIAL

- POLICY 1.** The City shall encourage development of the City's Pacific View (Kingwood) Business Park, which has been planned and zoned, and for which infrastructure is provided, to readily accommodate suitable light industrial, and research and development uses and to provide for businesses and industries that provide family wage year-round employment.

The site of the proposed Public Works facility is appropriate for the zone, will provide additional infrastructure to the area, and provide room for growth for a large area employer. The proposed facility will provide lease income for the Florence Municipal Airport, sustaining that anchor for the future development of the Pacific View Business Park.

- POLICY 6.** New industrial development shall observe the City's performance standards regulating noise, glare, dust, odor, and fire hazards to insure that the City's clean air, water and

other natural resources are not adversely affected by such development.

The proposed facility, while a possible source of noise and dust, will not be a source of glare, odor, or fire hazards. The noise and dust on the grounds should be kept to a minimum as most work is carried out throughout the City and not inside the Public Works facility. The area will be used as a storage yard for equipment and materials. The current operations of the Public Works Department have not been a source of any adverse effects listed such as noise, glare, dust, odor, or fire hazards.

CHAPTER 14: TRANSPORTATION

14. Streets shall be designed to efficiently and safely accommodate emergency service vehicles.

- **The City shall accommodate local freight traffic accessing the industrial areas along Kingwood Avenue via 9th, 27th, and 35th Streets by maintaining adequate clear street widths (unimpeded by parking or overhanging signs/trees), adequate turning radii, and visibility.**

The applicant has proposed a water-filling station along Kingwood Street, the permanent placement of this facility may impede freight traffic traveling down Kingwood Street by allowing parking adjacent to the station, however, turning radii are unlikely to be affected.

OREGON REVISED STATUTES

ORS 227.100

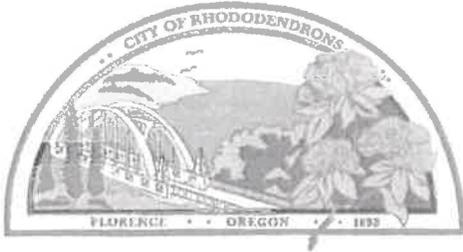
Submission of plats for subdivisions and plans for street alterations and public buildings to commission; report. All subdivision plats located within the city limits, and all plans or plats for vacating or laying out, widening, extending, parking and locating streets or plans for public buildings shall first be submitted to the commission by the city engineer or other proper municipal officer, and a report thereon from the commission secured in writing before approval is given by the proper municipal official. [Amended by 1955 c.756 §26]

The applicant has submitted plans for a public building for review by staff and approval decided upon by the Planning Commission. The Planning Commission adopted Findings in support of the proposed facility. This criterion is met.

VI. EXHIBITS

"A" Findings of Fact
"B" Land Use Application

"C" Site Plans
"D" Elevation Drawings, Exterior Colors, and Materials
"E" Landscaping Plans
"F" Erosion Control Plans
"G" Lighting Plans



City of Florence
 Community Development Department
 250 Highway 101
 Florence, OR 97439
 Phone: (541) 997 - 8237
 Fax: (541) 997 - 4109
www.ci.florence.or.us

Type of Request

Design Review (DR) (See FCC 10-6) **Conditional Use Permit (CUP)** (See FCC 10-4)

Applicant Information

Name: City of Florence Phone 1: 541-997-3437
 E-mail Address: megan.messmer@ci.florence.or.us Phone 2: _____
 Address: 250 Highway 101, Florence, OR 97439
 Signature: ER Reynolds Date: 9/12/16
 Applicant's Representative (if any): Erin Reynolds, City Manager

Property Owner Information

Name: City of Florence Phone 1: 541-997-3437
 E-mail Address: _____ Phone 2: _____
 Address: 250 Highway 101, Florence, OR 97439
 Signature: ER Reynolds Date: 9/12/16
 Applicant's Representative (if any): Erin Reynolds, City Manager

NOTE: If applicant and property owner are not the same individual, a signed letter of authorization from the property owner which allows the applicant to act as the agent for the property owner must be submitted to the City along with this application. The property owner agrees to allow the Planning Staff and the Planning Commission onto the property. Please inform Planning Staff if prior notification or special arrangements are necessary.

For Office Use Only:

RECEIVED
 City of Florence
 SEP 12 2016
 By: GMS

Approved
APPROVED
City of Florence
Community Development
Department
"B" PC1622CUP06
Exhibit **File Number**

Exhibit
Exhibit B

Property Description

Site Address: 2675 Kingwood Street

General Description: 3 vacant lots on the southeast corner of the Kingwood and 27th Street intersection

Assessor's Map No.: 18 - 12 - 22 - 42

Tax lot(s): 00300, 00400, 00500

Zoning District: Pacific View Business Park

Conditions & land uses within 300 feet of the proposed site that is one-acre or larger and within 100 feet of the site that is less than an acre OR add this information to the off-site conditions map (FCC 10-1-1-4-B-3): Airport, Light Industrial, Medical/Dental Offices, Funeral Home, School District, General Offices, vacant lands

Project Description

Square feet of new: 13,696 SF (see below)

Square feet of existing: currently undeveloped

Hours of operation: 7 am - 5 pm, M-F

Existing parking spaces: none

Is any project phasing anticipated? (Check One): Yes No

Timetable of proposed improvements: Phase One complete June 2017

Will there be impacts such as noise, dust, or outdoor storage? Yes No

If yes, please describe: Outdoor storage of PW equipment and materials. There will be a secure fence around storage. PW Operations begin at 7am with related noise. Similar equipment noise to other light industrial uses in the area.

Proposal: (Describe the project in detail, what is being proposed, size, objectives, and what is desired by the project. Attach additional sheets as necessary)

City of Florence intends to improve vacant site with new Public Works Facility, including two new structures: 5,942 SF office building with potential future expansion; 7,754 SF maintenance building with potential future expansion. Site will contain visitor and secured staff parking areas, screened storage yard, new bulk water fill station located on Kingwood, and several landscaped stormwater planters. Project site is in the Pacific View Business Park zone. Site area is approximately 2.78 acres (121,286 SF). The project will also require clearing of the entire site.

For Office Use Only:

Date Submitted: _____ Fee: _____

Received by: _____

Paid

Other Information Required

Below is a check list of the required information to determine if an application is complete. The Florence City Code is available at City Hall or online at www.ci.florence.or.us (click on "City Code" which is located on the main menu). You will also find the *Florence Transportation Plan*, *Downtown Architectural Guidelines*, *Highway 101 Access Management Plans*, *Stormwater Design Manual*, and *Stormwater Management Plan* available on the City's website or at the City Hall for review or purchase.

Site Plan existing and proposed drawn to scale, showing the following:

- Existing and proposed site boundaries and proposed lot boundaries
- Existing and proposed structures
- Existing and proposed roads, streets, rights-of-way, pedestrian walks (widths and types), names, grades, radii
- Existing and proposed utility services – location of water and sewer lines, drainage routes and facilities, manholes, meters, fire hydrants, etc...
- Areas of scenic value, wildlife habitat, potential hazard areas (floodplains, geologic instability), wetlands, or other areas of special significance

Note: Please submit an electronic copy of any plans submitted larger than 11" x 17"

A title report from a title company showing:

- Existing liens
- Access and/or utility easements
- Legal description

Utility Plan:

List all utilities currently available to the site AND add this information to a utility plan map (See FCC 10-1-1-4-B-2).

Note: For help identifying the location of utilities, please call Dig Safely Oregon at 1-800-332-2344 or dial 811. Call Public Works (541-997-4106) to determine the size of utility lines. Call the Fire Marshal (541-997-3212) to determine fire flows.

Water Supply: 8" and 10" - inch line available from 8" - 27th St.; 10" - Kingwood (Street)

Sanitary Sewer: 8" - inch line available from Kingwood and 27th St. (Street)

Storm Sewer: 12" - inch line available from Kingwood (Street)

Check if available: Telephone Cable TV Electrical Other (Such as fiber optics)

Please provide a plan drawn to common scale showing the location of existing and proposed buildings, existing and proposed utility services, location and size of water and sewer lines, drainage routes, manholes, meters, fire hydrants, fire flows, and 2' contours.

Lighting Plan:

Show location of each light fixture, diagram illustrating foot-candle distribution, and elevation drawing of each light fixture in conformance to FCC 10-3-8-G.

Access Permits:

For properties along State or County roads (see FCC 10-35-2-4), a state or county access permit or application is required. For properties on Highway 101 located between Highway 126 and the Siuslaw River Bridge, please also refer to the *Highway 101 Access Management Plan*.

Proposed:

Are new streets planned or needed? (Please refer to the Transportation System Plan)

Yes No If yes, please describe: _____

Are utility upgrades or extensions planned or needed?

Yes No If yes, please describe: _____

If you answered yes to either question above, how will these improvements be funded?

Stormwater Plan:

Per FCC 9-5-2-4, a drainage plan is required for projects which add **500 SQUARE FEET OR GREATER** of impervious surface area or clearing vegetation from **10,000 SQUARE FEET OR GREATER** (single family homes are excluded). Please refer to FCC 9-5 and the Florence Stormwater Design Manual for requirements.

Traffic Impact Study:

Per FCC 10-1-1-4-D, larger projects may require a Traffic Impact Study. Please attach a TIA if needed.

Design & Architectural Drawings:

Per FCC 10-6-6-C, if applying for a design review, please attach or describe colors and materials being used as well as elevations of the proposed building.

Landscaping Plan:

Per FCC 10-34-3-2, the location, size and species of newly proposed plant materials, location(s) of area where existing vegetation will be cleared and/or preserved, irrigation and anticipated planting schedule, and location of existing and proposed fences and walls including buffering and screening materials.

Erosion Control:

Projects of over 1 acre of land disturbance over a period of time (please see FCC 10-36-4) are required to obtain a National Pollution Discharge Elimination System permit from the Department of Environmental Quality prior to the issuance of a development permit or land use permit based on appropriate criteria.

Site Investigation Report:

Refer to FCC 10-7-3 for the list of hazard areas **within** the City Limits which will require a SIR.

Old Town District:

Survey: Properties within the Old Town District require a recent survey per FCC 10-17 for all new development, redevelopment, and additions which show property lines, easements, 2' contours, existing structures, floodplain, and highest observed tide.

Visual Aids: New construction or story additions require visual aids. Please refer to FCC 10-17.

CITY OF FLORENCE, PUBLIC WORKS - FACILITIES BUILDINGS

PROJECT DIRECTORY	VICINITY MAP	NTS	PROJECT SUMMARY	BUILDING CODE SUMMARY	INDEX OF DRAWINGS
<p>CITY OF FLORENCE, PUBLIC WORKS 514-0274106 TEL: (503) 226-3117 ATTN: (503) 226-3117</p> <p>SCOTT EDWARDS ARCHITECTURE LLP 503-226-3117 TEL: (503) 226-3117 ATTN: (503) 226-3117</p> <p>SCOTT EDWARDS ARCHITECTURE LLP 222 E. Burnside St., Portland, OR 97134 phone (503) 226-3117 www.seaapp.com</p>			<p>BUILDING INFORMATION: 222 E. BURNSIDE STREET, FLORENCE, OREGON 97134 222 E. BURNSIDE STREET AT 17TH STREET PROJECT DESCRIPTION: CITY OF FLORENCE INTENDS TO IMPROVE VACANT SITE WITH NEW PUBLIC WORKS FACILITY INCLUDING TWO NEW STAFF BLDGS, 642 SF EACH WITH FULL LABORATORY, SITE WILL CONTAIN VISOR AND SECURED STORAGE FOR TRUCKS, AND GENERAL UNDEVELOPED SITE WITH PLANNERS</p> <p>PROJECT SITE IS IN THE PACIFIC VIEW BUSINESS PARK ZONE. SITE AREA IS APPROXIMATELY 2.78 ACRES (121,059 SF)</p>	<p>APPLICABLE CODES: 2014 OREGON INTERNATIONAL BUILDING CODE 2014 OREGON ELECTRICAL SPECIALTY CODE 2014 OREGON MECHANICAL SPECIALTY CODE 2014 OREGON FIRE SAFETY CODE 2014 OREGON ENERGY EFFICIENCY SPECIALTY CODE</p> <p>1. OFFICE BUILDING ASB ASB-1 ASB-2 ASB-3 ASB-4 ASB-5 ASB-6 ASB-7 ASB-8 ASB-9 ASB-10 ASB-11 ASB-12 ASB-13 ASB-14 ASB-15 ASB-16 ASB-17 ASB-18 ASB-19 ASB-20 ASB-21 ASB-22 ASB-23 ASB-24 ASB-25 ASB-26 ASB-27 ASB-28 ASB-29 ASB-30 ASB-31 ASB-32 ASB-33 ASB-34 ASB-35 ASB-36 ASB-37 ASB-38 ASB-39 ASB-40 ASB-41 ASB-42 ASB-43 ASB-44 ASB-45 ASB-46 ASB-47 ASB-48 ASB-49 ASB-50 ASB-51 ASB-52 ASB-53 ASB-54 ASB-55 ASB-56 ASB-57 ASB-58 ASB-59 ASB-60 ASB-61 ASB-62 ASB-63 ASB-64 ASB-65 ASB-66 ASB-67 ASB-68 ASB-69 ASB-70 ASB-71 ASB-72 ASB-73 ASB-74 ASB-75 ASB-76 ASB-77 ASB-78 ASB-79 ASB-80 ASB-81 ASB-82 ASB-83 ASB-84 ASB-85 ASB-86 ASB-87 ASB-88 ASB-89 ASB-90 ASB-91 ASB-92 ASB-93 ASB-94 ASB-95 ASB-96 ASB-97 ASB-98 ASB-99 ASB-100</p>	<p>INDEX OF DRAWINGS</p> <p>KEY: A ISSUED FOR CONTRACTOR REVIEW B ISSUED FOR PERMITS C ISSUED FOR CONSTRUCTION / PERMIT D ISSUED FOR REFERENCE ONLY E REVISION (ISSUED VIA 8-1/2 x 11)</p> <p>ARCHITECTURAL A10 SITE PLAN A11 SITE DETAILS A12 OFFICE FLOOR PLAN A23 OFFICE ROOF PLAN & DETAILS A27 MANT. FLOOR PLAN A28 MANT. ROOF PLAN A29 OFFICE EXT. ELEVATIONS A32 OFFICE EXT. ELEV. SECTIONS A33 MANT. EXTERIOR ELEVATIONS A44 MANT. BUILDING SECTIONS A47 EXTERIOR DETAILS A81 INTERIOR ELEVATIONS & ADA COMPLIANCE STDS A86 INTERIOR DETAILS A100 FINISH & DOOR SCHEDULE A101 ASSEMBLIES S10 STRUCTURAL NOTES S20 FOUNDATION PLAN OFFICE BLDG S21 UPPER / LOWER ROOF FINISHING PLANS S30M FOUNDATION DETAILS MAINTENANCE BLDG S40 ROOF FRAMING DETAILS S41 ROOF FRAMING DETAILS S42 ROOF FRAMING DETAILS M10 ABBREVIATIONS & SYMBOLS LIST M2.0 SCHEDULES - HVAC M2.1 OFFICE PLAN - HVAC M2.2 OFFICE PLAN - HVAC M2.3 OFFICE PLAN - HVAC M2.4 OFFICE PLAN - HVAC M2.5 OFFICE PLAN - HVAC M2.6 OFFICE PLAN - HVAC M2.7 OFFICE PLAN - HVAC M2.8 OFFICE PLAN - HVAC M2.9 OFFICE PLAN - HVAC M2.10 OFFICE PLAN - HVAC M2.11 OFFICE PLAN - HVAC M2.12 OFFICE PLAN - HVAC M2.13 OFFICE PLAN - HVAC M2.14 OFFICE PLAN - HVAC M2.15 OFFICE PLAN - HVAC M2.16 OFFICE PLAN - HVAC M2.17 OFFICE PLAN - HVAC M2.18 OFFICE PLAN - HVAC M2.19 OFFICE PLAN - HVAC M2.20 OFFICE PLAN - HVAC M2.21 OFFICE PLAN - HVAC M2.22 OFFICE PLAN - HVAC M2.23 OFFICE PLAN - HVAC M2.24 OFFICE PLAN - HVAC M2.25 OFFICE PLAN - HVAC M2.26 OFFICE PLAN - HVAC M2.27 OFFICE PLAN - HVAC M2.28 OFFICE PLAN - HVAC M2.29 OFFICE PLAN - HVAC M2.30 OFFICE PLAN - HVAC M2.31 OFFICE PLAN - HVAC M2.32 OFFICE PLAN - HVAC M2.33 OFFICE PLAN - HVAC M2.34 OFFICE PLAN - HVAC M2.35 OFFICE PLAN - HVAC M2.36 OFFICE PLAN - HVAC M2.37 OFFICE PLAN - HVAC M2.38 OFFICE PLAN - HVAC M2.39 OFFICE PLAN - HVAC M2.40 OFFICE PLAN - HVAC M2.41 OFFICE PLAN - HVAC M2.42 OFFICE PLAN - HVAC M2.43 OFFICE PLAN - HVAC M2.44 OFFICE PLAN - HVAC M2.45 OFFICE PLAN - HVAC M2.46 OFFICE PLAN - HVAC M2.47 OFFICE PLAN - HVAC M2.48 OFFICE PLAN - HVAC M2.49 OFFICE PLAN - HVAC M2.50 OFFICE PLAN - HVAC M2.51 OFFICE PLAN - HVAC M2.52 OFFICE PLAN - HVAC M2.53 OFFICE PLAN - HVAC M2.54 OFFICE PLAN - HVAC M2.55 OFFICE PLAN - HVAC M2.56 OFFICE PLAN - HVAC M2.57 OFFICE PLAN - HVAC M2.58 OFFICE PLAN - HVAC M2.59 OFFICE PLAN - HVAC M2.60 OFFICE PLAN - HVAC M2.61 OFFICE PLAN - HVAC M2.62 OFFICE PLAN - HVAC M2.63 OFFICE PLAN - HVAC M2.64 OFFICE PLAN - HVAC M2.65 OFFICE PLAN - HVAC M2.66 OFFICE PLAN - HVAC M2.67 OFFICE PLAN - HVAC M2.68 OFFICE PLAN - HVAC M2.69 OFFICE PLAN - HVAC M2.70 OFFICE PLAN - HVAC M2.71 OFFICE PLAN - HVAC M2.72 OFFICE PLAN - HVAC M2.73 OFFICE PLAN - HVAC M2.74 OFFICE PLAN - HVAC M2.75 OFFICE PLAN - HVAC M2.76 OFFICE PLAN - HVAC M2.77 OFFICE PLAN - HVAC M2.78 OFFICE PLAN - HVAC M2.79 OFFICE PLAN - HVAC M2.80 OFFICE PLAN - HVAC M2.81 OFFICE PLAN - HVAC M2.82 OFFICE PLAN - HVAC M2.83 OFFICE PLAN - HVAC M2.84 OFFICE PLAN - HVAC M2.85 OFFICE PLAN - HVAC M2.86 OFFICE PLAN - HVAC M2.87 OFFICE PLAN - HVAC M2.88 OFFICE PLAN - HVAC M2.89 OFFICE PLAN - HVAC M2.90 OFFICE PLAN - HVAC M2.91 OFFICE PLAN - HVAC M2.92 OFFICE PLAN - HVAC M2.93 OFFICE PLAN - HVAC M2.94 OFFICE PLAN - HVAC M2.95 OFFICE PLAN - HVAC M2.96 OFFICE PLAN - HVAC M2.97 OFFICE PLAN - HVAC M2.98 OFFICE PLAN - HVAC M2.99 OFFICE PLAN - HVAC M2.100 OFFICE PLAN - HVAC</p>

GENERAL NOTES	WORK BY OWNER	DEFERRED / BIDDER ITEMS	ADD ALTERNATES
<p>1. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AFFECTING AGENCIES AND AGENCIES.</p> <p>2. DIMENSIONS TAKE PRECEDENCE OVER DRAWINGS. DO NOT SCALE DRAWINGS TO DETERMINE ANY LOCATIONS. THE ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCY PRIOR TO COMMENCING WORK.</p> <p>3. ALL DIMENSIONS SHALL BE TO FINISH UNLESS OTHERWISE NOTED.</p> <p>4. ALL CONSTRUCTION SHALL COMPLY WITH THE 2014 OREGON STRUCTURAL CODE, AND ALL LOCAL GOVERNING BUILDING CODES AND ORDINANCES.</p> <p>5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AFFECTING AGENCIES AND AGENCIES.</p> <p>6. ALL REQUIRED CITY AND COUNTY LICENSES SHALL BE ACQUIRED AND PAID FOR BY THE INDIVIDUAL TRADE.</p> <p>7. THE ARCHITECT WILL REVIEW SHOP DRAWINGS AND PROVIDE THE ARCHITECT'S REVIEW OF A SIGNATURE ITEM SHALL NOT INDICATE APPROVAL OF AN ASSEMBLY IN WHICH THE IDENTIFICATION OF THE TRADESMAN IS NOT SHOWN. WHETHER SHOWN OR NOT, AND TO PROTECT THE TRADESMAN'S RIGHTS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AFFECTING AGENCIES AND AGENCIES.</p> <p>8. ALL SUBCONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AFFECTING AGENCIES AND AGENCIES.</p> <p>9. CITY APPROVED PLANS SHALL BE SET IN A SECURE PLACE AND SHALL NOT BE LOANED OR REPRODUCED IN ANY MANNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AFFECTING AGENCIES AND AGENCIES.</p> <p>10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AFFECTING AGENCIES AND AGENCIES.</p> <p>11. ALL DEBRIS SHALL BE REMOVED FROM THE PREMISES AND ALL AREAS SHALL BE LEFT IN A BROOM CLEAN CONDITION AT ALL TIMES.</p> <p>12. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO ENSURE THE SAFETY OF THE OCCUPANTS AND WORKERS AT ALL TIMES.</p> <p>13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION OF ANY CONSTRUCTION UNTIL ALL FINAL LATERAL AND VERTICAL LOAD CARrying SYSTEMS ARE COMPLETED.</p> <p>14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AFFECTING AGENCIES AND AGENCIES.</p> <p>15. ALL ELECTRICAL MECHANICAL AND PLUMBING WORK SHALL CONFORM TO THE REQUIREMENTS OF THE CURRENT IBC, IMC, UPC, RESPECTIVELY.</p> <p>16. CONTRACTOR TO PROVIDE BACKLOG RECORDS AS REQUIRED FOR ALL WORK. ALL RECORDS SHALL BE MAINTAINED IN ACCORDANCE WITH ALL APPLICABLE CODES, ETC.</p> <p>17. GULFS SHALL BE USED TO SEAL ALL JOINTS OF MILLWORK, TRIM, EQUIPMENT MOUNTING WALL PENETRATIONS AND FLASHINGS TO PRODUCE A WEATHER-TIGHT SEAL.</p> <p>18. THE SITE AND BUILDINGS ARE DESIGNED TO COMPLY WITH ADA/AGCS CODES.</p>	<p>1. THE FOLLOWING ITEMS REQUIRE OWNER PROVIDED COSTUME AND SHOULD BE COMPLETED WHEN AVAILABLE UNLESS NOTED OTHERWISE. ALL ITEMS ARE SUBJECT TO THE ARCHITECT'S REVIEW AND THE ARCHITECT'S APPROVAL IS REQUIRED FOR ALL ITEMS TO BE COMPLETED.</p> <p>ITEMS: 1. WALL/CORNER MARKERS 2. SYSTEMS PARTS/UR 3. OTHER PARTS AND OFFICE MARKERS</p>	<p>CONTRACTOR SHALL PROVIDE COMPLETE DESIGN AND DOCUMENTATION AS REQUIRED FOR SUBMISSION TO AND APPROVAL BY THE ARCHITECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AFFECTING AGENCIES AND AGENCIES.</p> <p>1. EXTEND EXISTING WALLS ABOVE GRADE 2. EXTEND EXISTING WALLS ABOVE GRADE 3. EXTEND EXISTING WALLS ABOVE GRADE 4. EXTEND EXISTING WALLS ABOVE GRADE 5. EXTEND EXISTING WALLS ABOVE GRADE 6. EXTEND EXISTING WALLS ABOVE GRADE 7. EXTEND EXISTING WALLS ABOVE GRADE 8. EXTEND EXISTING WALLS ABOVE GRADE 9. 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EXTEND EXISTING WALLS ABOVE GRADE 88. EXTEND EXISTING WALLS ABOVE GRADE 89. EXTEND EXISTING WALLS ABOVE GRADE 90. EXTEND EXISTING WALLS ABOVE GRADE 91. EXTEND EXISTING WALLS ABOVE GRADE 92. EXTEND EXISTING WALLS ABOVE GRADE 93. EXTEND EXISTING WALLS ABOVE GRADE 94. EXTEND EXISTING WALLS ABOVE GRADE 95. EXTEND EXISTING WALLS ABOVE GRADE 96. EXTEND EXISTING WALLS ABOVE GRADE 97. EXTEND EXISTING WALLS ABOVE GRADE 98. EXTEND EXISTING WALLS ABOVE GRADE 99. EXTEND EXISTING WALLS ABOVE GRADE 100. EXTEND EXISTING WALLS ABOVE GRADE</p>	<p>1. OFFICE BUILDING - MANUFACTURED ROOF TRUSSES 2. WATER BUILDING - MANUFACTURED TRUSS BUILDING</p> <p>IN ADDITION TO THE BASE BID, THE CONTRACTOR SHALL PROVIDE THE FOLLOWING ALTERNATES:</p> <p>ITEMS: 1. EXTEND ASPHALT PAVING FOR SITE PLAN 2. EXTEND SECURITY FENCING PER SITE PLAN 3. MAINTENANCE BUILDING - CONSTRUCTION TOILET ROOM #65 4. OFFICE BUILDING - INSTALL 150MM SINK LIGHTS ABOVE ROOM 113 5. OFFICE BUILDING - INSTALL 150MM SINK LIGHTS ABOVE ROOM 114 6. OFFICE BUILDING - INSTALL 150MM SINK LIGHTS ABOVE ROOM 115 7. OFFICE BUILDING - INSTALL 150MM SINK LIGHTS ABOVE ROOM 116 8. OFFICE BUILDING - INSTALL 150MM SINK LIGHTS ABOVE ROOM 117 9. OFFICE BUILDING - INSTALL 150MM SINK LIGHTS ABOVE ROOM 118 10. OFFICE BUILDING - INSTALL 150MM SINK LIGHTS ABOVE ROOM 119 11. OFFICE BUILDING - INSTALL 150MM SINK LIGHTS ABOVE ROOM 120 12. OFFICE BUILDING - INSTALL 150MM SINK LIGHTS ABOVE ROOM 121 13. OFFICE BUILDING - INSTALL 150MM SINK LIGHTS ABOVE ROOM 122 14. OFFICE BUILDING - INSTALL 150MM SINK LIGHTS ABOVE ROOM 123 15. OFFICE BUILDING - INSTALL 150MM SINK LIGHTS ABOVE ROOM 124 16. OFFICE BUILDING - INSTALL 150MM SINK LIGHTS ABOVE ROOM 125 17. OFFICE BUILDING - INSTALL 150MM SINK LIGHTS ABOVE ROOM 126 18. OFFICE BUILDING - INSTALL 150MM SINK LIGHTS ABOVE ROOM 127 19. OFFICE BUILDING - INSTALL 150MM SINK LIGHTS ABOVE ROOM 128 20. OFFICE BUILDING - INSTALL 150MM SINK LIGHTS ABOVE ROOM 129 21. OFFICE BUILDING - INSTALL 150MM SINK LIGHTS ABOVE ROOM 130 22. OFFICE BUILDING - INSTALL 150MM SINK LIGHTS ABOVE ROOM 131 23. OFFICE BUILDING - INSTALL 150MM SINK LIGHTS ABOVE ROOM 132 24. OFFICE BUILDING - INSTALL 150MM SINK LIGHTS ABOVE ROOM 133 25. OFFICE BUILDING - INSTALL 150MM SINK LIGHTS ABOVE ROOM 134 26. OFFICE BUILDING - INSTALL 150MM SINK LIGHTS ABOVE ROOM 135 27. OFFICE BUILDING - INSTALL 150MM SINK LIGHTS ABOVE ROOM 136 28. OFFICE BUILDING - INSTALL 150MM SINK LIGHTS ABOVE ROOM 137 29. OFFICE BUILDING - INSTALL 150MM SINK LIGHTS ABOVE ROOM 138 30. OFFICE BUILDING - INSTALL 150MM SINK LIGHTS ABOVE ROOM 139 31. OFFICE BUILDING - INSTALL 150MM SINK LIGHTS ABOVE ROOM 140 32. OFFICE BUILDING - INSTALL 150MM SINK LIGHTS ABOVE ROOM 141 33. OFFICE BUILDING - INSTALL 150MM SINK LIGHTS ABOVE ROOM 142 34. OFFICE BUILDING - INSTALL 150MM SINK LIGHTS ABOVE ROOM 143 35. OFFICE BUILDING - INSTALL 150MM SINK LIGHTS ABOVE ROOM 144 36. OFFICE BUILDING - INSTALL 150MM SINK LIGHTS ABOVE ROOM 145 37. OFFICE BUILDING - INSTALL 150MM SINK LIGHTS ABOVE ROOM 146 38. OFFICE BUILDING - INSTALL 150MM SINK LIGHTS ABOVE ROOM 147 39. OFFICE BUILDING - INSTALL 150MM SINK LIGHTS ABOVE ROOM 148 40. OFFICE BUILDING - INSTALL 150MM SINK LIGHTS ABOVE ROOM 149 41. OFFICE BUILDING - INSTALL 150MM SINK LIGHTS ABOVE ROOM 150 42. OFFICE BUILDING - INSTALL 150MM SINK LIGHTS ABOVE ROOM 151 43. OFFICE BUILDING - INSTALL 150MM SINK LIGHTS ABOVE ROOM 152 44. OFFICE BUILDING - INSTALL 150MM SINK LIGHTS ABOVE ROOM 153 45. OFFICE BUILDING - INSTALL 150MM SINK LIGHTS ABOVE ROOM 154 46. OFFICE BUILDING - INSTALL 150MM SINK LIGHTS ABOVE ROOM 155 47. OFFICE BUILDING - INSTALL 150MM SINK LIGHTS ABOVE ROOM 156 48. OFFICE BUILDING - INSTALL 150MM SINK LIGHTS ABOVE ROOM 157 49. OFFICE BUILDING - INSTALL 150MM SINK LIGHTS ABOVE ROOM 158 50. OFFICE BUILDING - INSTALL 150MM SINK LIGHTS ABOVE ROOM 159 51. 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OFFICE BUILDING - INSTALL 150MM SINK LIGHTS ABOVE ROOM 190 82. OFFICE BUILDING - INSTALL 150MM SINK LIGHTS ABOVE ROOM 191 83. OFFICE BUILDING - INSTALL 150MM SINK LIGHTS ABOVE ROOM 192 84. OFFICE BUILDING - INSTALL 150MM SINK LIGHTS ABOVE ROOM 193 85. OFFICE BUILDING - INSTALL 150MM SINK LIGHTS ABOVE ROOM 194 86. OFFICE BUILDING - INSTALL 150MM SINK LIGHTS ABOVE ROOM 195 87. OFFICE BUILDING - INSTALL 150MM SINK LIGHTS ABOVE ROOM 196 88. OFFICE BUILDING - INSTALL 150MM SINK LIGHTS ABOVE ROOM 197 89. OFFICE BUILDING - INSTALL 150MM SINK LIGHTS ABOVE ROOM 198 90. OFFICE BUILDING - INSTALL 150MM SINK LIGHTS ABOVE ROOM 199 91. OFFICE BUILDING - INSTALL 150MM SINK LIGHTS ABOVE ROOM 200</p>

ABBREVIATIONS
<p>1. 1/2" = 1'-0" (1/2" = 1'-0") 2. 1/4" = 1'-0" (1/4" = 1'-0") 3. 1/8" = 1'-0" (1/8" = 1'-0") 4. 1/16" = 1'-0" (1/16" = 1'-0") 5. 1/32" = 1'-0" (1/32" = 1'-0") 6. 1/64" = 1'-0" (1/64" = 1'-0") 7. 1/128" = 1'-0" (1/128" = 1'-0") 8. 1/256" = 1'-0" (1/256" = 1'-0") 9. 1/512" = 1'-0" (1/512" = 1'-0") 10. 1/1024" = 1'-0" (1/1024" = 1'-0") 11. 1/2048" = 1'-0" (1/2048" = 1'-0") 12. 1/4096" = 1'-0" (1/4096" = 1'-0") 13. 1/8192" = 1'-0" (1/8192" = 1'-0") 14. 1/16384" = 1'-0" (1/16384" = 1'-0") 15. 1/32768" = 1'-0" (1/32768" = 1'-0") 16. 1/65536" = 1'-0" (1/65536" = 1'-0") 17. 1/131072" = 1'-0" (1/131072" = 1'-0") 18. 1/262144" = 1'-0" (1/262144" = 1'-0") 19. 1/524288" = 1'-0" (1/524288" = 1'-0") 20. 1/1048576" = 1'-0" (1/1048576" = 1'-0") 21. 1/2097152" = 1'-0" (1/2097152" = 1'-0") 22. 1/4194304" = 1'-0" (1/4194304" = 1'-0") 23. 1/8388608" = 1'-0" (1/8388608" = 1'-0") 24. 1/16777216" = 1'-0" (1/16777216" = 1'-0") 25. 1/33554432" = 1'-0" (1/33554432" = 1'-0") 26. 1/67108864" = 1'-0" (1/67108864" = 1'-0") 27. 1/134217728" = 1'-0" (1/134217728" = 1'-0") 28. 1/268435456" = 1'-0" (1/268435456" = 1'-0") 29. 1/536870912" = 1'-0" (1/536870912" = 1'-0") 30. 1/1073741824" = 1'-0" (1/1073741824" = 1'-0") 31. 1/2147483648" = 1'-0" (1/2147483648" = 1'-0") 32. 1/4294967296" = 1'-0" (1/4294967296" = 1'-0") 33. 1/8589934592" = 1'-0" (1/8589934592" = 1'-0") 34. 1/17179869184" = 1'-0" (1/17179869184" = 1'-0") 35. 1/34359738368" = 1'-0" (1/34359738368" = 1'-0") 36. 1/68719476736" = 1'-0" (1/68719476736" = 1'-0") 37. 1/137438953472" = 1'-0" (1/137438953472" = 1'-0") 38. 1/274877906944" = 1'-0" (1/274877906944" = 1'-0") 39. 1/549755813888" = 1'-0" (1/549755813888" = 1'-0") 40. 1/1099511627776" = 1'-0" (1/1099511627776" = 1'-0") 41. 1/2199023255552" = 1'-0" (1/2199023255552" = 1'-0") 42. 1/4398046511104" = 1'-0" (1/4398046511104" = 1'-0") 43. 1/8796093022208" = 1'-0" (1/8796093022208" = 1'-0") 44. 1/17592186444416" = 1'-0" (1/17592186444416" = 1'-0") 45. 1/35184372888832" = 1'-0" (1/35184372888832" = 1'-0") 46. 1/70368745777664" = 1'-0" (1/70368745777664" = 1'-0") 47. 1/140737491555296" = 1'-0" (1/140737491555296" = 1'-0") 48. 1/281474983110592" = 1'-0" (1/281474983110592" = 1'-0") 49. 1/562949966221184" = 1'-0" (1/562949966221184" = 1'-0") 50. 1/1125899932442368" = 1'-0" (1/1125899932442368" = 1'-0") 51. 1/2251799864884736" = 1'-0" (1/2251799864884736" = 1'-0") 52. 1/4503599729769472" = 1'-0" (1/4503599729769472" = 1'-0") 53. 1/9007199459538944" = 1'-0" (1/9007199459538944" = 1'-0") 54. 1/18014398919077888" = 1'-0" (1/18014398919077888" = 1'-0") 55. 1/36028797838155776" = 1'-0" (1/36028797838155776" = 1'-0") 56. 1/72057595676311552" = 1'-0" (1/72057595676311552" = 1'-0") 57. 1/144115191352623104" = 1'-0" (1/144115191352623104" = 1'-0") 58. 1/288230382705246208" = 1'-0" (1/288230382705246208" = 1'-0") 59. 1/576460765410492416" = 1'-0" (1/576460765410492416" = 1'-0") 60. 1/115292153082098432" = 1'-0" (1/115292153082098432" = 1'-0") 61. 1/230584306164196864" = 1'-0" (1/230584306164196864" = 1'-0") 62. 1/461168612328393728" = 1'-0" (1/461168612328393728" = 1'-0") 63. 1/922337224656787456" = 1'-0" (1/922337224656787456" = 1'-0") 64. 1/1844674449313754112" = 1'-0" (1/1844674449313754112" = 1'-0") 65. 1/3689348898627508224" = 1'-0" (1/3689348898627508224" = 1'-0") 66. 1/7378697797255016448" = 1'-0" (1/7378697797255016448" = 1'-0") 67. 1/14757395984510032896" = 1'-0" (1/14757395984510032896" = 1'-0") 68. 1/29514791969020065792" = 1'-0" (1/29514791969020065792" = 1'-0") 69. 1/59029583938040131584" = 1'-0" (1/59029583938040131584" = 1'-0") 70. 1/118059167876080263168" = 1'-0" (1/118059167876080263168" = 1'-0") 71. 1/236118335752160526336" = 1'-0" (1/236118335752160526336" = 1'-0") 72. 1/472236671504321052672" = 1'-0" (1/472236671504321052672" = 1'-0") 73. 1/944473343008642105344" = 1'-0" (1/944473343008642105344" = 1'-0") 74. 1/1888946686017284210688" = 1'-0" (1/1888946686017284210688" = 1'-0") 75. 1/3777893372034568421376" = 1'-0" (1/3777893372034568421376" = 1'-0") 76. 1/7555786744069136842752" = 1'-0" (1/7555786744069136842752" = 1'-0") 77. 1/15111573488138273685504" = 1'-0" (1/15111573488138273685504" = 1'-0") 78. 1/30223146976276547371008" = 1'-0" (1/30223146976276547371008" = 1'-0") 79. 1/60446293952553094742016" = 1'-0" (1/60446293952553094742016" = 1'-0") 80. 1/120892587905106189484032" = 1'-0" (1/120892587905106189484032" = 1'-0") 81. 1/241785175810212378968064" = 1'-0" (1/241785175810212378968064" = 1'-0") 82. 1/483570351620424757936128" = </p>



City of Florence Public Works Facility

FLORENCE, OREGON

Drawing:

EXISTING CONDITIONS

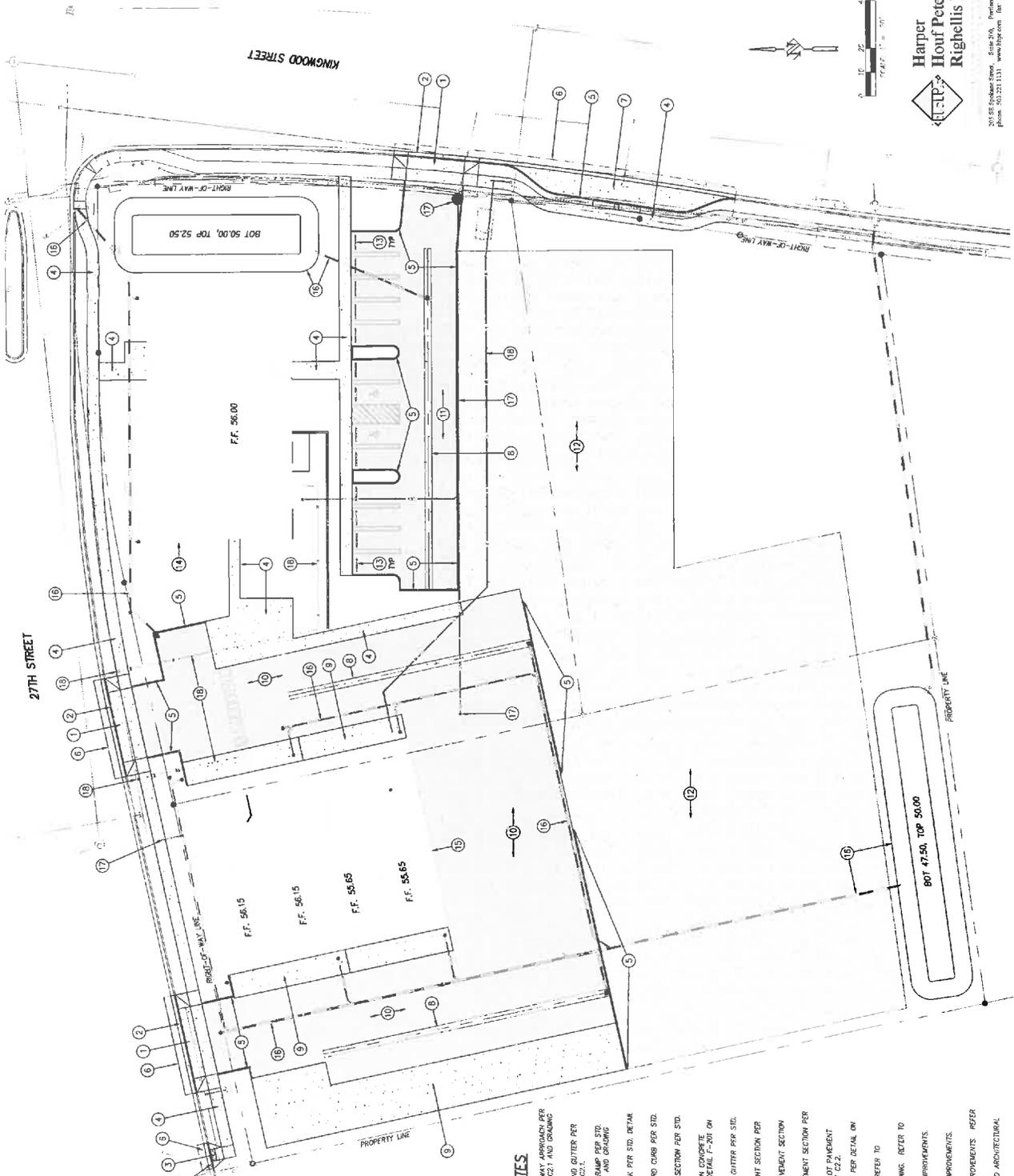
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 Date: 9 SEPTEMBER 2018
 Drawn By: KJC
 Checked By: CAB
 Sheet No:

C1.0



Harper
Houf Peterson
Rightellis Inc.

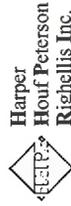
205 SE Spokane Street, Suite 200, Portland, OR 97202
 phone: 503.231.1311 www.hjpr.com fax: 503.231.1171



Harper
 Houff Peterson
 Rignellis Inc.
 305 SE Spokane Street, Suite 300, Portland, OR 97202
 phone: 503.231.1131 www.hhp.com fax: 503.231.1178

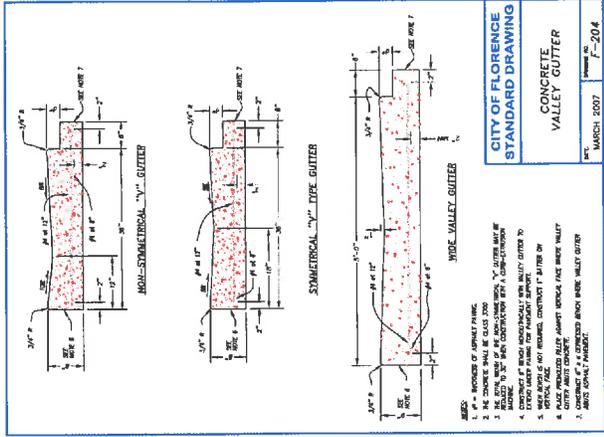
CONSTRUCTION NOTES

1. CONSTRUCT COMMERCIAL DRIVEWAY APPROACH PER STD. DETAIL F-208 ON SHEET C2.1 AND GRADING DETAIL ON SHEET C2.1.
2. CONSTRUCT CONCRETE CURB AND GUTTER PER STD. DETAIL F-209 ON SHEET C2.1 AND GRADING DETAIL ON SHEET C2.1.
3. CONSTRUCT CONCRETE VALLEY GUTTER PER STD. DETAIL F-208 ON SHEET C2.1 AND GRADING DETAIL ON SHEET C2.1.
4. CONSTRUCT CONCRETE SIDEWALK PER STD. DETAIL F-209 ON SHEET C2.1.
5. CONSTRUCT CONCRETE STANDARD CURB PER STD. DETAIL F-203 ON SHEET C2.1.
6. CONSTRUCT RUBIC PAVEMENT SECTION PER STD. DETAIL F-201 ON SHEET C2.1.
7. CONSTRUCT WATER TALL STATION CONCRETE PAVEMENT SECTION PER STD. DETAIL F-202 ON SHEET C2.1.
8. CONSTRUCT CONCRETE VALLEY GUTTER PER STD. DETAIL F-201 ON SHEET C2.1.
9. CONSTRUCT CONCRETE PAVEMENT SECTION PER DETAIL ON SHEET C2.2.
10. CONSTRUCT BRICK TRAFFIC PAVEMENT SECTION PER DETAIL ON SHEET C2.2.
11. CONSTRUCT PARKING LOT PAVEMENT SECTION PER DETAIL ON SHEET C2.2.
12. CONSTRUCT GRAVEL PARKING LOT PAVEMENT SECTION PER DETAIL ON SHEET C2.2.
13. CONSTRUCT CONCRETE WHEELSTOP PER DETAIL ON SHEET C2.2.
14. PROPOSED OFFICE BUILDING. REFER TO ARCHITECTURAL PLANS.
15. PROPOSED MAINTENANCE BUILDING. REFER TO ARCHITECTURAL PLANS.
16. PROPOSED STORM DRAINAGE IMPROVEMENTS. REFER TO SHEET C2.0.
17. PROPOSED SANITARY SEWER IMPROVEMENTS. REFER TO SHEET C2.0.
18. PROPOSED WATER SYSTEM IMPROVEMENTS. REFER TO SHEET C2.0.
19. PROPOSED FENCING. REFER TO ARCHITECTURAL PLANS.



204 SE Spokane Street, Suite 300, Portland, OR 97202
 phone: 503.221.1131 www.hhp.com fax: 503.221.1171

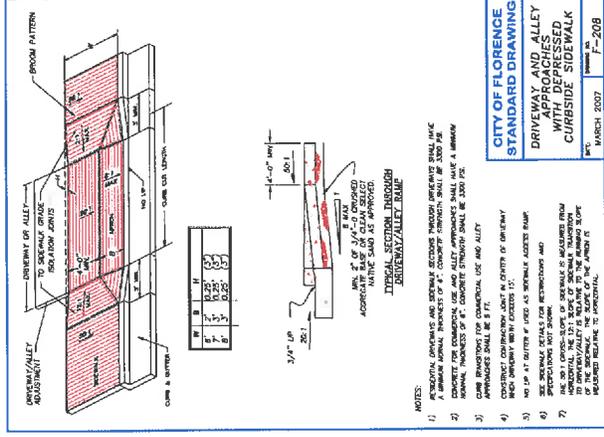
C2.1



**CITY OF FLORENCE
 STANDARD DRAWING
 CONCRETE
 VALLEY GUTTER**

REV. MARCH 2007
 DRAWN BY: F-204

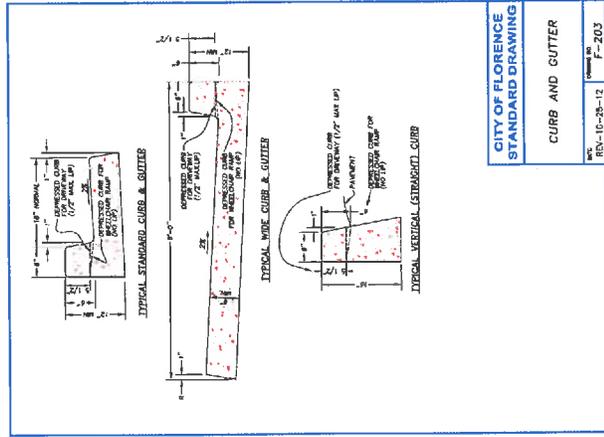
- NOTES:
1. ALL DIMENSIONS SHALL BE AS SHOWN.
 2. THE FINISH SHALL BE CURB TOP.
 3. ALL GUTTERS SHALL BE CONCRETE.
 4. CONCRETE SHALL BE 3000 PSI STRENGTH WITH 4% AIR ENTRAINMENT.
 5. ALL GUTTERS SHALL BE FINISHED TO MATCH SURFACE.
 6. ALL GUTTERS SHALL BE FINISHED TO MATCH SURFACE.
 7. ALL GUTTERS SHALL BE FINISHED TO MATCH SURFACE.



**CITY OF FLORENCE
 STANDARD DRAWING
 DRIVEWAY AND ALLEY
 APPROACHES
 WITH DEPRESSIONED
 CURBSIDE SIDEWALK**

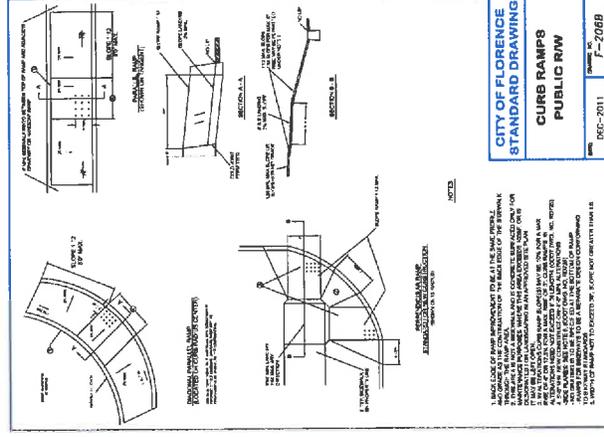
REV. MARCH 2007
 DRAWN BY: F-208

- NOTES:
1. ALL DIMENSIONS SHALL BE AS SHOWN.
 2. THE FINISH SHALL BE CURB TOP.
 3. ALL GUTTERS SHALL BE CONCRETE.
 4. CONCRETE SHALL BE 3000 PSI STRENGTH WITH 4% AIR ENTRAINMENT.
 5. ALL GUTTERS SHALL BE FINISHED TO MATCH SURFACE.
 6. ALL GUTTERS SHALL BE FINISHED TO MATCH SURFACE.
 7. ALL GUTTERS SHALL BE FINISHED TO MATCH SURFACE.



**CITY OF FLORENCE
 STANDARD DRAWING
 CURB AND GUTTER**

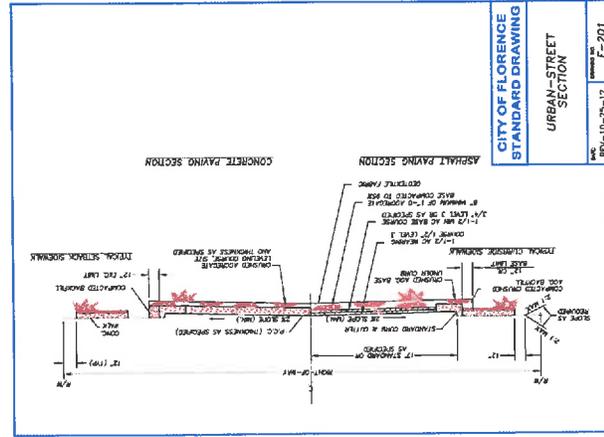
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 DRAWN BY: F-203



**CITY OF FLORENCE
 STANDARD DRAWING
 CURB RAMPS
 PUBLIC R/W**

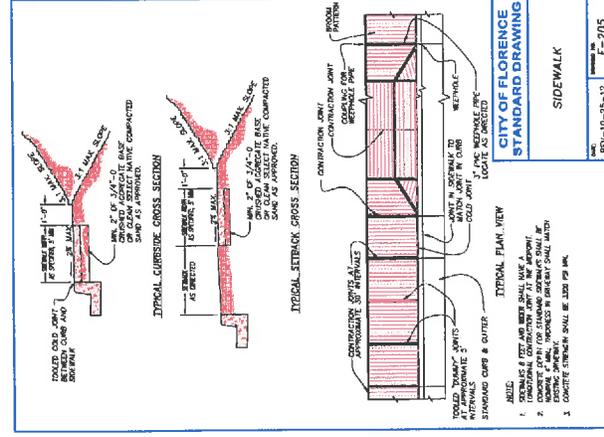
REV. 05-2011
 DRAWN BY: F-206B

- NOTES:
1. ALL DIMENSIONS SHALL BE AS SHOWN.
 2. THE FINISH SHALL BE CURB TOP.
 3. ALL GUTTERS SHALL BE CONCRETE.
 4. CONCRETE SHALL BE 3000 PSI STRENGTH WITH 4% AIR ENTRAINMENT.
 5. ALL GUTTERS SHALL BE FINISHED TO MATCH SURFACE.
 6. ALL GUTTERS SHALL BE FINISHED TO MATCH SURFACE.
 7. ALL GUTTERS SHALL BE FINISHED TO MATCH SURFACE.



**CITY OF FLORENCE
 STANDARD DRAWING
 URBAN-STREET
 SECTION**

REV. 10-25-12
 DRAWN BY: F-201



**CITY OF FLORENCE
 STANDARD DRAWING
 SIDEWALK**

REV. 10-25-12
 DRAWN BY: F-205

- NOTES:
1. ALL DIMENSIONS SHALL BE AS SHOWN.
 2. THE FINISH SHALL BE CURB TOP.
 3. ALL GUTTERS SHALL BE CONCRETE.
 4. CONCRETE SHALL BE 3000 PSI STRENGTH WITH 4% AIR ENTRAINMENT.
 5. ALL GUTTERS SHALL BE FINISHED TO MATCH SURFACE.
 6. ALL GUTTERS SHALL BE FINISHED TO MATCH SURFACE.
 7. ALL GUTTERS SHALL BE FINISHED TO MATCH SURFACE.



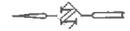
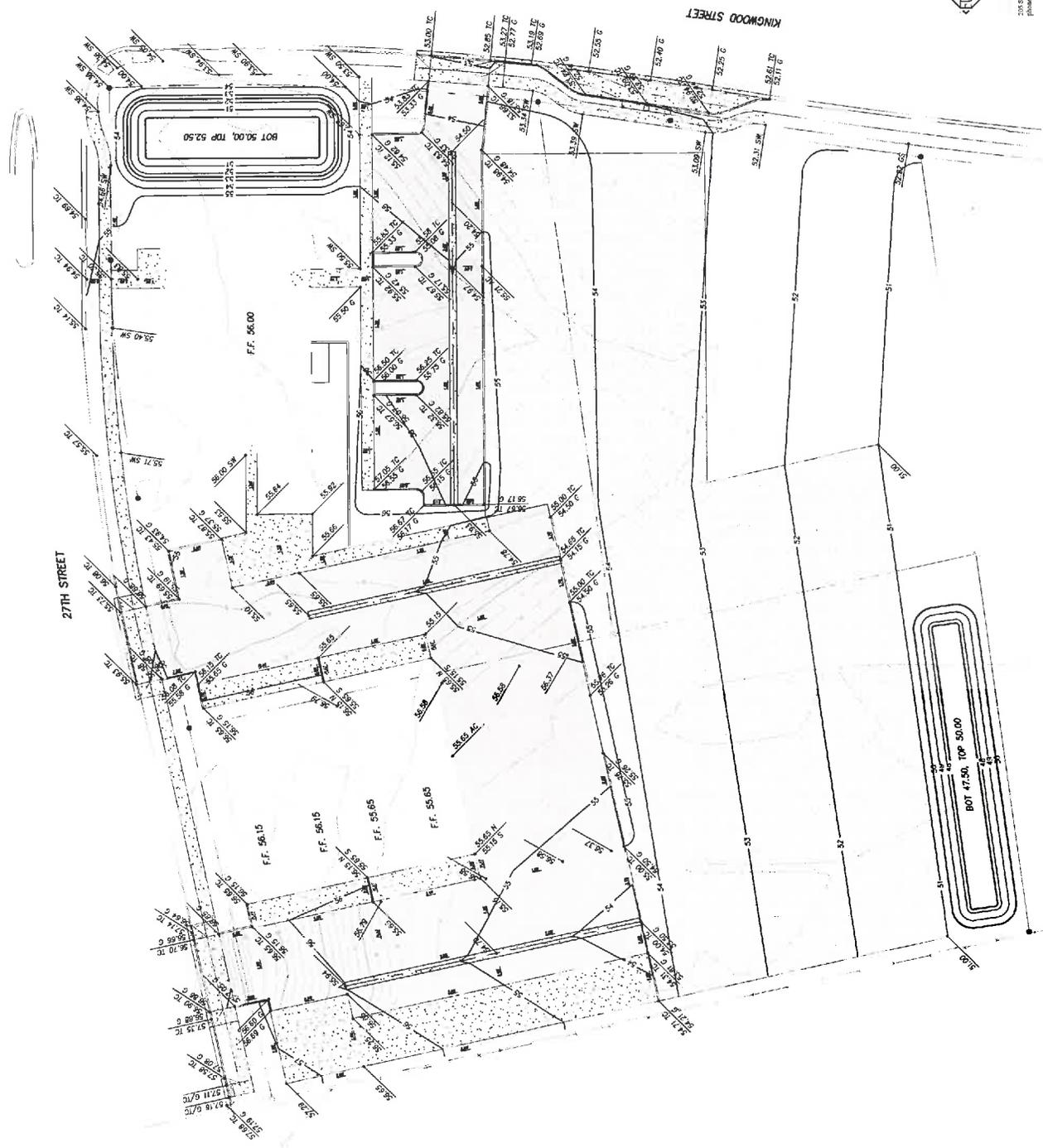
City of Florence
 Public Works
 Facility

FLORENCE, OREGON

Drawing:

GRADING PLAN

Job No: 15018
 Date: 9 SEPTEMBER 2016
 Drawn By: KJD
 Checked By: GAB
 Sheet No:



Harper Houf Peterson Righellis Inc.
 HRP

204 E. Sylvan Street, Suite 200, Portland, OR 97202
 phone: (503) 221-1131 www.hhp.com inc. 503.221.1171

S|E|A

SCOTT EDWARDS ARCHITECTURE LLP
2535 E. Sunnyside St., Portland, OR 97214
phone: (503) 226-3817 www.sea3p.com



City of Florence
Public Works
Facility

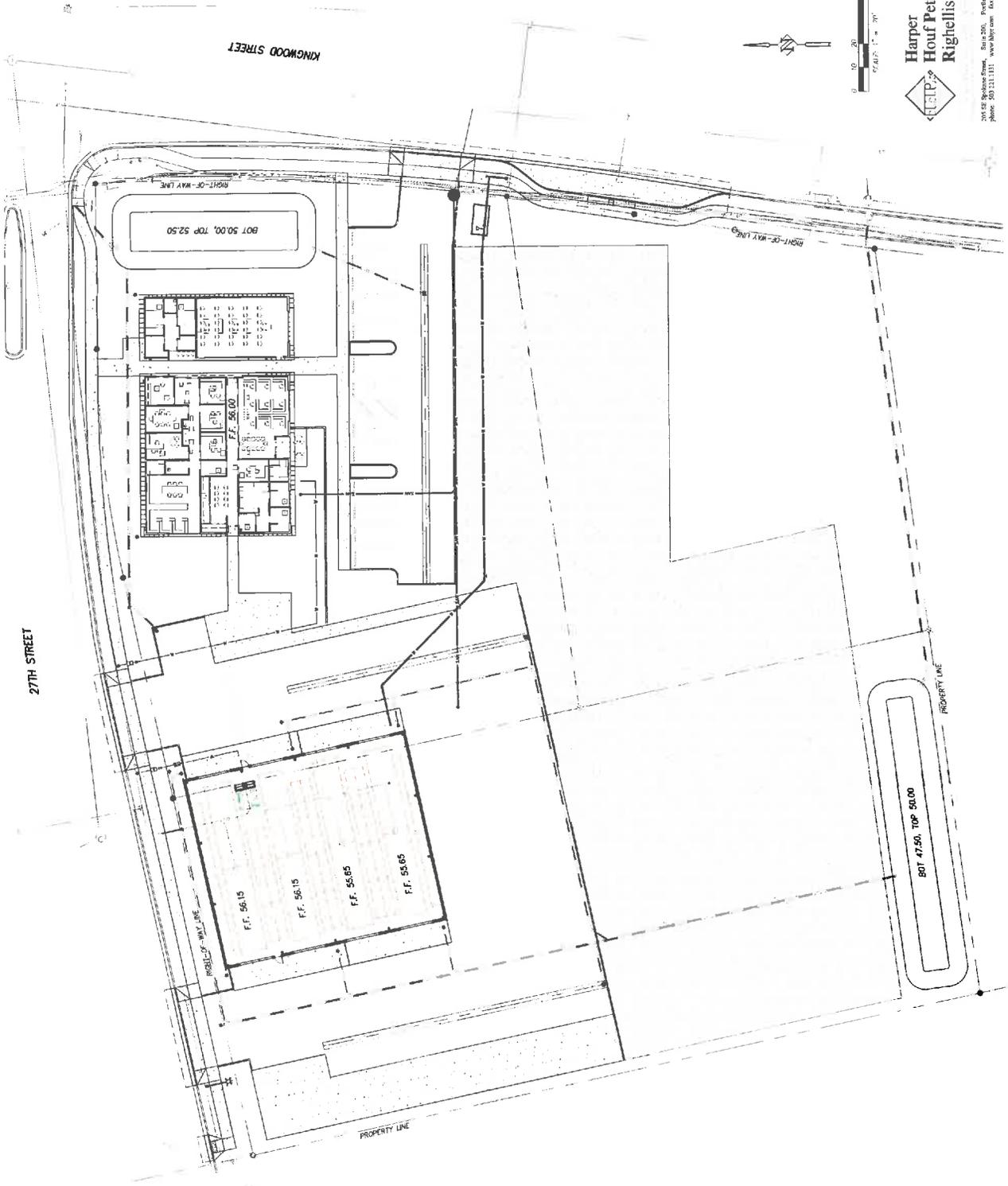
FLORENCE, OREGON

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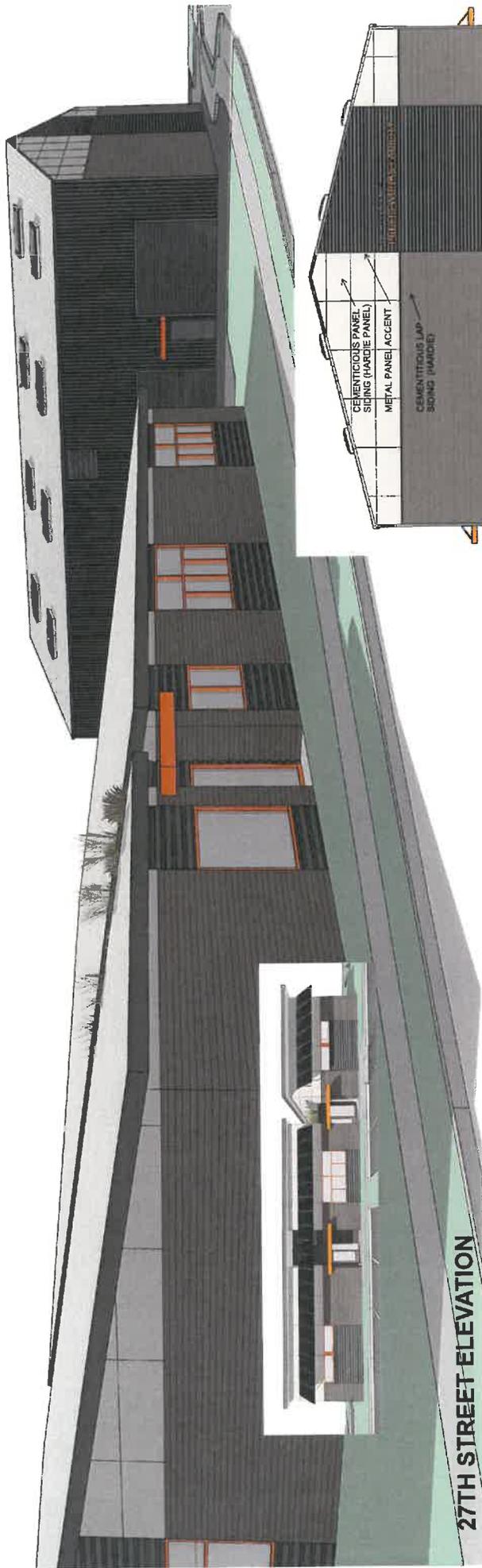
SANITARY SEWER
AND WATER PLAN

Job No: 15019
Date: 28 FEBRUARY 2016
Drawn By: KCO
Checked By: CAB
Sheet No:

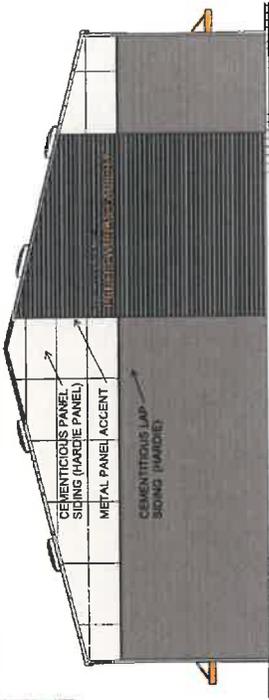
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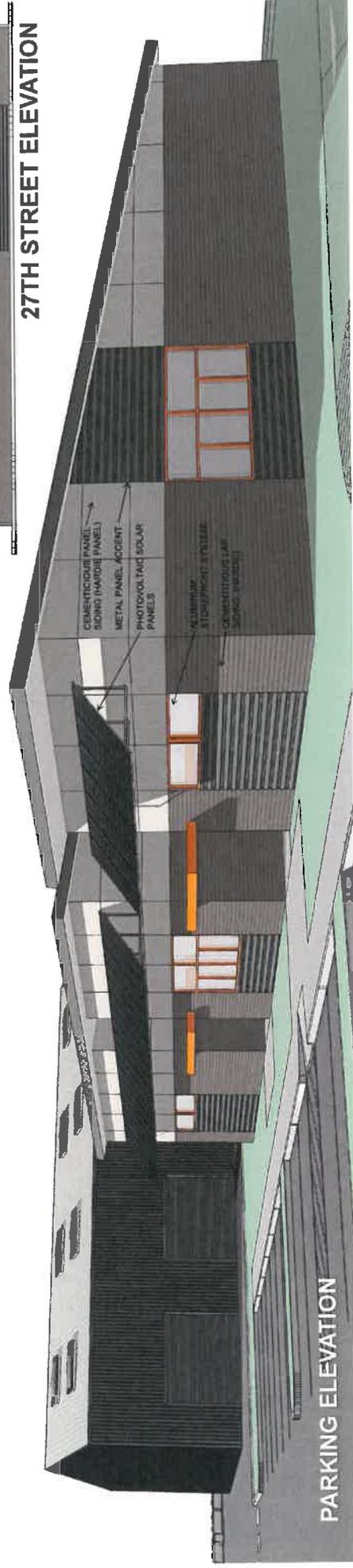
Harper
Houf Peterson
Rightellis Inc.
301 SE Spokane Street, Suite 200, Portland, OR 97202
phone: 503.221.1111 www.hhp.com fax: 503.221.1171



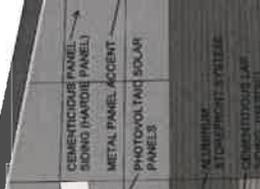
27TH STREET ELEVATION



27TH STREET ELEVATION



PARKING ELEVATION



City of Florence, Public Works Facility - CONCEPTUAL IMAGES

2024 Community - Florence 100 Vision
 11/20/24 - 1/15/2025

S|E|A

Exhibit D

APPROVED
 City of Florence
 Community Development

rD
PC1622CUD6
 Exhibit File Number

City of Florence Public Works Interior Finish Schedule

WALL BASE

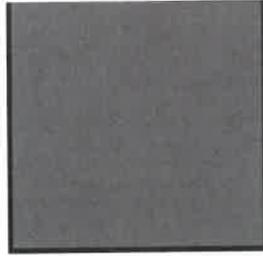
RB-1

Rubber base at all areas

Mnf: Johnsonite

Pattern: 20 Charcoal WG

Height: 4"



EXTERIOR

METAL SIDING

AEP Span: Weathered Copper



Cool Weathered Copper
SRI: 34 • 24ga & 22ga



Cool Parchment
SRI: 58 • 24ga & 22ga

METAL ROOFING

AEP Span: Cool Parchment

OFFICE ROOF FACIA

AEP Span: Weathered Copper

LAP SIDING

Match

MNF: Sherwin Williams

Color: Griffin SW7026



PANEL SIDING

Match

MNF: Sherwin Williams

Color: Mindful Gray SW7016

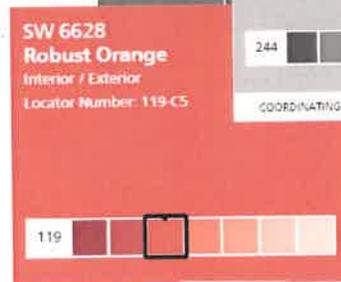


CANOPIES

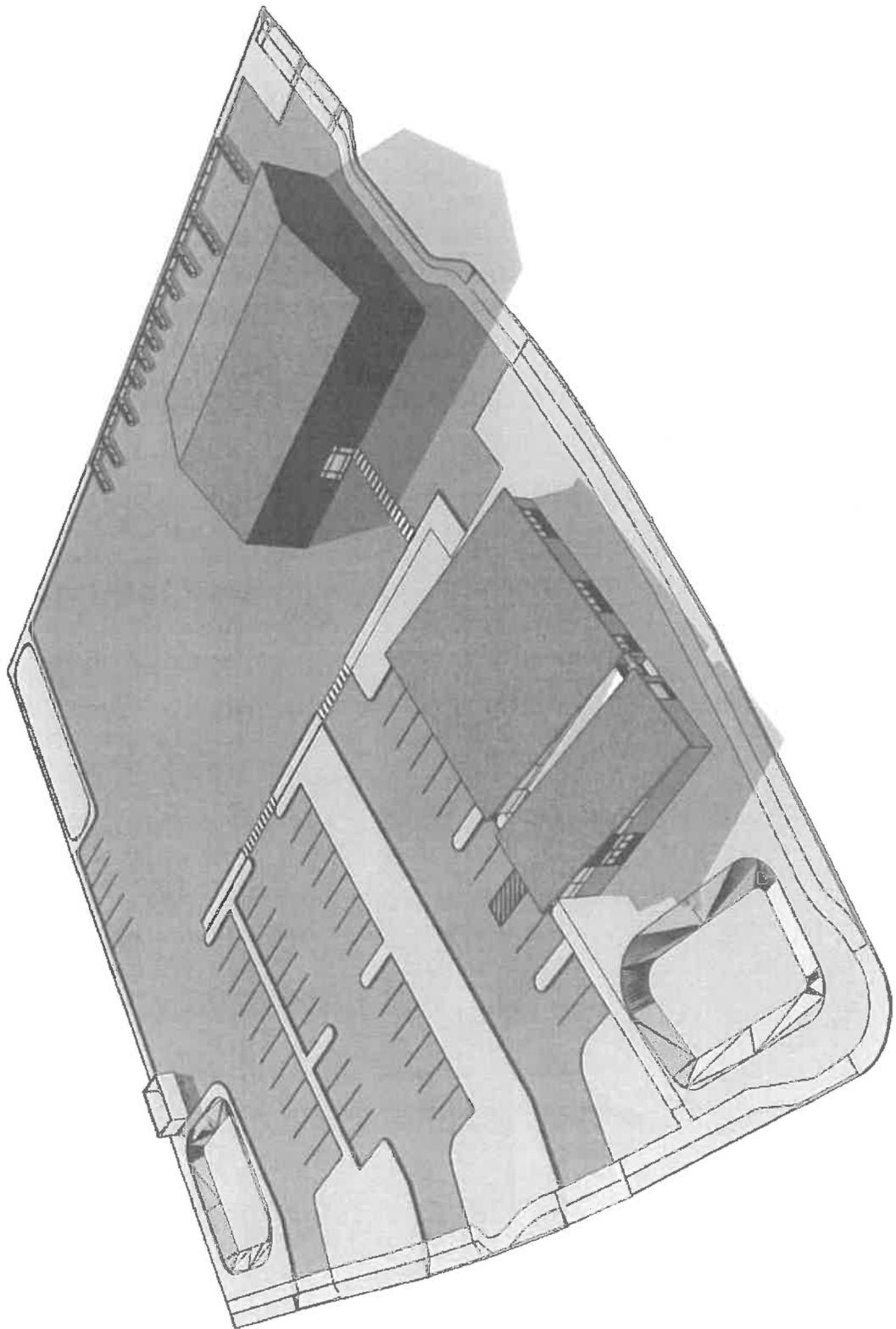
Match

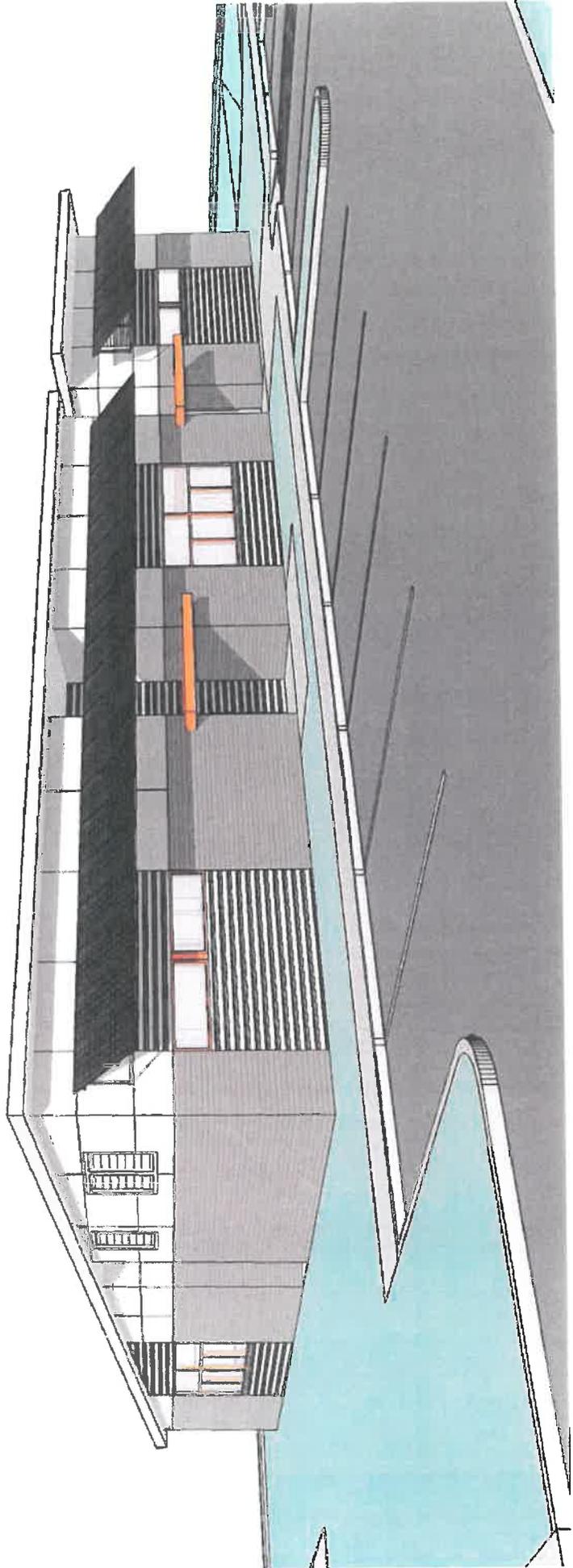
MNF: Sherwin Williams

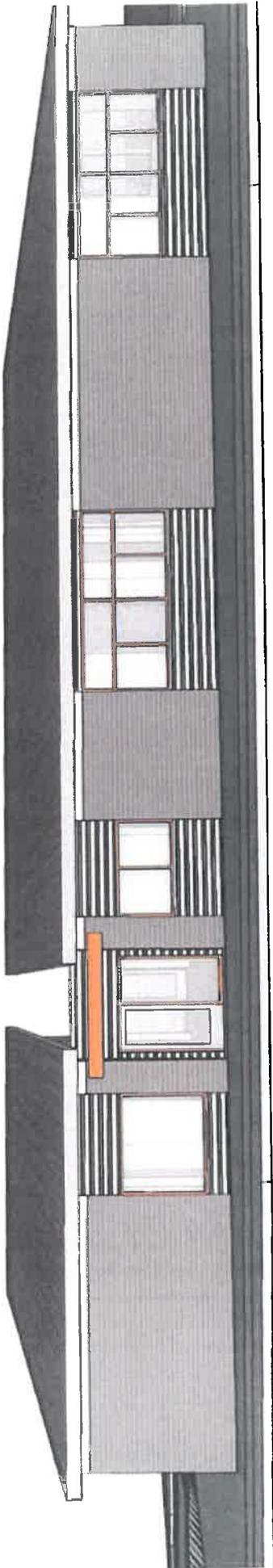
Color: Robust Orange Sw6628

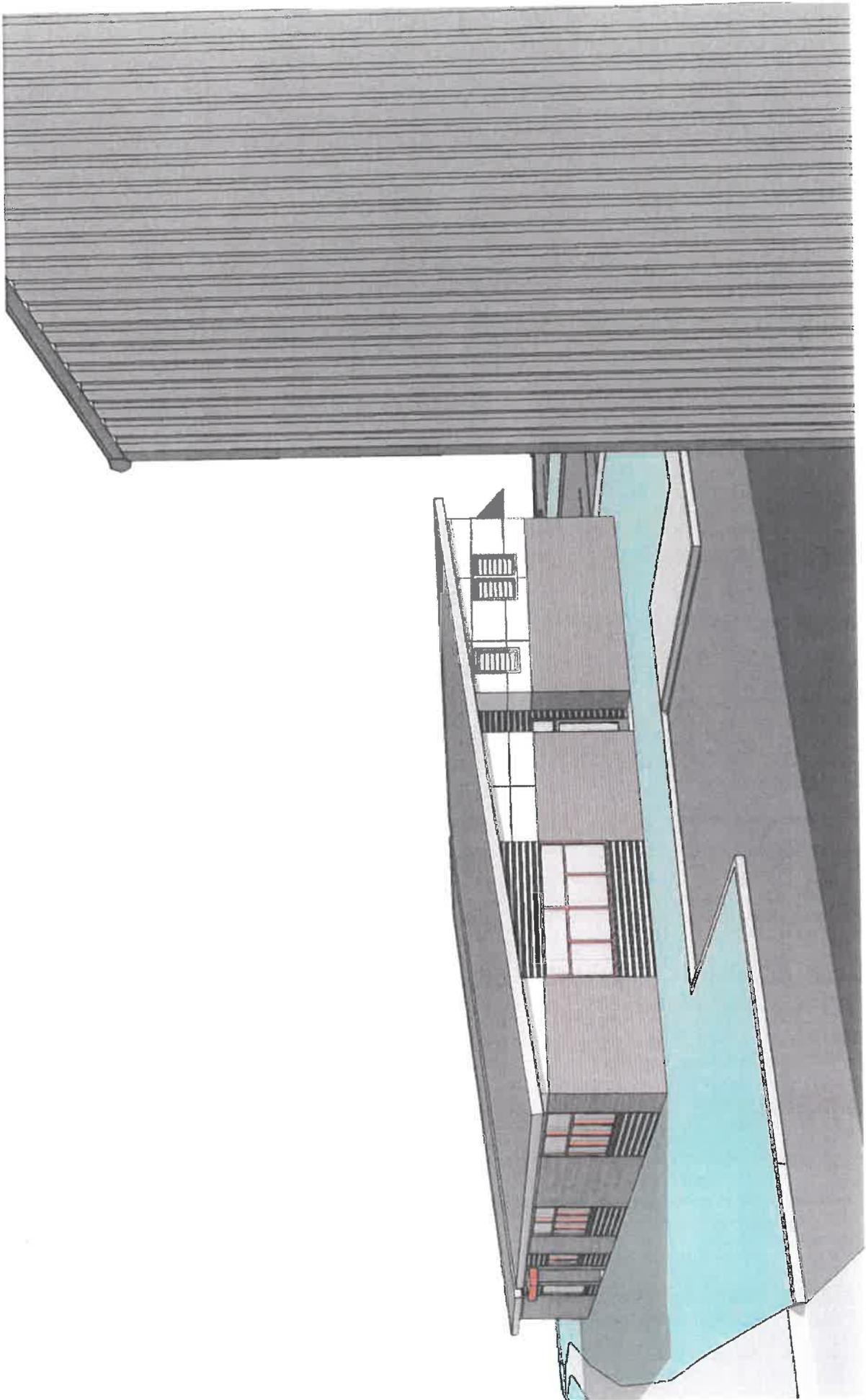


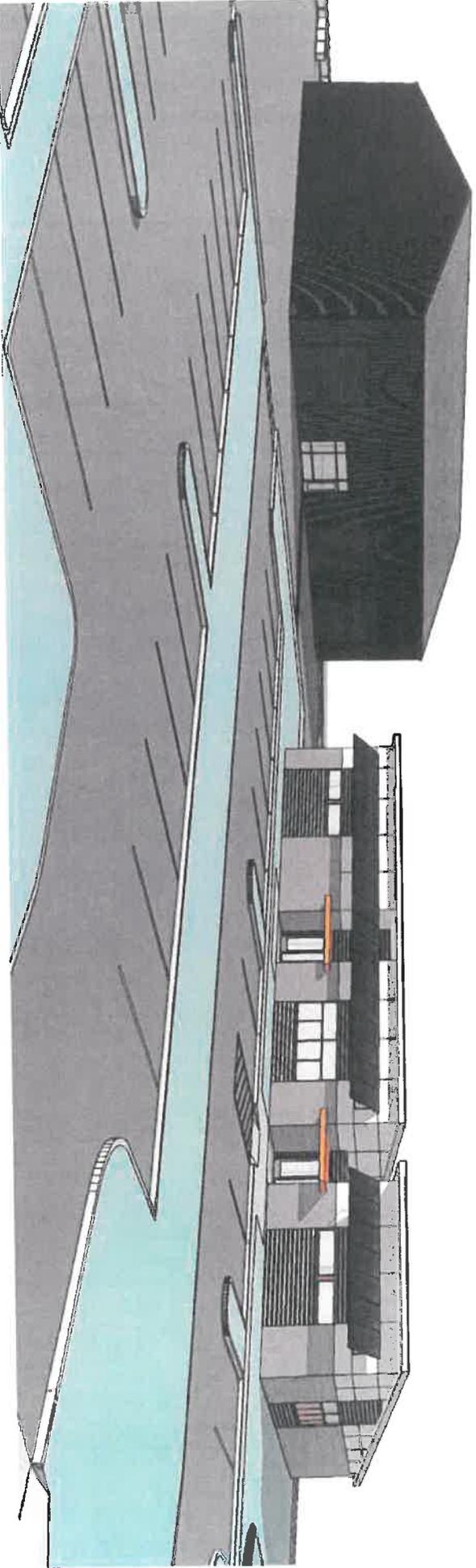
END OF DOCUMENT

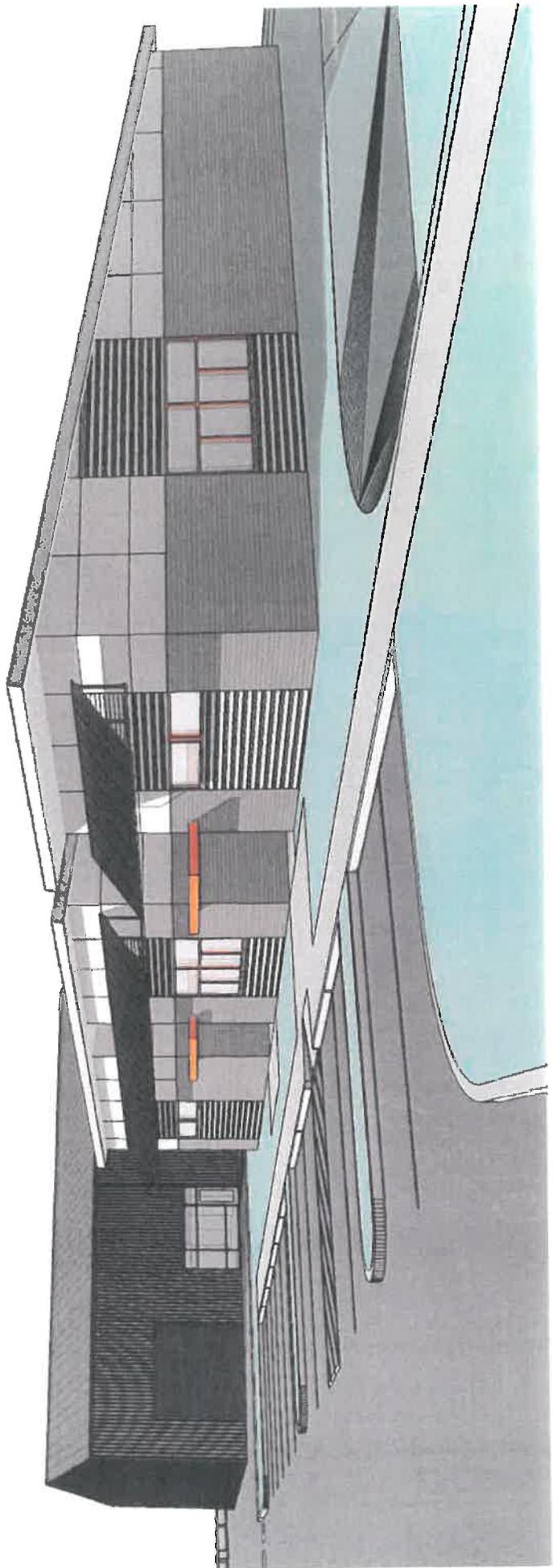


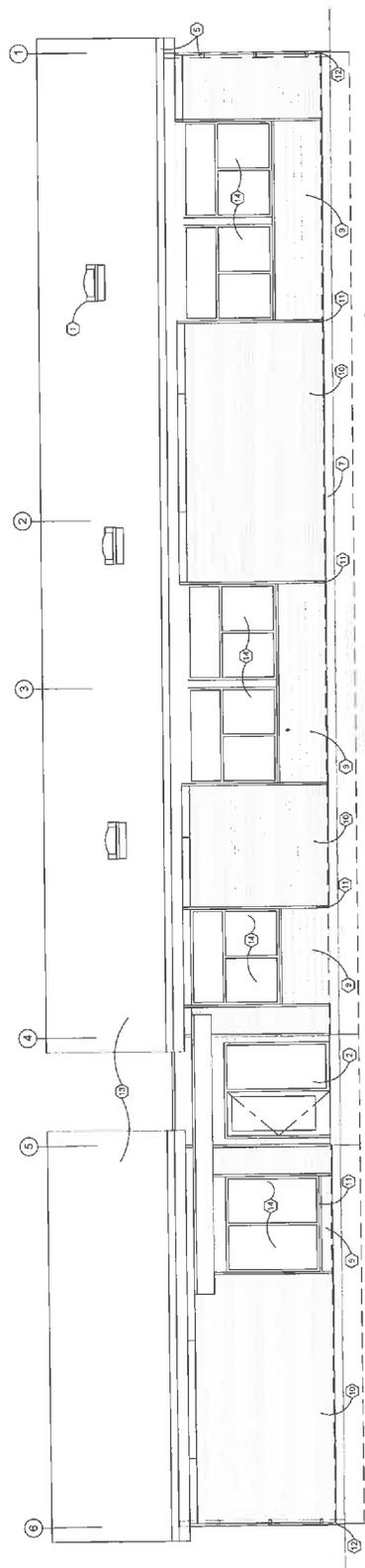




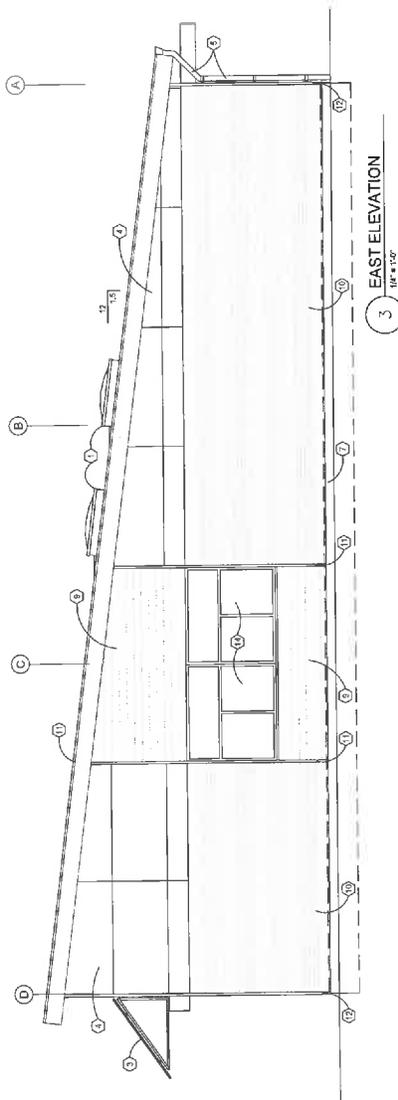






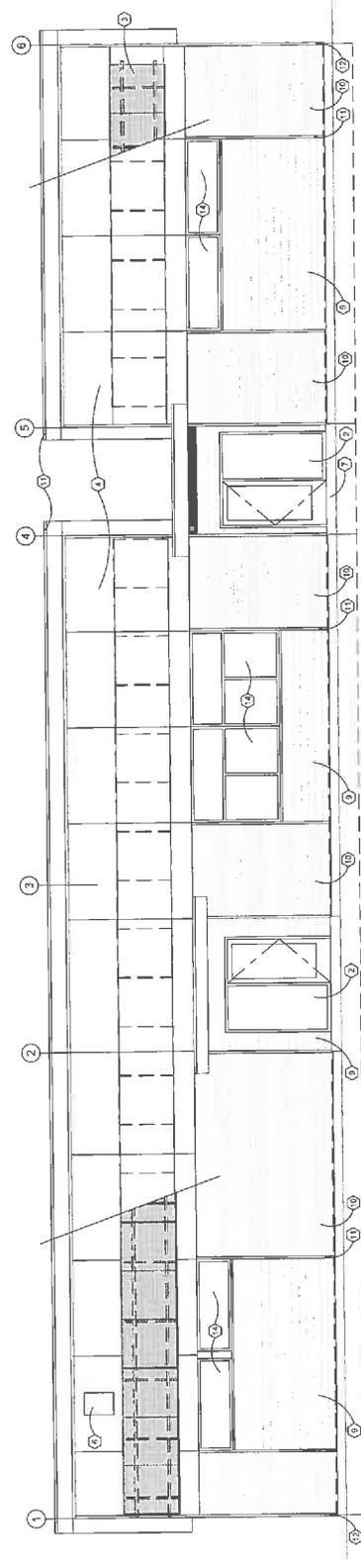


1 NORTH ELEVATION
 1/4" = 1'-0"



3 EAST ELEVATION
 1/8" = 1'-0"

- KEYNOTES**
- 1) ADD ALTERNATE #4 - METAL (3) 24x18 SKYLIGHTS
 - 2) PAINTED ALUMINUM STORE FRONT DOORS AND WINDOWS
 - 3) SOLAR PANELS ON PAINTED STEEL FRAME - SEE STRUCTURAL
 - 4) PAINTED SMOOTH HARDENED PANEL SIDING
 - 5) PAINTED METAL GUTTER AND DOWNSPOUT
 - 6) HVAC GRILLE - SEE HVAC
 - 7) 4" CONCRETE SLAB ON VAPOR BARRIER
 - 8) VINYL WRAPPED SBTI INSULATION
 - 9) HORIZONTAL PAINTED METAL SIDING
 - 10) PAINTED METAL FLOORING
 - 11) 2" X 3" SLOPE TO INTERIOR
 - 12) 2" X 3" SLOPE TO EXTERIOR
 - 13) PAINTED ALUMINUM FRAMED WINDOWS WITH INSULATED GLASS
 - 14) PAINTED BRYER VENT COVER

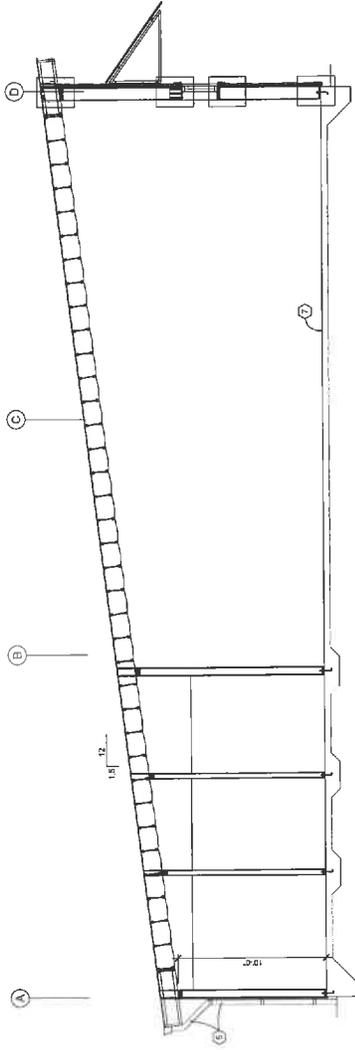


4 SOUTH ELEVATION
 1/8" = 1'-0"

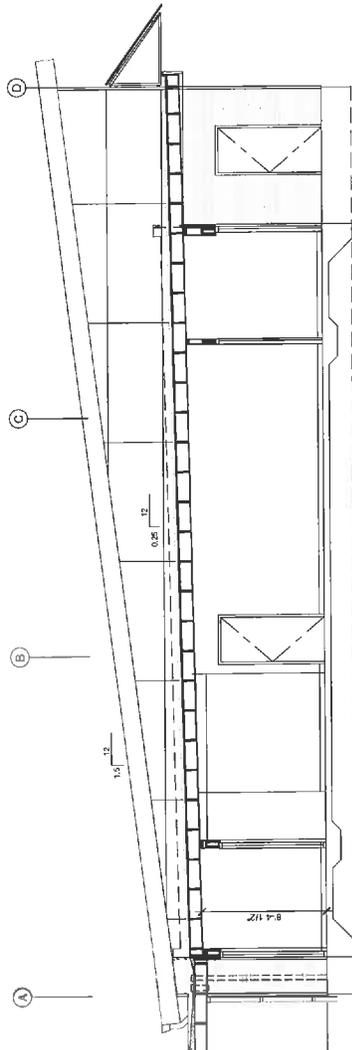
Drawing: _____

EXTERIOR ELEVATIONS

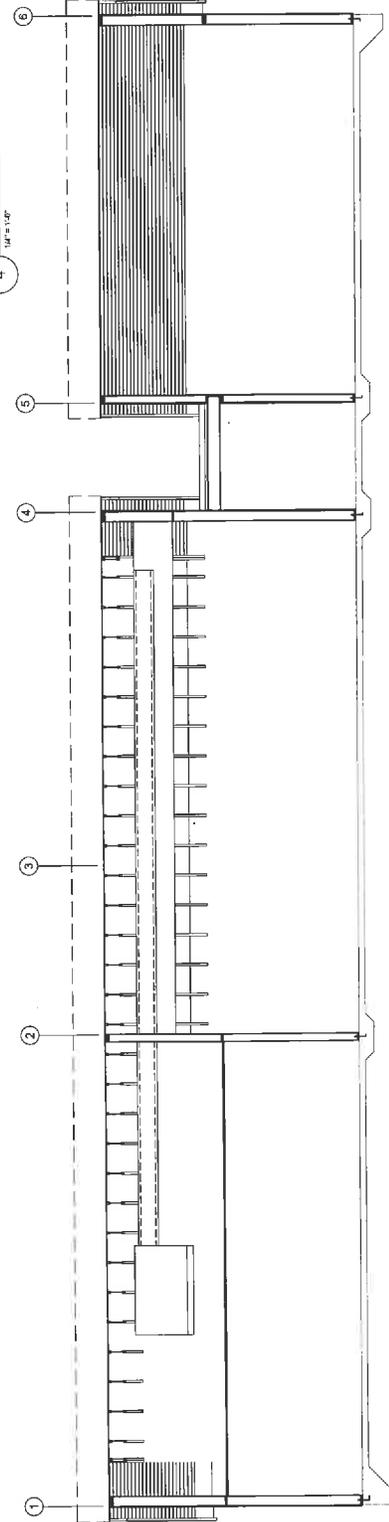
Job No:	15019
Date:	9-7-16
Drawn By:	
Checked By:	
Sheet No:	



2 BLDG. SECTION
 1/4" = 1'-0"



4 BLDG. SECTION
 1/4" = 1'-0"



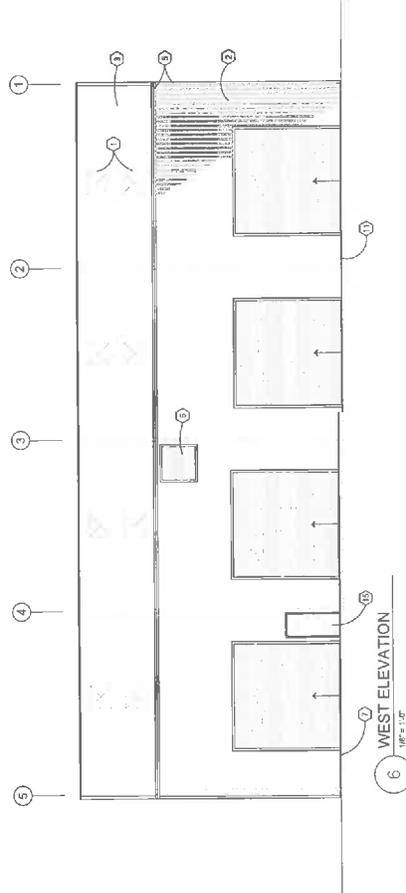
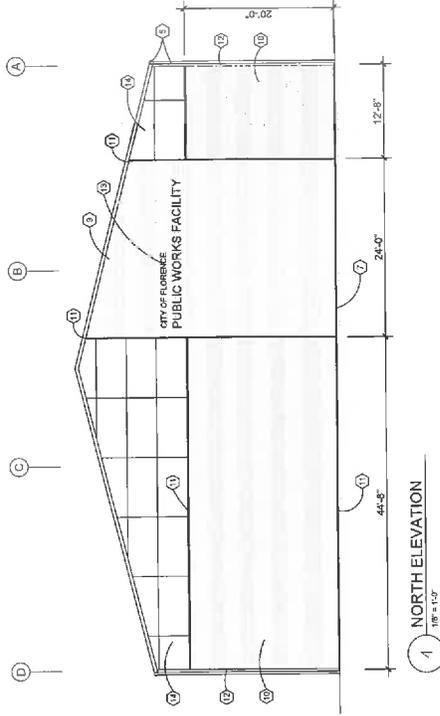
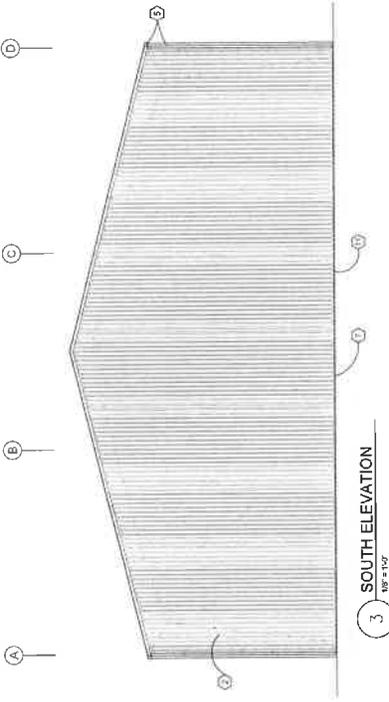
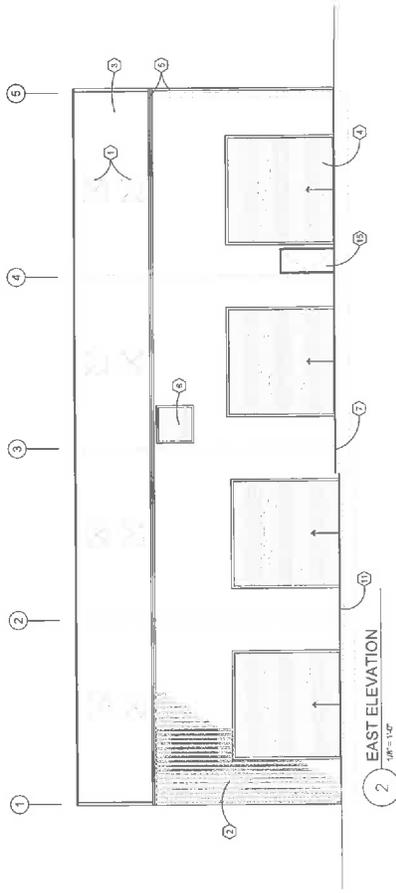
5 BLDG. SECTION
 1/4" = 1'-0"

KEYNOTES

- 1) AFB ALTERNATE #1 - INSTALL (3) 2x4x8 SKYLIGHTS
- 2) PAINTED ALUMINUM STOREFRONT DOORS AND WINDOWS
- 3) SOLAR PANELS ON PAINTED STEEL FRAME - SEE STRUCTURAL
- 4) PAINTED SMOOTH HURDIE PANEL SIDING
- 5) PAINTED METAL GUTTER AND DOWNSPOUT
- 6) R/W/C GRILLE - SEE W/C
- 7) 4" CONCRETE SLAB ON WASH SIMPSON
- 8) 1/2" WRAPPED BATT INSULATION
- 9) 1/2" GYPSUM BOARD OVER INSULATION
- 10) PAINTED METAL LASSIC
- 11) PAINTED METAL LASSIC
- 12) 7/8" x 3/4" PAINTED SMOOTH HURDIE TRIM
- 13) GREY SINGLE PLY MEMBRANE ROOF
- 14) PAINTED ALUMINUM FRAMED WINDOWS WITH INSULATED GLASS
- 15) PAINTED DRIVER VENT COVER

City of Florence Public Works Bldg.

2875 KINGWOOD ST.
 FLORENCE, OREGON 97439



KEYNOTES

- 1) 3' X 12' SKYLIGHT PANELS
- 2) VERTICAL PAINTED METAL SIDING
- 3) PAINTED FINISHING SLOU METAL ROOF
- 4) OVERHEAD DOORS
- 5) PAINTED METAL GUTTER AND DOWNSPOUT
- 6) 1/2\"/>

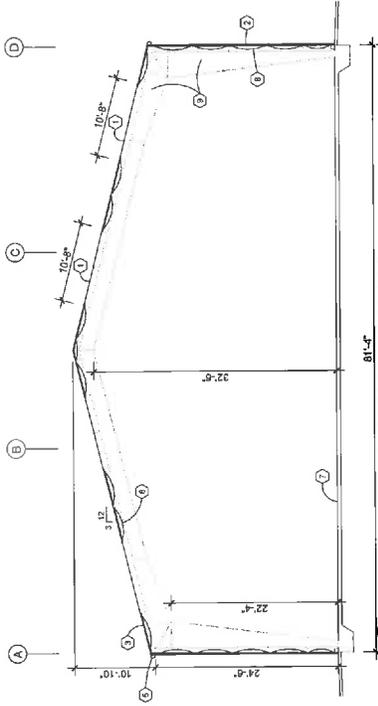
Drawing:

MAINTENANCE
 EXTERIOR ELEVATIONS
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 Date: 9-7-16
 Drawn By:
 Checked By:
 Sheet No:

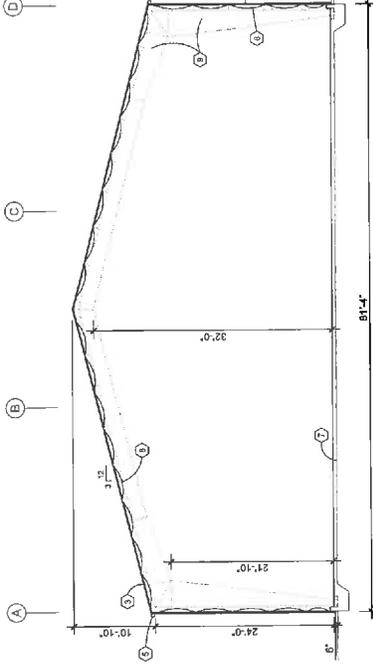
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**MAINTENANCE
 BUILDING SECTIONS**

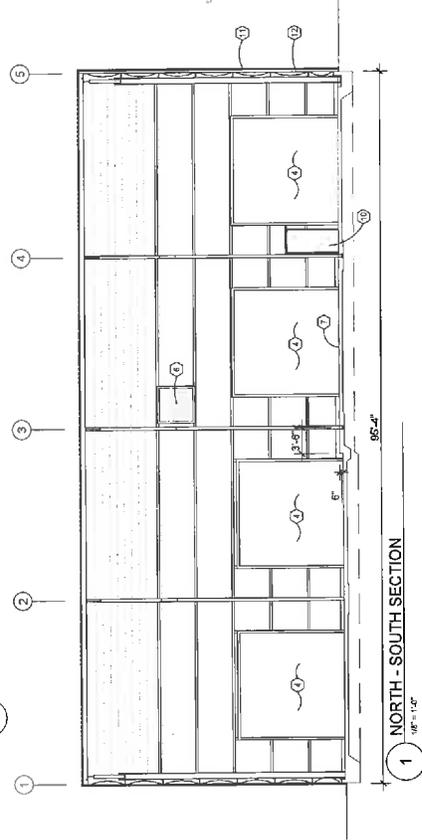
Job No: 15019
 Date: 9-7-16
 Drawn By:
 Checked By:
 Sheet No:



3 EAST - WEST SECTION BETWEEN GRIDS 1 & 3
 1/8" = 1'-0"



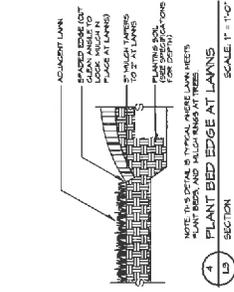
2 EAST - WEST SECTION BETWEEN GRIDS 3 & 5
 1/8" = 1'-0"



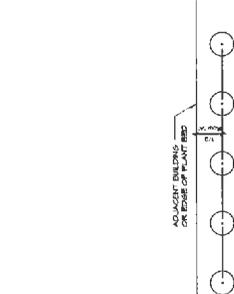
1 NORTH - SOUTH SECTION
 1/8" = 1'-0"

KEYNOTES

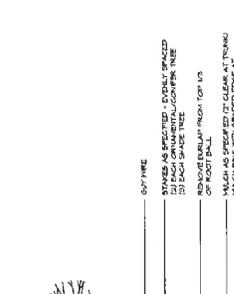
- (1) 3'-0" x 3'-0" SLOTTED PANELS
- (2) 3'-0" x 3'-0" SLOTTED PANELS
- (3) 3'-0" x 3'-0" SLOTTED PANELS
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- (99) 3'-0" x 3'-0" SLOTTED PANELS
- (100) 3'-0" x 3'-0" SLOTTED PANELS



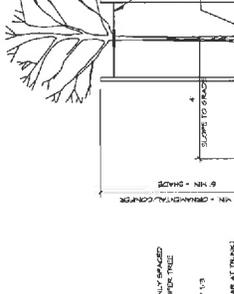
1 TREE PLANTING AT PARKING AREAS
 SCALE: 1/2" = 1'-0"



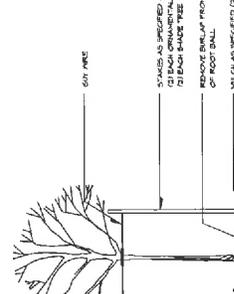
2 TYPICAL TREE PLANTING
 SCALE: 1/2" = 1'-0"



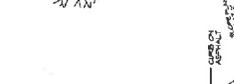
3 TYPICAL SHRUB PLANTING
 SCALE: 1/2" = 1'-0"



4 DRIP LINE TUBING LAYOUT
 SCALE: 1/2" = 1'-0"



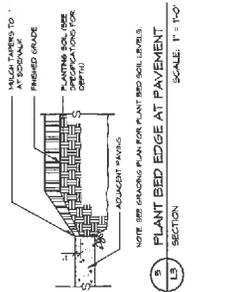
5 GROUND COVER SPACING DIAGRAM
 SCALE: 1/2" = 1'-0"



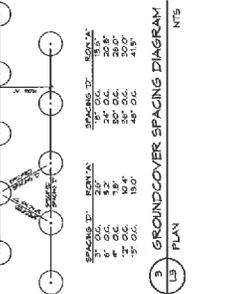
6 PLANT BED EDGE AT PAVEMENT
 SCALE: 1" = 1'-0"



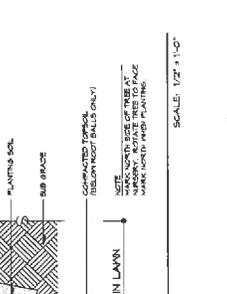
7 PLANT BED EDGE AT PAVEMENT
 SCALE: 1" = 1'-0"



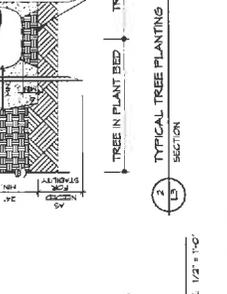
8 IRRIGATION SLEEVINGS
 SCALE: 1/2" = 1'-0"



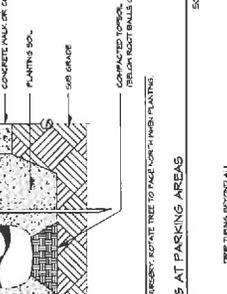
9 ROTATOR NOZZLE SPRINKLER
 SCALE: 1" = 1'-0"



10 AUTOMATIC CONTROLLER
 SCALE: 1" = 1'-0"



11 MANUAL MAIN LINE DRAIN VALVE
 SCALE: 1" = 1'-0"



12 AUTOMATIC CONTROL VALVE
 SCALE: 1" = 1'-0"



13 CONTROL VALVE ASSEMBLY AT DRIP ZONES
 SCALE: 1" = 1'-0"

LANDSCAPE AND IRRIGATION DETAILS

CONSTRUCTION NOTES

1. INSTALL CATCH BASIN INLET PROTECTION WITHIN THE FLOW PER DETAIL 913 ON SHEET E04. INSTALL ALL OTHER CATCH BASIN INLET PROTECTION PER DETAIL 913 OF BUTLAP BAG DETAILS ON SHEET E04 PER CONTRACTOR'S DISCRETION.
2. INSTALL CONSTRUCTION ENTRANCE PER DETAIL ON SHEET E04
3. INSTALL SILT FENCING PER DETAIL ON SHEET E04
4. INSTALL CONCRETE TRACK WASHOUT STATION PER DETAIL ON SHEET E04
5. INSTALL SIPLEX BAGS PER DETAIL ON SHEET E04
6. INSTALL RIP-RAP OUTLET PROTECTION PER DETAIL ON SHEET E04

GRADING, STREET, AND UTILITY NOTES

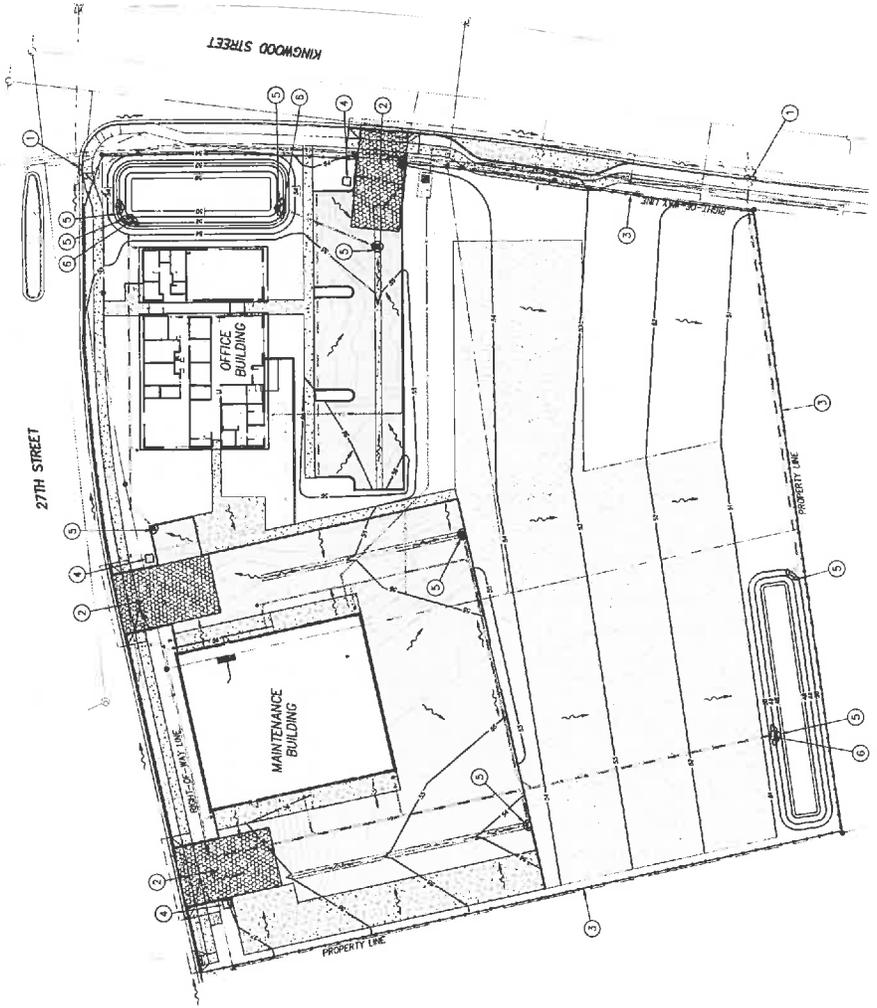
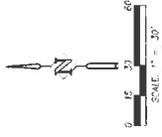
1. EXPOSED DIRT OR FILL AREAS SHALL BE STABILIZED THROUGH THE USE OF TEMPORARY SEEDING AND MULCHING. EROSION CONTROL BLANKETS OR MATS, AND SLOPE STABILIZATION MATS OR MATS, OR OTHER APPROPRIATE MEASURES EXCEEDING 25% MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES.
2. AREAS SUBJECT TO WIND EROSION SHALL USE APPROPRIATE DUST CONTROL MEASURES INCLUDING THE APPLICATION OF A FINE SPRAY OF WATER, TRIGGERED OR OTHER APPROPRIATE MEASURES.
3. CONTRACTOR SHALL COMPLY WITH THE OREGON DEPARTMENT OF TRANSPORTATION AND HIGHWAYS (ODOT) EROSION CONTROL MANUAL. ALL EROSION CONTROL MEASURES SHALL BE ENCLOSED IN SIGNED OFFICIAL EROSION CONTROL MEASURES. ALL EROSION CONTROL MEASURES SHALL BE ENCLOSED IN SIGNED OFFICIAL EROSION CONTROL MEASURES. ALL EROSION CONTROL MEASURES SHALL BE ENCLOSED IN SIGNED OFFICIAL EROSION CONTROL MEASURES.
4. SATURATED MATERIALS THAT ARE HAULED OFF-SITE MUST BE TRANSPORTED IN WATER-TIGHT TRUCKS TO ELIMINATE SPILLAGE OF SOIL AND CEMENT-LADEN WATER.
5. CONCRETE TRACK WASHOUT AREA SHALL BE PROVIDED FOR THE WASHING OUT OF CONCRETE TRUCKS IN A WASH-OUT AREA. WASH-OUT AREAS SHALL BE CONSTRUCTED GREATER THAN 50' FROM ANY DISCHARGE POINT. SECONDARY MEASURES SUCH AS BARRIERS OR TEMPORARY SETBACK PITS MAY BE REQUIRED. THE WASH-OUT SHALL BE LOCATED WITHIN 50 FEET OF TRUCK ACCESS AND BE CLEARED WHEN IT RECEIVES SOIL FROM THE OFFSHORE.
6. SHEET PILES SHALL BE INSTALLED TO PROTECT EXISTING UTILITIES AND STRUCTURES FROM EXCESSIVE WATER PRESSURE. SHEET PILES SHALL BE INSTALLED TO PROTECT EXISTING UTILITIES AND STRUCTURES FROM EXCESSIVE WATER PRESSURE.
7. EXISTING UTILITIES SHALL BE PROTECTED BY INSTALLING WATER-TIGHT BARRIERS AND WATER-TIGHT TRUCKS TO ELIMINATE SPILLAGE OF SOIL AND CEMENT-LADEN WATER.
8. USE BIRMS SUCH AS CHECK-DAMS, BERMS, AND INLET PROTECTION TO PREVENT RUN-OFF FROM RELOCATING DRAINAGE PATHS.
9. ALL COVER CATCH BASINS, MANHOLES, AND OTHER RESERVUOIRS SHALL BE COVERED WITH A 1/2" THICK GALVANIZED STEEL GRATE. ALL COVER CATCH BASINS, MANHOLES, AND OTHER RESERVUOIRS SHALL BE COVERED WITH A 1/2" THICK GALVANIZED STEEL GRATE.
10. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF CONSTRUCTION. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF CONSTRUCTION.
11. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF CONSTRUCTION. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF CONSTRUCTION.
12. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF CONSTRUCTION. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF CONSTRUCTION.
13. LONG TERM SLOPE STABILIZATION MEASURES "INCLUDING MATING" SHALL BE IN PLACE OVER ALL EXPOSED SOILS BY OCTOBER 1.
14. INLET PROTECTION SHALL BE IN PLACE IMMEDIATELY FOLLOWING PAVING

EROSION CONTROL SEED MIX

NATIVE FESCUE BY SUMMERS SEEDS (848) 214-7333
 OR APPROVED EQUAL
 SEEDING RATE = 1.1 LB / 1000 SF

LEGEND

- EXISTING CONTOUR
- TEMPORARY CONSTRUCTION ENTRANCE
- INLET PROTECTION
- SILT FENCE
- DRAINAGE FLOW ARROW
- PROPOSED CONTOUR
- PROPOSED UTILITY LINE
- PROPOSED STORM SEWER LINE
- PROPOSED STORM SEWER MANHOLE
- PROPOSED CATCH BASIN
- PROPOSED CLEANOUT
- PROPOSED DITCH INLET
- PROPOSED ASPHALT SURFACING
- PROPOSED CONCRETE SURFACING
- PROPOSED GRAVEL SURFACING
- PROPOSED STOPWATER QUALITY AND DETENTION FACILITY





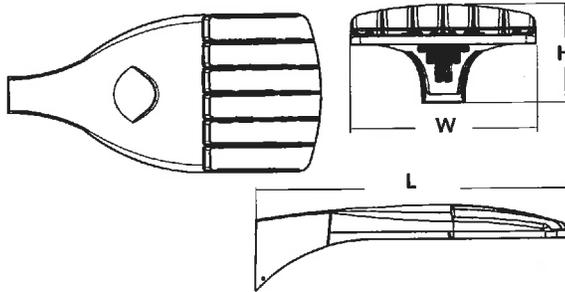
D-Series Size 0 LED Area Luminaire



Catalog Number
Notes
Type SA

Specifications

EPA:	0.95 ft ² (.09 m ²)
Length:	26" (66.0 cm)
Width:	13" (33.0 cm)
Height:	7" (17.8 cm)
Weight (max):	16 lbs (7.25 kg)



Introduction

The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment.

The D-Series distills the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire. The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. It is ideal for replacing up to 400W metal halide with typical energy savings of 65% and expected service life of over 100,000 hours.

Ordering Information

EXAMPLE: DSX0 LED 40C 1000 40K T3M MVOLT SPA DDBXD

DSX0 LED

Series	LEDs	Drive current	Color temperature	Distribution	Voltage	Mounting
DSX0 LED	Forward optics	530 530 mA	30K 3000 K	T1S Type I short	MVOLT ⁵	Shipped included SPA Square pole mounting RPA Round pole mounting WBA Wall bracket SPUMBA Square pole universal mounting adaptor ⁷ RPUMBA Round pole universal mounting adaptor ⁷ Shipped separately KMA8 DDBXD U Mast arm mounting bracket adaptor (specify finish) ⁸
	20C 20 LEDs (one engine)	700 700 mA	40K 4000 K	T2S Type II short		
	40C 40 LEDs (two engines)	1000 1000 mA (1 A) ⁷	50K 5000 K	T2M Type II medium		
	Rotated optics¹		AMBPC Amber phosphor converted ³	T3S Type III short		
	30C 30 LEDs (one engine)			T3M Type III medium		
			T4M Type IV medium	T5S Type V short		
			TFTM Forward throw medium	T5M Type V medium	120 ⁵	
			T5V5 Type V very short	T5W Type V wide	208 ⁵	
				BLC Backlight control ^{2,4}	240 ⁵	
				LCCO Left corner cutoff ^{2,4}	277 ⁵	
				RCCO Right corner cutoff ^{2,4}	347 ⁶	
					480 ⁶	

Control options	Other options	Finish (group)
Shipped installed	Shipped installed	DDBXD Dark bronze
PER NEMA twist-lock receptacle only (no controls) ⁹	HS House-side shield ¹⁸	DBLXD Black
PER5 Five-wire receptacle only (no controls) ^{9,10}	SF Single fuse (120, 277, 347V) ¹⁹	DNAXD Natural aluminum
PER7 Seven-wire receptacle only (no controls) ^{9,10}	DF Double fuse (208, 240, 480V) ¹⁹	DWHXD White
DMG 0-10V dimming driver (no controls) ¹¹	L90 Left rotated optics ¹	DDBTXD Textured dark bronze
DCR Dimmable and controllable via ROAM [®] (no controls) ¹²	R90 Right rotated optics ¹	DBLXD Textured black
PIR Bi-level, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 5fc ¹³	DDL Diffused drop lens ¹⁸	DNATXD Textured natural aluminum
PIRH Bi-level, motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 5fc ¹³	BS Bird spikes ²⁰	DWHGXD Textured white
PIR1FC3V Bi-level, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 1fc ¹³		
	PIRH1FC3V Bi-level, motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 1fc ¹³	
	BL30 Bi-level switched dimming, 30% ^{14,15}	
	BL50 Bi-level switched dimming, 50% ^{14,15}	
	PNMTDD3 Part night, dim till dawn ¹⁶	
	PNMT5D3 Part night, dim 5 hrs ¹⁶	
	PNMT6D3 Part night, dim 6 hrs ¹⁶	
	PNMT7D3 Part night, dim 7 hrs ¹⁶	
	FAO Field adjustable output ¹⁷	

Accessories

Ordered and shipped separately.

DLL127F 1.5 JU	Photocell - SSL twist-lock (120-277V) ²¹
DLL347F 1.5 CUL JU	Photocell - SSL twist-lock (347V) ²¹
DLL480F 1.5 CUL JU	Photocell - SSL twist-lock (480V) ²¹
DSHORT SBK U	Shorting cap ²¹
DSX0HS 20C U	House-side shield for 20 LED unit ¹⁴
DSX0HS 30C U	House-side shield for 30 LED unit ¹⁴
DSX0HS 40C U	House-side shield for 40 LED unit ¹⁴
DSX0DDL U	Diffused drop lens (polycarbonate) ¹⁷
PUMBA DDBXD U*	Square and round pole universal mounting bracket adaptor (specify finish) ²²
KMA8 DDBXD U	Mast arm mounting bracket adaptor (specify finish) ⁸
DSX0BS U	Bird spikes

- ### NOTES
- 30 LEDs (30C option) and rotated options (L90 or R90) only available together.
 - Not available with AMBPC.
 - Only available with 530mA or 700mA.
 - Not available with HS or DDL.
 - MVOLT driver operates on any line voltage from 120-277V (50/60 Hz). Specify 120V, 208V, 240V or 277V options only when ordering with fusing (SF, DF options).
 - Not available with single board, 530mA product (20C 530 or 30C 530). Not available with BL30, BL50 or PNMT options.
 - Existing drilled pole only. Available as a separate combination accessory; for retrofit use only: PUMBA (finish) U; 1.5 G vibration load rating per ANSI C136.31.
 - Must order fixture with SPA mounting. Must be ordered as a separate accessory; see Accessories information. For use with 2-3/8" mast arm (not included).
 - Photocell ordered and shipped as a separate line item from Acuity Brands Controls. See accessories.
 - If ROAM[®] node required, it must be ordered and shipped as a separate line item from Acuity Brands Controls. Not available with DCR. Node with integral dimming.
 - DMG option for 347V or 480V requires 1000mA.
 - Specifies a ROAM[®] enabled luminaire with 0-10V dimming capability; PER option required. Additional hardware and services required for ROAM[®] deployment; must be purchased separately. Call 1-800-442-6745 or email: sales@roamservices.net. N/A with PIR options, PER5, PER7, BL30, BL50 or PNMT options. Node without integral dimming.

- PIR and PIR1FC3V specify the SensorSwitch SBGR-10-ODP control; PIRH and PIRH1FC3V specify the SensorSwitch SBGR-6-ODP control; see [Outdoor Control Technical Guide](#) for details. Dimming driver standard. Not available with PER5 or PER7. Ambient sensor disabled when ordered with DCR. Separate on/off required. Not available with PNMT option.
- Requires an additional switched circuit.
- Dimming driver standard. MVOLT only. Not available with 347V, 480V, DCR, PER5, PER7 or PNMT options. Not available with PIR1FC3V and PIRH1FC3V.
- Dimming driver standard. MVOLT only. Not available with 347V, 480V, DCR, PER5, PER7, BL30 or BL50. Not available with PIR1FC3V and PIRH1FC3V. Separate on/off required.
- Dimming driver standard. Not available with PER5, PER7, DMG, DCR, BL30, BL50, PNMT, PIR, PIRH, PIR1FC3V and PIRH1FC3V.
- Not available with BLC, LCCO and RCCO distribution. Also available as a separate accessory; see Accessories information.
- Single fuse (SF) requires 120V, 277V or 347V. Double fuse (DF) requires 208V, 240V or 480V.
- Also available as a separate accessory; see accessories information.
- Single fuse (SF) must be specified with PER option. Ordered and shipped as a separate line item from Acuity Brands Controls.
- For DDBXD use only.

For more control options, visit [DIT](#) and [ROAM](#) online.



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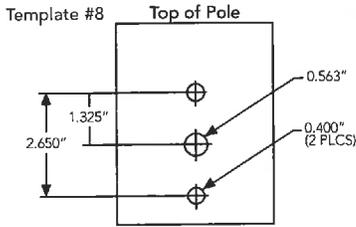
"G"
Exhibit

City of Florence
Community Development
Department
PC 16 22 CUP 06
File Number

DSX0-LED
Rev. 07/20/16
Page 1 of 5

Exhibit G

Drilling



DSXO shares a unique drilling pattern with the AERIS™ family. Specify this drilling pattern when specifying poles, per the table below.

DM19AS	Single unit	DM29AS	2 at 90°*
DM28AS	2 at 180°	DM39AS	3 at 90°*
DM49AS	4 at 90°*	DM32AS	3 at 120°**

Example: SSA 20 4C DM19AS DOBKD

Visit Lithonia Lighting's POLES CENTRAL to see our wide selection of poles, accessories and educational tools.

*Round pole top must be 3.25" O.D. minimum.
**For round pole mounting (RPA) only.

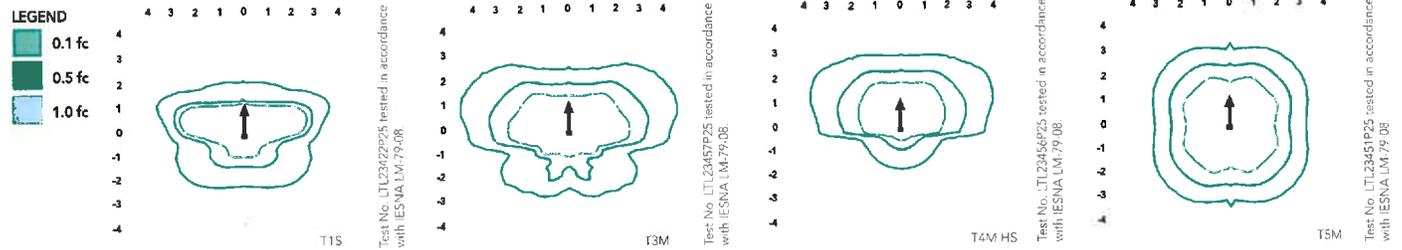
Tenon Mounting Slipfitter**

Tenon O.D.	Single Unit	2 at 180°	2 at 90°	3 at 120°	3 at 90°	4 at 90°
2-3/8"	AST20-190	AST20-280	AST20-290	AST20-320	AST20-390	AST20-490
2-7/8"	AST25-190	AST25-280	AST25-290	AST25-320	AST25-390	AST25-490
4"	AST35-190	AST35-280	AST35-290	AST35-320	AST35-390	AST35-490

Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's D-Series Area Size 0 homepage.

Isofootcandle plots for the DSXO LED 40C 1000 40K. Distances are in units of mounting height (20').



Performance Data

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient	Lumen Multiplier
0°C / 32°F	1.02
10°C / 50°F	1.01
20°C / 68°F	1.00
25°C / 77°F	1.00
30°C / 86°F	1.00
40°C / 104°F	0.99

Electrical Load

Number of LEDs	Drive Current (mA)	System Watts	Current (A)					
			120	208	240	277	347	480
20C	530	35	0.34	0.22	0.21	0.20	--	--
	700	45	0.47	0.28	0.24	0.22	0.18	0.14
	1000	72	0.76	0.45	0.39	0.36	0.36	0.26
30C	530	52	0.51	0.31	0.28	0.25	--	--
	700	70	0.72	0.43	0.37	0.34	0.25	0.19
	1000	104	1.11	0.64	0.56	0.49	0.47	0.34
40C	530	68	0.71	0.41	0.36	0.33	0.25	0.19
	700	91	0.94	0.55	0.48	0.42	0.33	0.24
	1000	138	1.45	0.84	0.73	0.64	0.69	0.50

Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the platforms noted in a 25°C ambient, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	0	25,000	50,000	100,000
Lumen Maintenance Factor	DSXO LED 20C 1000			
	1	0.98	0.96	0.93
	DSXO LED 40C 1000			
	1	0.98	0.95	0.90
DSXO LED 40C 700				
1	0.99	0.99	0.99	



Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

Forward Optics																							
LEDs	Drive Current (mA)	System Watts	Dist. Type	30K (3000 K, 70 CRI)					40K (4000 K, 70 CRI)					50K (5000 K, 70 CRI)					AMBPC (Amber Phosphor Converted)				
				Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW
20K (20 LEDs)	530 mA	35 W	T1S	4,079	1	0	1	117	4,380	1	0	1	125	4,408	1	0	1	126	2,541	1	0	1	73
			T2S	4,206	1	0	1	120	4,516	1	0	1	129	4,544	1	0	1	130	2,589	1	0	1	74
			T2M	4,109	1	0	1	117	4,413	1	0	1	126	4,440	1	0	1	127	2,539	1	0	1	73
			T3S	4,104	1	0	1	117	4,407	1	0	1	126	4,435	1	0	1	127	2,558	1	0	1	73
			T3M	4,142	1	0	1	118	4,447	1	0	1	127	4,475	1	0	1	128	2,583	1	0	1	74
			T4M	4,198	1	0	1	120	4,508	1	0	1	129	4,536	1	0	1	130	2,570	1	0	1	73
			TFTM	4,135	1	0	1	118	4,440	1	0	2	127	4,468	1	0	2	128	2,540	1	0	1	73
			TSVS	4,368	2	0	0	125	4,691	2	0	0	134	4,720	2	0	0	135	2,650	1	0	0	76
			TSS	4,401	2	0	2	126	4,725	2	0	0	135	4,755	2	0	0	136	2,690	1	0	0	77
			TSM	4,408	2	0	1	126	4,734	3	0	1	135	4,763	3	0	1	136	2,658	2	0	0	76
			TSW	4,344	3	0	1	124	4,664	3	0	1	133	4,693	3	0	1	134	2,663	2	0	1	76
			BLC	3,071	1	0	1	88	3,297	1	0	1	94	3,318	1	0	1	95					
			LCCO	2,983	1	0	1	85	3,204	1	0	1	92	3,224	1	0	1	92					
			RCCO	2,983	1	0	1	85	3,204	1	0	1	92	3,224	1	0	1	92					
			T1S	5,181	1	0	1	115	5,563	1	0	1	124	5,598	1	0	1	124	3,144	1	0	1	70
			T2S	5,342	1	0	1	119	5,736	1	0	1	127	5,772	1	0	1	128	3,203	1	0	1	71
			T2M	5,219	1	0	1	116	5,605	1	0	1	125	5,640	1	0	1	125	3,141	1	0	1	70
			T3S	5,213	1	0	1	116	5,598	1	0	1	124	5,633	1	0	1	125	3,165	1	0	1	70
	T3M	5,260	1	0	1	117	5,649	1	0	2	126	5,684	1	0	2	126	3,196	1	0	1	71		
	T4M	5,332	1	0	1	118	5,725	1	0	2	127	5,761	1	0	2	128	3,179	1	0	1	71		
	TFTM	5,252	1	0	2	117	5,640	1	0	2	125	5,675	1	0	2	126	3,143	1	0	1	70		
	TSVS	5,548	2	0	0	123	5,958	2	0	0	132	5,995	2	0	0	133	3,278	2	0	0	73		
	TSS	5,589	2	0	0	124	6,002	2	0	0	133	6,039	2	0	0	134	3,328	2	0	0	74		
	TSM	5,599	3	0	1	124	6,012	3	0	1	134	6,050	3	0	1	134	3,288	2	0	1	73		
	TSW	5,517	3	0	1	123	5,924	3	0	1	132	5,961	3	0	1	132	3,295	2	0	1	73		
	BLC	3,909	1	0	1	87	4,198	1	0	1	93	4,224	1	0	1	94							
	LCCO	3,798	1	0	1	84	4,078	1	0	1	91	4,104	1	0	1	91							
	RCCO	3,798	1	0	1	84	4,078	1	0	1	91	4,104	1	0	1	91							
	T1S	7,085	1	0	1	98	7,608	2	0	2	106	7,656	2	0	2	106							
	T2S	7,305	1	0	1	101	7,845	2	0	2	109	7,894	2	0	2	110							
	T2M	7,138	1	0	2	99	7,665	2	0	2	106	7,713	2	0	2	107							
	T3S	7,129	1	0	1	99	7,656	2	0	2	106	7,704	2	0	2	107							
	T3M	7,194	1	0	2	100	7,725	2	0	2	107	7,773	2	0	2	108							
	T4M	7,292	1	0	2	101	7,830	2	0	2	109	7,879	2	0	2	109							
	TFTM	7,183	1	0	2	100	7,713	1	0	2	107	7,761	1	0	2	108							
	TSVS	7,588	2	0	0	105	8,148	3	0	0	113	8,199	3	0	0	114							
	TSS	7,644	2	0	0	106	8,208	3	0	0	114	8,259	3	0	0	115							
	TSM	7,657	3	0	1	106	8,222	3	0	1	114	8,274	3	0	1	115							
	TSW	7,545	3	0	1	105	8,102	3	0	2	113	8,153	3	0	2	113							
	BLC	5,162	1	0	1	72	5,543	1	0	2	77	5,578	1	0	1	77							
	LCCO	5,015	1	0	2	70	5,386	1	0	2	75	5,419	1	0	2	75							
	RCCO	5,015	1	0	2	70	5,386	1	0	2	75	5,419	1	0	2	75							



Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

Forward Optics

LEDs	Drive Current (mA)	System Watts	Dist. Type	30K (3000 K, 70 CRI)					40K (4000 K, 70 CRI)					50K (5000 K, 70 CRI)					AMBPC (Amber Phosphor Converted)																				
				Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW																
																								Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens
40C (40 LEDs)	530 mA	68 W	T1S	7,926	2	0	2	117	8,511	2	0	2	125	8,564	2	0	2	126	4,878	1	0	1	72																
			T2S	8,172	2	0	2	120	8,775	2	0	2	129	8,830	2	0	2	130	4,969	1	0	1	73																
			T2M	7,985	2	0	2	117	8,574	2	0	2	126	8,628	2	0	2	127	4,874	1	0	1	72																
			T3S	7,975	1	0	2	117	8,564	2	0	2	126	8,617	2	0	2	127	4,910	1	0	1	72																
			T3M	8,047	2	0	2	118	8,642	2	0	2	127	8,696	2	0	2	128	4,958	1	0	2	73																
			T4M	8,157	1	0	2	120	8,759	2	0	2	129	8,813	2	0	2	130	4,932	1	0	2	73																
			TFTM	8,035	1	0	2	118	8,628	2	0	2	127	8,682	2	0	2	128	4,876	1	0	2	72																
			TSVS	8,488	2	0	0	125	9,115	3	0	0	134	9,172	3	0	0	135	5,086	2	0	0	75																
			TSS	8,550	2	0	0	126	9,182	3	0	1	135	9,239	3	0	1	136	5,163	2	0	0	76																
			TSM	8,565	3	0	1	126	9,198	3	0	2	135	9,255	3	0	2	136	5,102	3	0	1	75																
			TSW	8,440	3	0	2	124	9,063	3	0	2	133	9,120	3	0	2	134	5,112	3	0	1	75																
			BLC	6,142	1	0	2	90	6,595	1	0	2	97	6,636	1	0	2	98																					
			LCCO	5,967	1	0	2	88	6,407	1	0	2	94	6,447	1	0	2	95																					
			RCCO	5,967	1	0	2	88	6,407	1	0	2	94	6,447	1	0	2	95																					
			T1S	10,066	2	0	2	111	10,810	2	0	2	119	10,877	2	0	2	120	6,206	2	0	2	68																
	T2S	10,379	2	0	2	114	11,145	2	0	2	122	11,215	2	0	2	123	6,322	2	0	2	69																		
	T2M	10,141	2	0	2	111	10,890	2	0	2	120	10,958	2	0	2	120	6,201	2	0	2	68																		
	T3S	10,129	2	0	2	111	10,877	2	0	2	120	10,945	2	0	2	120	6,247	1	0	2	69																		
	T3M	10,221	2	0	2	112	10,975	2	0	2	121	11,044	2	0	2	121	6,308	2	0	2	69																		
	T4M	10,359	2	0	2	114	11,124	2	0	2	122	11,194	2	0	2	123	6,275	1	0	2	69																		
	TFTM	10,205	2	0	2	112	10,958	2	0	3	120	11,027	2	0	3	121	6,203	1	0	2	68																		
	TSVS	10,781	3	0	0	118	11,576	3	0	1	127	11,649	3	0	1	128	6,569	2	0	0	72																		
	TSS	10,860	3	0	1	119	11,662	3	0	1	128	11,734	3	0	1	129	6,569	2	0	0	72																		
	TSM	10,879	3	0	2	120	11,682	3	0	2	128	11,755	3	0	2	129	6,491	3	0	1	71																		
	TSW	10,719	3	0	2	118	11,511	4	0	2	126	11,583	4	0	2	127	6,504	3	0	2	71																		
	BLC	7,819	1	0	2	86	8,396	1	0	2	92	8,448	1	0	2	93																							
	LCCO	7,596	1	0	2	83	8,157	1	0	2	90	8,208	1	0	2	90																							
	RCCO	7,596	1	0	2	83	8,157	1	0	2	90	8,208	1	0	2	90																							
	T1S	13,767	2	0	2	100	14,783	3	0	3	107	14,876	3	0	3	108																							
	T2S	14,194	2	0	2	103	15,242	3	0	3	110	15,338	3	0	3	111																							
	T2M	13,869	2	0	2	101	14,893	3	0	3	108	14,986	3	0	3	109																							
	T3S	13,852	2	0	2	100	14,875	2	0	2	108	14,968	2	0	2	108																							
	T3M	13,978	2	0	2	101	15,010	3	0	3	109	15,104	3	0	3	109																							
	T4M	14,168	2	0	2	103	15,214	3	0	3	110	15,309	3	0	3	111																							
	TFTM	13,956	2	0	3	101	14,987	2	0	3	109	15,080	2	0	3	109																							
	TSVS	14,744	3	0	1	107	15,832	3	0	1	115	15,931	4	0	1	115																							
	TSS	14,852	3	0	1	108	15,948	3	0	1	116	16,048	3	0	1	116																							
	TSM	14,878	4	0	2	108	15,976	4	0	2	116	16,076	4	0	2	116																							
	TSW	14,660	4	0	2	106	15,742	4	0	2	114	15,840	4	0	2	115																							
	BLC	10,325	1	0	2	75	11,087	1	0	2	80	11,156	1	0	2	81																							
	LCCO	10,031	2	0	2	73	10,771	2	0	3	78	10,839	2	0	3	79																							
	RCCO	10,031	2	0	2	73	10,771	2	0	3	78	10,839	2	0	3	79																							



Performance Data

L90 and R90 Rotated Optics

LEDs	Drive Current (mA)	System Watts	Dist. Type	30K (3000 K, 70 CRI)					40K (4000 K, 70 CRI)					50K (5000 K, 70 CRI)					AMBPC (Amber-Phosphor-Converted)				
				Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW
30C (30 LEDs)	530 mA	52 W	T1S	6,130	2	0	2	118	6,583	2	0	2	127	6,624	2	0	2	127	3,841	2	0	2	74
			T2S	6,321	2	0	2	122	6,787	2	0	2	131	6,830	3	0	3	131	3,912	2	0	2	75
			T2M	6,176	2	0	2	119	6,632	3	0	3	128	6,673	3	0	3	128	3,837	2	0	2	74
			T3S	6,168	2	0	2	119	6,624	3	0	3	127	6,665	3	0	3	128	3,866	2	0	2	74
			T3M	6,224	3	0	3	120	6,684	3	0	3	129	6,726	3	0	3	129	3,904	2	0	2	75
			T4M	6,309	3	0	3	121	6,775	3	0	3	130	6,817	3	0	3	131	3,884	2	0	2	75
			TFTM	6,215	3	0	3	120	6,673	3	0	3	128	6,715	3	0	3	129	3,839	2	0	2	74
			TSVS	6,565	2	0	0	126	7,050	2	0	0	136	7,094	2	0	0	136	4,005	2	0	0	77
			TSS	6,613	2	0	0	127	7,102	2	0	0	137	7,146	2	0	0	137	4,065	2	0	0	78
			TSM	6,625	3	0	1	127	7,114	3	0	1	137	7,159	3	0	1	138	4,017	2	0	1	77
			TSW	6,528	3	0	1	126	7,010	3	0	2	135	7,054	3	0	2	136	4,025	3	0	1	77
			BLC	4,747	2	0	2	91	5,098	2	0	2	98	5,130	2	0	2	99					
			LCCO	4,612	1	0	2	89	4,953	1	0	2	95	4,984	1	0	2	96					
			RCCO	4,612	1	0	2	89	4,953	1	0	2	95	4,984	1	0	2	96					
			T1S	7,786	2	0	2	111	8,361	3	0	3	119	8,413	3	0	3	120	4,783	2	0	2	68
			T2S	8,028	2	0	2	115	8,620	3	0	3	123	8,674	3	0	3	124	4,873	2	0	2	70
			T2M	7,844	3	0	3	112	8,423	3	0	3	120	8,476	3	0	3	121	4,779	2	0	2	68
			T3S	7,834	3	0	3	112	8,413	3	0	3	120	8,465	3	0	3	121	4,815	2	0	2	69
	T3M	7,905	3	0	3	113	8,489	3	0	3	121	8,542	3	0	3	122	4,862	3	0	3	69		
	T4M	8,013	3	0	3	114	8,604	3	0	3	123	8,658	3	0	3	124	4,837	3	0	3	69		
	TFTM	7,893	3	0	3	113	8,476	3	0	3	121	8,529	3	0	3	122	4,781	3	0	3	68		
	TSVS	8,338	2	0	0	119	8,954	3	0	0	128	9,010	3	0	0	129	4,988	2	0	0	71		
	TSS	8,400	2	0	0	120	9,020	3	0	1	129	9,076	3	0	1	130	5,063	2	0	0	72		
	TSM	8,414	3	0	1	120	9,036	3	0	2	129	9,092	3	0	2	130	5,003	3	0	1	71		
	TSW	8,291	3	0	2	118	8,903	3	0	2	127	8,959	3	0	2	128	5,013	3	0	1	72		
	BLC	6,044	2	0	2	86	6,490	3	0	3	93	6,530	3	0	3	93							
	LCCO	5,872	1	0	2	84	6,305	1	0	2	90	6,345	1	0	2	91							
	RCCO	5,872	1	0	2	84	6,305	1	0	2	90	6,345	1	0	2	91							
	T1S	10,648	3	0	3	102	11,434	3	0	3	110	11,506	3	0	3	111							
	T2S	10,979	3	0	3	106	11,789	3	0	3	113	11,863	3	0	3	114							
	T2M	10,727	3	0	3	103	11,519	3	0	3	111	11,591	3	0	3	111							
	T3S	10,714	3	0	3	103	11,505	3	0	3	111	11,577	3	0	3	111							
	T3M	10,812	3	0	3	104	11,610	4	0	4	112	11,682	4	0	4	112							
	T4M	10,958	3	0	3	105	11,767	3	0	3	113	11,841	3	0	3	114							
	TFTM	10,795	3	0	3	104	11,592	3	0	3	111	11,664	4	0	4	112							
	TSVS	11,404	3	0	0	110	12,245	3	0	1	118	12,322	3	0	1	118							
TSS	11,487	3	0	1	110	12,336	3	0	1	119	12,413	3	0	1	119								
TSM	11,508	3	0	2	111	12,357	4	0	2	119	12,434	4	0	2	120								
TSW	11,339	4	0	2	109	12,176	4	0	2	117	12,252	4	0	2	118								
BLC	7,981	3	0	3	77	8,570	3	0	3	82	8,624	3	0	3	83								
LCCO	7,754	1	0	2	75	8,326	2	0	2	80	8,378	2	0	2	81								
RCCO	7,754	1	0	2	75	8,326	2	0	2	80	8,378	2	0	2	81								

FEATURES & SPECIFICATIONS

INTENDED USE

The sleek design of the D-Series Size 0 reflects the embedded high performance LED technology. It is ideal for many commercial and municipal applications, such as parking lots, plazas, campuses, and pedestrian areas.

CONSTRUCTION

Single-piece die-cast aluminum housing has integral heat sink fins to optimize thermal management through conductive and convective cooling. Modular design allows for ease of maintenance and future light engine upgrades. The LED driver is mounted in direct contact with the casting to promote low operating temperature and long life. Housing is completely sealed against moisture and environmental contaminants (IP65). Low EPA (0.95 ft²) for optimized pole wind loading.

FINISH

Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Available in both textured and non-textured finishes.

OPTICS

Precision-molded proprietary acrylic lenses are engineered for superior area lighting distribution, uniformity, and pole spacing. Light engines are available in 3000 K, 4000 K or 5000 K (70 CRI) or optional 3000 K (70 minimum CRI) or 5000 K (70 CRI) configurations. The D-Series Size 0 has zero uplight and qualifies as a Nighttime Friendly™ product, meaning it is consistent with the LEED® and Green Globes™ criteria for eliminating wasteful uplight.

ELECTRICAL

Light engine(s) configurations consist of 20, 30 or 40 high-efficacy LEDs mounted to metal-core circuit boards to maximize heat dissipation and promote long life (up to L99/100,000 hours at 25°C). Class 1 electronic drivers are designed to have a power factor >90%, THD <20%, and an

expected life of 100,000 hours with <1% failure rate. Easily serviceable 10kV or 6kV surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).

INSTALLATION

Included mounting block and integral arm facilitate quick and easy installation. Stainless steel bolts fasten the mounting block securely to poles and walls, enabling the D-Series Size 0 to withstand up to a 3.0 G vibration load rating per ANSI C136.31. The D-Series Size 0 utilizes the AERIS™ series pole drilling pattern (template #8). Optional terminal block, tool-less entry, and NEMA photocontrol receptacle are also available.

LISTINGS

UL Listed for wet locations. Light engines are IP66 rated; luminaire is IP65 rated. Rated for -40°C minimum ambient. U.S. Patent No. D672,492 S. International patent pending.

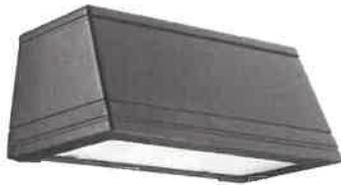
DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at www.designlights.org to confirm which versions are qualified.

WARRANTY

5-year limited warranty. Complete warranty terms located at www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.





WSTM LED

LED Mini Wall Sconce



Catalog
Number

Notes

Type **SC**

Specifications

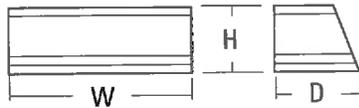
Luminaire

Height: 5-3/4"
(14.6 cm)

Width: 12-1/2"
(31.8 cm)

Depth: 7-1/2"
(19.1 cm)

Weight: 6 lbs.
(2.7 kg)



Introduction

The Architectural WSTM Mini-Wall Sconce is now available with the latest in LED technology. The result is a long-life, maintenance-free product with typical energy savings of 87% over metal halide versions. The diffuse lens eliminates harsh glare while producing comfortable illumination.

The WSTM LED is ideal for replacing existing 50-100W metal halide or 26-42W compact fluorescent wall-mounted products and can be mounted in either lens up or lens down orientation. The expected service life is over 10 years of nighttime use.

Ordering Information

EXAMPLE: WSTM LED 2A 40K 120 DDBTXD

WSTM LED

Series	LEDs	Color temperature	Voltage	Mounting	Control options	Other options	Finish <small>(inverted)</small>
WSTM LED	1A One engine	30K 3000K	120	Shipped included (blank) Surface mount Shipped separately ² UTS Uptilt: 5 degrees	Shipped installed PE Photoelectric cell, button type	Shipped installed (blank) Diffusing glass lens CGL Clear glass lens Shipped separately ² WG Wire guard ³	DDBXD Dark bronze
	2A Two engines	40K 4000K	277 ¹				DBLXD Black
							DNAXD Natural aluminum
							DWHXD White
							DDBTXD Textured dark bronze
							DBLBXD Textured black
							DNATXD Textured natural aluminum
							DWHGXD Textured white
							DSSTXD Textured sandstone

Stock configurations are offered for shorter lead times:

Stock Part Number

WSTM LED 1A 40K 120 DDBTXD
WSTM LED 2A 40K 120 DDBTXD

Accessories

Ordered and shipped separately

WSTMUTS DDBXD U 5 degree up tilt accessory (specify finish)
WSTMWG U Wire guard accessory

NOTES

- Includes step-down transformer; see page 2 for more information.
- Also available as a separate accessory; see Accessories information at left.
- Not for inverted mounting.



Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts.

LEDs	Performance Package	System Watts ¹	30K (3000K, 80 CRI)					40K (4000K, 80 CRI)				
			Nominal Lumens	B	U	G	LPW	Nominal Lumens	B	U	G	LPW
1A	1A--K	9	673	0	0	0	75	733	0	0	1	81
2A	2A--K	17	1,308	1	0	0	77	1,277	1	0	0	75

¹ See electrical load chart for 277V system watts.

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient	Lumen Multiplier	
0°C	32°F	1.05
10°C	50°F	1.03
20°C	68°F	1.01
25°C	77°F	1.00
30°C	86°F	0.99
40°C	104°F	0.97

Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the **WSTM LED** platform in a **25°C ambient**, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	0	25,000	50,000	100,000
Lumen Maintenance Factor	1.0	0.86	0.74	0.54

Electrical Load

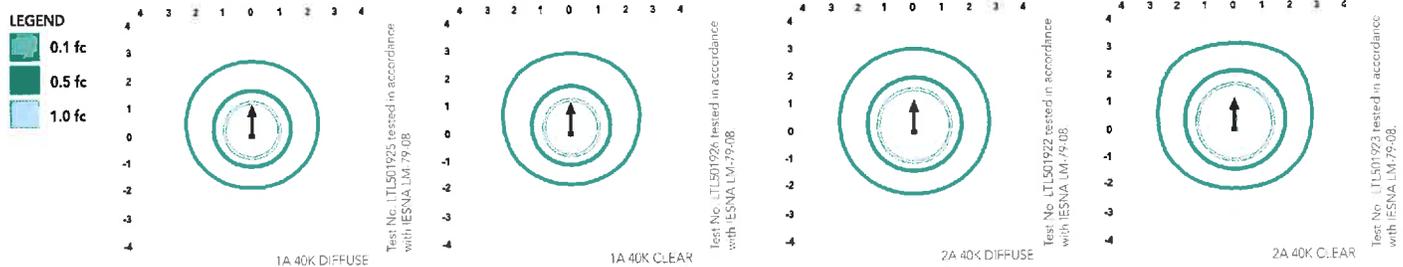
LEDs	System Watts	Current (A)	
		120	277
1A	9W	0.08	—
	13W ¹	—	0.06
2A	17W	0.15	—
	22W ¹	—	0.09

¹ Higher wattage is due to electrical losses from step-down transformer.

Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's [WSTM LED homepage](#).

Isofootcandle plots for the WSTM LED 40K. Distances are in units of mounting height (8').



FEATURES & SPECIFICATIONS

INTENDED USE

The classic architectural shape of the WSTM LED was designed for applications such as hospitals, schools, malls, restaurants, and commercial buildings. The long-life LEDs make this luminaire nearly maintenance-free.

CONSTRUCTION

The single-piece die-cast aluminum housing integrates a heat sink to optimize thermal transfer from the internal light engine and promote long life. The die-cast door frame is fully gasketed with a one-piece solid silicone gasket to keep out moisture and dust, providing an IP65 rating for the luminaire.

FINISH

Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder-coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Standard Super Durable colors include dark bronze, black, natural aluminum, sandstone and white. Available in textured and non-textured finishes.

OPTICS

Light engines are 3000K (>80 CRI) or 4000K (>80 CRI). The WSTM LED has zero uplight and qualifies as a Nighttime Friendly™ product, meaning it is consistent with the LEED® and Green Globes™ criteria for eliminating wasteful uplight.

ELECTRICAL

Light engine(s) consist of 42 high-efficiency LEDs mounted to a circuit board and integral aluminum heat sink to maximize heat dissipation and promote long life (50,000 hrs at 25°C, L74).

INSTALLATION

Easily installed using provided mounting strap. Mount to any non-combustible vertical surface, over a 4" round or square recessed outlet box (by others). Back access through slotted gasket.

LISTINGS

CSA certified to U.S. standards. Luminaire is IP65 rated and suitable for wet locations when mounted with the lens down. Rated for -30°C minimum ambient.

DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at www.designlights.org to confirm which versions are qualified.

WARRANTY

Five-year limited warranty. Complete warranty terms located at www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx.

Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. **Note:** Specifications subject to change without notice.



Veve McPherrren

From: CAINES Jeff <Jeff.CAINES@aviation.state.or.us>
Sent: Monday, October 24, 2016 10:00 AM
To: Veve McPherrren
Cc: Mike Miller
Subject: RE: Referral - Resolution PC 16 22 CUP 06 - Public Works Facility
Importance: High

Veve:

I know that I am late for comments to be incorporated in the Staff Report, but I hope I can make my comments before the public hearing.

Since the proposed development in adjacent to the airport, ODA would require a FAA form 7460-1 to be filled out and filed with the Oregon Department of Aviation and possible the FAA. Lights and Markings may be recommended due to heights of the structures, but that will not be determined until the forms have been submitted and reviewed.

Sorry for the late response. If you have you or the applicant have any questions please feel free to contact me.

Jeff

Jeff Caines, AICP
Oregon Department of Aviation
Aviation Planner / SCIP Coordinator
3040 25th St. SE | Salem, OR 97302
Office: [503.378.2529](tel:503.378.2529)

Cell / Text: [503.507.6965](tel:503.507.6965)
Email: Jeff.Caines@aviation.state.or.us

From: Veve McPherrren [mailto:veve.mcpherrren@ci.florence.or.us]
Sent: Tuesday, October 04, 2016 1:18 PM
To: Mike Miller; Eric Rines; Tom Turner; Chief Jim Langborg; Fire Marshal Sean Barrett; PERRY Dave; Dave Mortier; matt@wlambulance.com; Troy Delle - CLPUD; Lisa Herbert; CAINES Jeff
Cc: Wendy Farley-Campbell; Glen Southerland; Veve McPherrren; Nilda Taylor
Subject: Referral - Resolution PC 16 22 CUP 06 - Public Works Facility

Good afternoon!

The purpose of this notice is to acquaint you with the proposed development, to gather information you may have about the project, and provide an opportunity to comment and express concerns prior to the city's decision to approve or deny the proposal.

RESOLUTION PC 16 22 CUP 06 – Public Works Facility: An application from Megan Messmer, Project Manager on behalf of the City of Florence requesting approval of a Conditional Use Permit to construct a public works facility within the

Pacific View Business Park. Proposed site is located on the southwest corner of the Kingwood and 27th Street intersection, Assessors Map 18-12-22-42 Tax Lots 00300, 00400 & 00500.

Please contact the Planning Department with any questions or concerns.

Thank you kindly,

Veve

LiveHappy!

Veve M. McPherren

Planning Administrative Assistant

veve.mcpherren@ci.florence.or.us

541-997-8237

City of Florence

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Florence, OR 97439

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