

CITY OF FLORENCE PLANNING COMMISSION
October 11, 2016 ** MEETING MINUTES **

CALL TO ORDER – ROLL CALL – PLEDGE OF ALLEGIANCE

Vice Chair John Murphey called the meeting to order at 7:00 p.m. Roll call: Vice Chair John Murphey, Commissioner Ron Miller were present. Chairperson Muilenburg, Commissioner Lysdale, Commissioner Bare and Commissioner Titmus were absent and excused. Also present: Planning Director Wendy FarleyCampbell and Assistant Planner Glen Southerland.

Vice Chair Murphey announced there was no quorum to approve the Agenda or the Minutes. AP Southerland explained that public comments would still be accepted and the hearings would be opened so that members of the public could provide testimony and the hearing could be continued to a later date.

PUBLIC COMMENTS

This is an opportunity for members of the audience to bring to the Planning Commission's attention any items NOT otherwise listed on the agenda. Comments will be limited to 3 minutes per person, with a maximum time of 15 minutes for all items.

There were no public comments.

PUBLIC HEARING

Chairperson Muilenburg announced there were two public hearings before the Planning Commission that evening. The hearing would be held in accordance with the land use procedures required by the City in Florence City Code Title 2 Chapter 10 and the State of Oregon. Prior to the hearing(s) tonight, staff will identify the applicable substantive criteria which have also been listed in the staff report. These are the criteria the Planning Commission must use in making its decision. All testimony and evidence must be directed toward these criteria or other criteria in the Plan or Land Use Regulations which you believe applies to the decision per ORS 197.763 (5). Failure to raise an issue accompanied by statements or evidence sufficient to afford the Planning Commission and parties involved an opportunity to respond to the issue may preclude an appeal of this decision based on that issue. Prior to the conclusion of the initial evidentiary hearing, any participant may request an opportunity to present additional evidence, arguments or testimony regarding the application. Failure of the applicant to raise constitutional or other issues relating to proposed conditions of approval without sufficient specificity to allow the Planning Commission to respond to the issue that precludes an action for damages in circuit court. Any proponent, opponent, or other party interested in a land use matter to be heard by the Planning Commission may challenge the qualifications of any Commissioner to participate in such hearing and decision. Such challenge must state facts relied upon by the party relating to a Commissioner's bias, prejudice, personal interest, or other facts from which the party has concluded that the Commissioner will not make a decision in an impartial manner.

RESOLUTION PC 16 18 EAP 01 – Extension of Approval Period: A request for an extension of approval period, ending September 9, 2016 and September 9, 2017 for Resolution PC 15 17 PUD 01 - a Preliminary Development Plan and Tentative Subdivision application from J. Michael Pearson of Pacific Golf Communities, LLC to develop the 10-acre parcel located adjacent to the Sandpines Golf Course and abutting Rhododendron Drive into a 40-lot Planned Unit Development.

Vice Chair Murphey opened the public hearing at 7:03 p.m.

VC Murphey stated there would be no staff report and asked if there was any testimony. There was no testimony and no response. AP Southerland recommended that the hearing be continued to a date certain of November 8, 2016.

VC Murphey closed the public hearing at 7:04 p.m.

VC Murphey stated the hearing would remain open for written testimony until the continued date of November 8, 2016.

RESOLUTION PC 16 21 PUD 01 – Snegireff Sandpines PUD Modification: An application for a modification to a Planned Unit Development from Allen Snegireff to allow for a detached single-family residence on Lot 48, a remnant lot designated for multi-family and single-family attached residences within the Sandpines West PUD. The proposal is located on Royal St. Georges Drive within the Sandpines West PUD, Assessor's Map # 18-12-15-43 Taxlot 01500.

VC Murphey opened the public hearing at 7:05 p.m.

VC Murphey asked for testimony.

Neutral – Michelle Diffenderfer - P.O. Box 1233, Florence, OR

Ms. Diffenderfer was there as President to represent the Home Owners Association, Sandpines Townhomes. She stated the concern was that setbacks and other requirements would be met. PD FarleyCampbell explained the intent of the application, the history of the properties in the subdivision and the possibility of needed CCRs.

Neutral – Donna Mlinek – 10001 Royal St. Georges Drive, Florence, OR

Ms. Mlinek stated she wanted more information.

Opposed – Lorna Eskie – 2012 Royal St. Georges Drive, Florence, OR

Ms. Eskie stated she wanted the lot to remain buildable for townhomes.

VC Murphey closed the public hearing at 7:18 p.m.

VC Murphey stated the hearing would remain open for written testimony until the continued date of November 8, 2016.

CALENDAR

AP Southerland provided information that included current applications and upcoming hearing dates of November 8 and 22, 2016.

Vice Chair Murphey adjourned the meeting at 7:23 p.m.



Vice Chair, John Murphey
Florence Planning Commission

10/25/16
Date

Sand Pines PUD West Lot 48 PC 16 21 PUD 01



Criteria

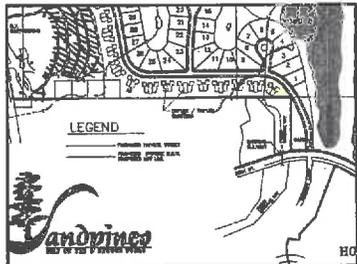
Florence City Code, Title 10:
 Chapter 1: Zoning Administration, Sections 1-5
 Chapter 3: Off-Street Parking and Loading, Sections 2 through 4 and 8
 Chapter 12: Mobile Home/Manufactured Home Residential District, Section 1
 Chapter 23: Planned Unit Development, Sections 3 through 14
 Chapter 36: Public Facilities, Section 6

Florence Realization 2020 Comprehensive Plan:
 Chapter 2: General Subsection Policy 7, Residential Subsection Policies 1, 5, & 10

• Sandpines PUD Lot 48 - PC 16 21 PUD 01 11/8/16 • 2

Background

June 9, 1992 – Sandpines PUD Final Development Plan Resolution 92-6-9-27A



• Sandpines PUD Lot 48 - PC 16 21 PUD 01 11/8/16 • 3

Background (cont')

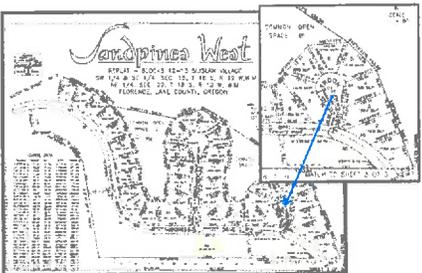
October 30, 1992 – Sandpines West Plat



• Sandpines PUD Lot 48 - PC 16 21 PUD 01 11/8/16 • 4

Background (cont')

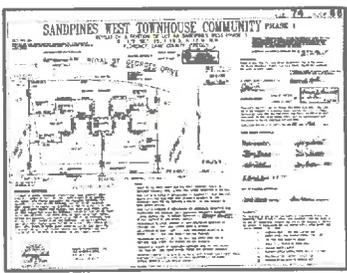
October 30, 1992 – Sandpines West Plat



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Background (cont')

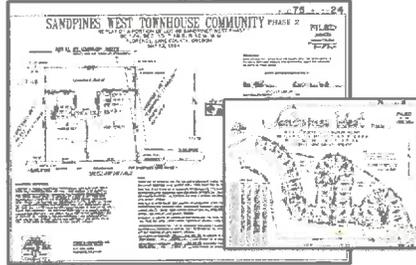
October 30, 1993 – Sandpines West Townhouse, Phase 1 Plat



• Sandpines PUD Lot 48 - PC 16 21 PUD 01 11/8/16 • 6

Background (cont')

June 28, 1994 – Sandpines West Townhouse, Phase 2 Plat

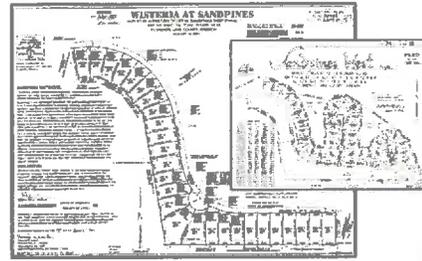


• Sandpines PUD Lot 48 – PC 16 21 PUD 01

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Background (cont')

September 2, 2004 – Wisteria at Sandpines Plat



• Sandpines PUD Lot 48 – PC 16 21 PUD 01

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Aerial of Site



• Sandpines PUD Lot 48 – PC 16 21 PUD 01

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Lot Requirements



Zoning: Mobile Home Manufactured Home District
Lot Configuration: 50' wide 80' deep minimum (200' x 100'/165')
Lot Area: 6,000 sq. ft. minimum (11,326 sq. ft.)

• Sandpines PUD Lot 48 – PC 16 21 PUD 01

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PUD Modification Requirements

- An amendment to a completed planned unit development may be approved if:
 - Required for continued success of the PUD
 - Changes in conditions that have occurred since the PUD approved
 - Changes in the development policy of the community.
- **No modification or amendment to a completed planned unit development is to be considered as a waiver of the covenants limiting the use of the land, buildings, structures and improvements within the area of the planned unit development.**

• Sandpines PUD Lot 48 – PC 16 21 PUD 01

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Stormwater



Condition #3: Relocate stormwater utilities or place in easement if encroaching onto Lot 48

• Sandpines PUD Lot 48 – PC 16 21 PUD 01

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Testimony

Public Testimony Received:

- Jean Shaw, 10/11/16, Exhibit C, Townhouse CCRs
- Michelle Diffenderfer-10/11/16 Verbal, Neutral, Pres. Townhomes HOA: Setbacks and other requirements met
- Donna Mlinek – 10/11/16 Verbal, Neutral, More information
- Lorna Eskie – 10/11/16 Verbal, Opposed, should remain buildable for townhomes

• Sandpines PUD Lot 48 – PC 16 21 PUD 01

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Testimony

Public Testimony Received:

Referral Comments:

Siuslaw Valley Fire and Rescue— No Concerns

• Sandpines PUD Lot 48 – PC 16 21 PUD 01

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Staff Recommendation

Staff finds that the applicant meets the criteria provided by Florence City Code and the Florence Realization 2020 Comprehensive Plan and can be approved with the conditions of approval as follows:

• Sandpines PUD Lot 48 – PC 16 21 PUD 01

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Conditions of Approval

Condition 3.

- o Private stormwater facilities must be relocated or placed within easements.
- o Stormwater facilities may need to be constructed within the Royal St. George right-of-way or within easements on the applicant's property to accommodate stormwater presently traversing across the applicant's lot in open ditches.
- o Constructed in accordance with Title 9 Chapter 5.

• Sandpines PUD Lot 48 – PC 16 21 PUD 01

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Alternatives

1. Approve the modification to the PUD
2. Deny the application;
3. Modify the findings, reasons, or conditions and approve the proposal, or
4. Continue the Public Hearing to a date certain if more information is needed.

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Questions?

• Sandpines PUD Lot 48 – PC 16 21 PUD 01

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Fairway Estates PUD Extension

PC 16 18 EAP 01



Criteria

Criteria applying to this application include:

Florence City Code, Title 10:
Chapter 1: Zoning Administration, Section 1-5
Chapter 23: Planned Unit Development, Section 14

Florence City Code, Title 11:
Chapter 3: Major Partition, Tentative Plan Procedure, Section 6

Fairway Estates PUD Extension - PC 16 18 EAP 01 11/8/16 ● 2

Introduction

- **2005** – Original tentative subdivision plan
- **July 22, 2015** – Application received for tentative subdivision and preliminary PUD
- **Sept. 9, 2015** – Resolution PC 15 17 PUD 01 approved by Planning Commission
- **Aug. 26, 2016** – Application for Extension received
- **Sept. 12, 2016** – Application for Extension deemed complete
- **Oct. 11, 2016** – Initial public hearing, cont'd

Fairway Estates PUD Extension - PC 16 18 EAP 01 11/8/16 ● 3

Aerial of Site



- Rhododendron Drive
- Fairway Estates
- Sandpines Golf Course
- 35th Street

Fairway Estates PUD Extension - PC 16 18 EAP 01 11/8/16 ● 4

Site - Lot Layout



Fairway Estates PUD Extension - PC 16 18 EAP 01 11/8/16 ● 5

Testimony

- No Referral Comments Received
- No Public Testimony Received

Fairway Estates PUD Extension - PC 16 18 EAP 01 11/8/16 ● 6

Staff Recommendation

Staff finds that the proposed application meets the requirements of City Code with the conditions as follows, and recommends approval of the application.

• Fairway Estates PUD Extension – PC 16 18 EAP 01

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Conditions of Approval

3. The applicant shall be granted one 18-month extension of approval period for preliminary planned unit development approval, Resolution PC 15 17 PUD 01, ending on **August 9, 2018**.
4. The applicant shall be granted one 12-month extension of approval period for tentative plan approval, Resolution PC 15 17 PUD 01, ending on **October 11, 2017**.

• Fairway Estates PUD Extension – PC 16 18 EAP 01

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Alternatives

1. Approve the application with the conditions of approval as proposed;
2. Modify the findings, reasons, or conditions and approve the proposal
3. Deny the application; or
4. Continue the Public Hearing to a date certain if more information is needed.

• Fairway Estates PUD Extension – PC 16 18 EAP 01

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Questions?



• Fairway Estates PUD Extension – PC 16 18 EAP 01

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